
Office of the City Attorney

OAKLAND CITY COUNCIL
RESOLUTION NO. 88123 C.M.S.

**RESOLUTION CONDITIONALLY APPROVING A FINAL MAP FOR
TRACT NO. 8464, LOCATED AT 3245 AND 3251 HOLLIS STREET
FOR A FIVE LOT SUBDIVISION FOR TIMBERLINE FUND II, LLC**

WHEREAS, Timberline Fund II, LLC, a California limited liability company ("Subdivider"), is the subdivider of five (5) parcels identified by the Alameda County Assessor as APN 007-0594-009-00, 007-0594-008-00 and by the Alameda County Clerk-Recorder as Tract No. 8464, and by the City of Oakland as 3245 and 3251 Hollis Street; and

WHEREAS, the Subdivider has acquired by purchase for valuable consideration the real property comprising Tract No. 8464 through a grant deed, series no. 2019131305, recorded July 10, 2019, by the Alameda County Clerk-Recorder; and

WHEREAS, said parcel is comprised of a portion of a merger and re-subdivision of subdivision "A" of Lot 8, Block 791, together with subdivisions "C" & "D" of Lot 9, Block 791, filed in Book 6 of Maps, at Page 13, Alameda County Records; and

WHEREAS, the Subdivider applied to the City of Oakland for a Tentative Tract Map (TTM 8464) to subdivide said platted land, which proposed:

- Subdivision of existing lot into five (5) lots accessed by a shared access and utility easement from Hollis Street; and
- Construction of five four-story buildings for a total of ten residential condominium units, each with its own off-street parking space; and

WHEREAS, on August 10, 2018, the City Planning Commission approved the Tentative Tract Map for Tract No. 8464 and the land use entitlements (PLN18142), and affirmed staff's environmental determination that the project is exempt from CEQA pursuant to CEQA Guidelines sections 15183 (projects consistent with a community plan, general plan or zoning) and 15332 (infill project); and

WHEREAS, the Subdivider has presented a Final Map to the City, identified as Tract Map No. 8464, which proposes the subdivision of five (5) developable parcels, for ten (10) residential condominium units development, identified as Lots 1, 2, 3, 4, and 5; and

WHEREAS, the Secretary of the City Planning Commission has certified that the Planning Commission approved the Tentative Map for Tract No. 8464, upon which said Final Map is based; and

WHEREAS, the City Engineer of the City of Oakland has examined the Final Map and determined that:

- the subdivision as shown on the Final Map for Tract No. 8464, delineated diagrammatically in **Exhibit A** attached hereto and incorporated herein, is substantially the same as it appeared on the approved Tentative Map which created developable Parcels Lots 1, 2, 3, 4, and 5; and
- the Final Map for Tract No. 8464 complies in all manners with the provisions of California Government Code sections 66410 et seq. (Subdivision Map Act) and the City of Oakland's local subdivision ordinance (Oakland Municipal Code, Title 16 - Subdivisions); and

WHEREAS, pursuant to California Business and Professions Code section 6731, the City Engineer has further determined that the Final Map is technically correct and accurately delineates the proposed metes and bounds of the property boundaries separating the proposed five (5) lots, the limits of which have been established by a field boundary survey performed by a competent Land Surveyor, who is licensed by the State of California to practice land surveying, and can be re-established from the monuments, property corners, radii, bearings, and distances shown on the Final Map for Tract No. 8464; and

WHEREAS, the Subdivider has employed a competent design professional, who is licensed by the State of California to practice civil engineering, to prepare plans and specifications for the construction of required surface and subsurface public infrastructure improvements in the public right of way; and

WHEREAS, the City Engineer has approved infrastructure permit no. PX1900006 and the Subdivider's plans and specifications for construction of the required public infrastructure improvements and infrastructure within private property common to subdivided lots known as private-public improvements, attached hereto as **Exhibit A** and incorporated herein; and

WHEREAS, through a separate companion Resolution, staff is seeking authorization for the City Administrator to enter into a Subdivision Improvement Agreement with the Subdivider pursuant to Government Code section 66462 and Oakland Municipal Code section 16.20.100, as a condition precedent to approval of the Final Map for Tract No. 8464, to assure the timely construction, unconditional warrantee, and prescribed maintenance of all required public infrastructure improvements; and

WHEREAS, pursuant to Government Code section 66499 et seq. and Oakland Municipal Code section 16.20.100, the Subdivider has deposited adequate security in the form of surety bonds to secure the Subdivider's performance of the required public infrastructure improvements identified in the Subdivision Improvement Agreement; and

WHEREAS, the City's approval of a final subdivision map is a ministerial action that is exempt from the requirements of CEQA pursuant to Public Resources Code section 21080(b)(1) and CEQA Guidelines section 15268, each as a separate and independent basis and when viewed collectively as an overall basis for CEQA clearance; now, therefore, be it

RESOLVED: That the Final Map for Tract No. 8464 conforms to all the requirements in Government Code sections 66410 et seq. (Subdivision Map Act), Title 16 of the Oakland Municipal Code, and CEQA, and is hereby conditionally approved; and be it

FURTHER RESOLVED: That the approval of the Final Map is conditioned upon completion of public infrastructure improvements and private common access roadways and utilities that are required to service the public or the individual parcels, as required by the Subdivision Improvement Agreement; and be it

FURTHER RESOLVED: That the hereinabove conditions shall be binding upon the Subdivider and its successors or assigns, affiliated companies or corporations, parent companies or corporations, or partners; and be it

FURTHER RESOLVED: That the successive owners, both individually as purchasers of real property and collectively as a homeowners association of said lots as delineated on the Final Map, shall be responsible for the maintenance in perpetuity of all infrastructure improvements within the areas common to parcels for required access and utilities required excepting from said responsibility infrastructure improvements that are otherwise regulated by California Public Utilities Commission; and be it

FURTHER RESOLVED: That failure by the Subdivider to comply in all aspects with the Subdivision Improvement Agreement shall void approval of the Final Map and shall result in reversion to acreage of the original parcels comprising Tract No. 8464; and be it

FURTHER RESOLVED: That the City Engineer is hereby authorized to endorse the Final Map for Tract No. 8464; and be it

FURTHER RESOLVED: That the City Clerk of the City of Oakland is hereby authorized to endorse the Final Map for Tract No. 8464 upon its execution by the City Engineer; and be it

FURTHER RESOLVED: That the City Engineer is hereby authorized to cause the fully executed Final Map for Tract No. 8464 to be filed with the Alameda County Clerk-Recorder for recordation; and be it

FURTHER RESOLVED: That this Resolution shall be effective upon its adoption by a sufficient affirmative votes of the elected members of Council of the City of Oakland, as provided in the Charter of the City of Oakland.

IN COUNCIL, OAKLAND, CALIFORNIA, MAY 19 , 20 20

PASSED BY THE FOLLOWING VOTE:

AYES – FORTUNATO BAS, GALLO, GIBSON MCELHANEY, KALB, REID, TAYLOR, THAO
AND PRESIDENT KAPLAN — 8

NOES - 0

ABSENT - 0

ABSTENTION - 0

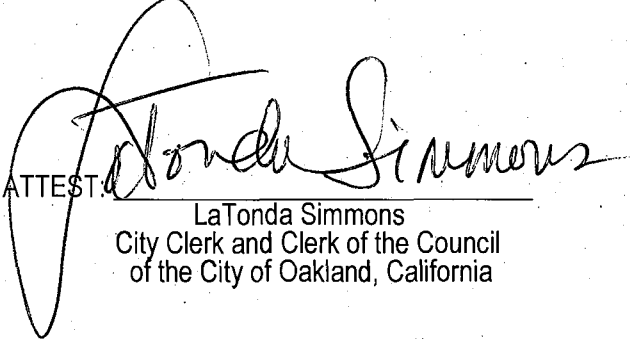
ATTEST: 
LaTonda Simmons
City Clerk and Clerk of the Council
of the City of Oakland, California

Exhibit A: Final Tract Map No. 8464.

Exhibit B: Subdivision Improvement Agreement and Public Infrastructure Improvements.

OWNER'S STATEMENT

THE UNDERSIGNED DOES HEREBY STATE THAT IT IS THE OWNER OF ALL THE LANDS DELINEATED AND EMBRACED WITH THE EXTERIOR BOUNDARY LINES ON THE HEREIN EMBODIED MAP ENTITLED "TRACT NO. 8464, CITY OF OAKLAND, COUNTY OF ALAMEDA, STATE OF CALIFORNIA"; THAT SAID OWNER ACQUIRED TITLE TO SAID LAND BY VIRTUE OF THE GRAND DEED RECORDED JULY 10, 2019, UNDER SERIES NO. 2019131305, IN THE OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA; THAT IT CONSENTS TO THE PREPARATION AND FILING OF THIS MAP.

WE ALSO HEREBY DECLARE THAT THE STRIPS OF LAND DESIGNATED AS "PDE" (PRIVATE DRAINAGE EASEMENT) ARE RESERVED AS AN EASEMENT FOR THE PURPOSE OF INSTALLATION, CONSTRUCTION, AND MAINTENANCE OF PRIVATE STORM DRAIN FACILITIES AND THEIR APPURTENANCES THERETO.

WE ALSO HEREBY DECLARE THAT THE STRIPS OF LAND DESIGNATED AS "PAUE" (PRIVATE ACCESS AND UTILITY EASEMENT) ARE RESERVED AS AN EASEMENT FOR THE PURPOSE OF INGRESS AND EGRESS ALONG WITH INSTALLATION, CONSTRUCTION, AND MAINTENANCE OF PRIVATE UTILITIES AND THEIR APPURTENANCES THERETO.

OWNER: TIMBERLINE FUND II, LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: TIMBERLINE FUND LP, A CALIFORNIA LIMITED PARTNERSHIP
ITS MANAGER

BY: _____ DATE: _____
SIMON CHEN, GENERAL PARTNER

OWNER'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF _____

ON _____ BEFORE ME, _____

NOTARY PUBLIC, PERSONALLY APPEARED JOHN PROTOPAPPAS, WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN HIS AUTHORIZED CAPACITY, AND THAT BY HIS SIGNATURE ON THE INSTRUMENT THE PERSON, OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND.

SIGNATURE: _____ COMMISSION NO. _____

PRINTED NAME: _____ MY COMMISSION EXPIRES: _____

MY PRINCIPAL PLACE OF BUSINESS IS _____ COUNTY

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FILED SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TIMBERLINE FUND II, LLC IN JULY, 2019. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY.

I HEREBY STATE THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE ONE YEAR FROM THE DATE OF FILING OF THIS MAP, AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED: _____ 20__

3rd REVIEW SUBMITTAL

BRIAN L. SOUSA, L.S. 7917



CITY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP; THAT THE SUBDIVISION AS SHOWN IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL PROVISIONS OF THE CALIFORNIA SUBDIVISION MAP ACT AND ANY LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THIS MAP IS TECHNICALLY CORRECT.

RAYMOND R. HEBERT, CITY SURVEYOR OF OAKLAND

BY: _____ DATE: _____
RAYMOND R. HEBERT, L.S. 5870



TRUSTEE'S STATEMENT

THE UNDERSIGNED, AS TRUSTEE OF THE DEED OF TRUST RECORDED SEPTEMBER 16, 2019, UNDER SERIES NO. 2019183620, IN THE OFFICIAL RECORDS OF ALAMEDA COUNTY, STATE OF CALIFORNIA; DOES HEREBY JOIN IN AND CONSENT TO THE EXECUTION OF THE FOREGOING OWNER'S STATEMENT AND TO THE PREPARATION AND FILING OF THIS MAP.

OLD REPUBLIC TITLE COMPANY, A CALIFORNIA CORPORATION

BY: _____

DATE: _____

PRINT NAME: _____

TITLE: _____

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA
COUNTY OF _____

ON _____ BEFORE ME, _____

NOTARY PUBLIC, PERSONALLY APPEARED _____ WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN HIS AUTHORIZED CAPACITY, AND THAT BY HIS SIGNATURE ON THE INSTRUMENT THE PERSON, OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND.

SIGNATURE: _____ COMMISSION NO. _____

PRINTED NAME: _____ MY COMMISSION EXPIRES: _____

MY PRINCIPAL PLACE OF BUSINESS IS _____ COUNTY

CITY ENGINEER'S STATEMENT

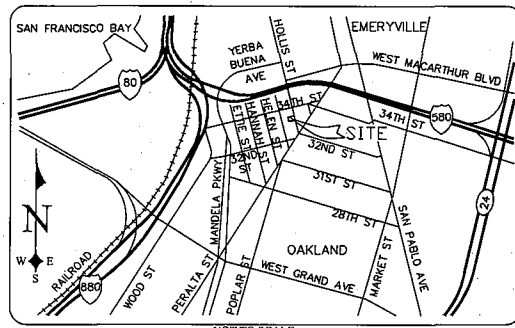
I, WLADIMIR WLASSOWSKY, CITY ENGINEER, HAVING BEEN AUTHORIZED TO PERFORM THE FUNCTIONS OF THE CITY ENGINEER OF THE CITY OF OAKLAND, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, FOR THE PURPOSE OF REVIEWING SUBDIVISION MAPS, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREIN EMBODIED MAP ENTITLED "TRACT MAP 8464, CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA"; THAT SAID MAP COMPLIES WITH ALL THE PROVISIONS OF THE SUBDIVISION MAP ACT OF THE GOVERNMENT CODE AND THE LOCAL ORDINANCES APPLICABLE AT THE TIME OF THE APPROVAL OF THE TENTATIVE MAP.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS _____ OF _____ 20__

WLADIMIR WLASSOWSKY, R.C.E. NO. 40013
CITY ENGINEER
CITY OF OAKLAND, ALAMEDA COUNTY
STATE OF CALIFORNIA



VICINITY MAP



CLERK OF THE BOARD OF SUPERVISORS' STATEMENT

I, ANIKA CAMPBELL-BELTON, CLERK OF THE BOARD OF SUPERVISORS OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY STATE AS CHECKED BELOW, THAT:

[] AN APPROVED BOND HAS BEEN FILED WITH THE SUPERVISORS OF SAID COUNTY AND STATE IN THE AMOUNT OF \$ _____, CONDITIONED FOR THE PAYMENT OF ALL TAXES, AND SPECIAL ASSESSMENTS COLLECTED AS TAXES, APPROVED BY SAID LOCAL BOARD IN SAID AMOUNT.

[] ALL TAXES AND SPECIAL ASSESSMENTS COLLECTED AS TAXES HAVE BEEN PAID AS CERTIFIED BY THE TREASURER-TAX COLLECTOR OF THE COUNTY OF ALAMEDA.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND.

DATED: _____
ANIKA CAMPBELL-BELTON
CLERK OF THE BOARD OF SUPERVISORS
COUNTY OF ALAMEDA
STATE OF CALIFORNIA
BY: _____
DEPUTY COUNTY CLERK

CITY PLANNING COMMISSION'S STATEMENT

THIS MAP IS BASED ON A TENTATIVE TRACT MAP APPROVED BY THE CITY PLANNING COMMISSION OF THE CITY OF OAKLAND AT THEIR MEETING ON _____ AND WHEN RECORDED THIS MAP BECOMES THE OFFICIAL MAP OF THE LAND DIVISION.

DATE: _____
ROBERT D. MERKAMP
SECRETARY OF THE CITY PLANNING COMMISSION
OF THE CITY OF OAKLAND, CALIFORNIA

SEISMIC HAZARD NOTE:

THIS REAL PROPERTY LIES WITHIN THE FOLLOWING AREA: A SEISMIC HAZARD ZONE PURSUANT TO SECTION 2696 OF THE PUBLIC RESOURCES CODE. THESE HAZARDS MAY LIMIT YOUR ABILITY TO DEVELOP THE REAL PROPERTY, TO OBTAIN INSURANCE, OR TO RECEIVE ASSISTANCE AFTER A DISASTER. THE MAPS ON WHICH THESE DISCLOSURES ARE BASED ESTIMATE WHERE NATURAL DISASTERS EXIST. THEY ARE NOT DEFINITIVE INDICATORS OF WHETHER OR NOT A PROPERTY WILL BE AFFECTED BY A NATURAL DISASTER. TRANSFEREE(S) AND TRANSFEROR(S) MAY WISH TO OBTAIN PROFESSIONAL ADVICE REGARDING THOSE HAZARDS AND OTHER HAZARDS THAT MAY AFFECT THE PROPERTY.

CONDOMINIUM NOTE:

THIS SUBDIVISION IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 1350 OF THE CIVIL CODE OF THE STATE OF CALIFORNIA, CONTAINING A MAXIMUM OF 10 CONDOMINIUM UNITS AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT.

RECORDER'S STATEMENT

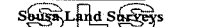
FILED FOR RECORD THIS _____ DAY OF _____ 20__ AT _____ M.
IN BOOK _____ OF MAPS, AT PAGES _____ UNDER SERIES NUMBER _____ AT THE REQUEST OF OLD REPUBLIC TITLE COMPANY.

FEE: _____
SERIES: _____

MELISSA WILK
COUNTY RECORDER, IN AND FOR
ALAMEDA COUNTY

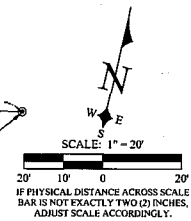
BY: _____
DEPUTY COUNTY RECORDER

TRACT MAP 8464
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
A FIVE LOT SUBDIVISION
10 RESIDENTIAL UNIT CONDOMINIUM PROJECT
(2 RESIDENTIAL CONDOMINIUM UNITS PER LOT)
BEING A MERGER AND RE-SUBDIVISION OF SUBDIVISION
"A" OF LOT 8, BLOCK 791 TOGETHER WITH SUBDIVISIONS
"C" & "D" OF LOT 9, BLOCK 791, FILED IN BOOK 6 OF
MAPS, AT PAGE 13, ALAMEDA COUNTY RECORDS,
DATED: OCTOBER, 2019



tel 707.425.4300 fax 707.471.0318
3809 Rollingwood Dr. Fairfield, CA 94534

MON. A / PM 10425
FD. 3" BRASS DISK IN CONC.
STAMPED "CITY OF OAKLAND
LS7623" (3)



LEGEND

- DISTINCTIVE BORDER / PARCEL MAP BOUNDARY
- - - RIGHT OF WAY LINES
- CENTERLINE OF RIGHT OF WAY
- - - CITY MONUMENT LINE PER REFERENCE (2)
- ORIGINAL LOT LINES
- - - EASEMENT LINE
- ⊙ FOUND CITY OF OAKLAND MONUMENT PER REFERENCE AS NOTED
- FOUND MONUMENT AS NOTED
- SET NAIL AND BRASS TAG STAMPED "LS7917" IN CONC. SET 3/4" X 18" IRON PIPE WITH 1-1/2" ALUMINUM CAP STAMPED "LS7917"
- (---) RECORD DATA PER REFERENCE MONUMENT TO MONUMENT
- (N-M) LOT LINE TO BE REMOVED BY THIS MAP
- SNF SEARCHED FOR MONUMENT, NOTHING FOUND
- PDE PRIVATE DRAINAGE EASEMENT
- PAUE PRIVATE ACCESS AND UTILITY EASEMENT

BASIS OF BEARINGS

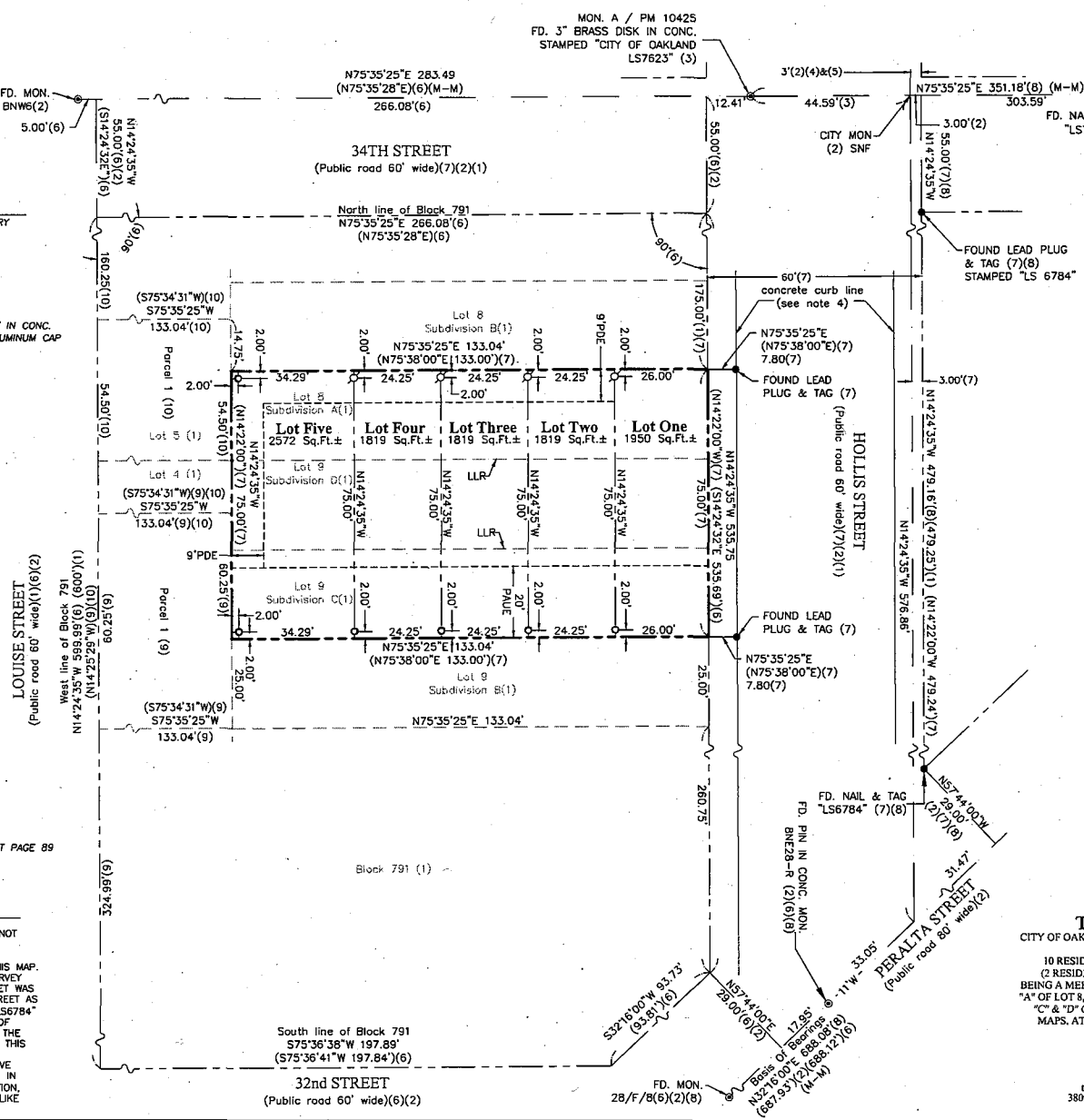
MONUMENT LINE OF PERALTA STREET AS SHOWN ON PARCEL MAP NO 8534, FILED IN BOOK 298 OF MAPS, AT PAGE 55. THAT BEARING TAKEN TO BE NORTH 32°16'00" EAST.

REFERENCES:

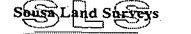
- (1) MAP NO. 2 OF WATTS TRACT OAKLAND, BOOK 6 OF MAPS, PAGE 13
- (2) CITY OF OAKLAND MONUMENT MAP NO. 5 266 & 267 AND DATA SHEETS ON FILE IN THE CITY SURVEYOR'S OFFICE
- (3) CORNER RECORD 4246 BOOK 38 OF C.R., PAGE 19
- (4) PARCEL MAP NO. 8954 BOOK 292 OF MAPS, PAGE 44
- (5) PARCEL MAP NO. 8913 BOOK 296 OF MAPS, PAGE 58
- (6) PARCEL MAP NO. 8534 BOOK 298 OF MAPS, PAGE 55
- (7) RECORD OF SURVEY NO. 2044 BOOK 30 OF RECORDS OF SURVEYS AT PAGE 89
- (8) PARCEL MAP NO 10425 BOOK 342 OF MAPS, PAGE 10
- (9) PARCEL MAP NO 8721 BOOK 292 OF MAPS, PAGE 5
- (10) PARCEL MAP NO 8720 BOOK 286 OF MAPS, PAGE 76

NOTES:

1. THE SUM OF THE INDIVIDUAL PARTS OF A GIVEN LINE OR CURVE MAY NOT EQUAL THE OVERALL QUANTITY DUE TO ROUNDING.
2. THIS SUBDIVISION CONTAINS 9,978 SQUARE FEET, MORE OR LESS.
3. ALL EXISTING INTERIOR PARCEL/LOT LINES ARE TO BE REMOVED BY THIS MAP.
4. THE LOCATION OF HOLLIS STREET AS ESTABLISHED ON RECORD OF SURVEY NO. 2044 WAS HELD BY THIS SURVEY. THE BEARING OF HOLLIS STREET WAS ESTABLISHED AS PERPENDICULAR TO THE MONUMENT LINE OF 34TH STREET AS SHOWN ON SAID RECORD OF SURVEY NO. 2044. THE NAIL AND TAG, "LS6784" PER SAID RECORD OF SURVEY NO. 2044 AT THE NORTHEAST CORNER OF HOLLIS AND PERALTA STREETS WAS FOUND TO MATCH THIS LOCATION. THE CURB IMPROVEMENTS ON HOLLIS STREET WERE ALSO FOUND TO MATCH THIS LOCATION.
5. THE SUBJECT PROPERTY IS ENCUMBERED BY A BLANKET NON-EXCLUSIVE EASEMENT AND RIGHT-OF-WAY RECORDED AS SERIES NO. 2019158172, IN FAVOR OF COMCAST OF CALIFORNIA/COLORADO, LLC FOR THE INSTALLATION, MAINTENANCE AND DISTRIBUTION OF BROADBAND SERVICES AND OTHER LIKE COMMUNICATIONS.



TRACT MAP 8464
CITY OF OAKLAND, COUNTY OF ALAMEDA, CALIFORNIA
A FIVE LOT SUBDIVISION,
10 RESIDENTIAL UNIT CONDOMINIUM PROJECT
(2 RESIDENTIAL CONDOMINIUM UNITS PER LOT)
BEING A MERGER AND RE-SUBDIVISION OF SUBDIVISION
"A" OF LOT 8, BLOCK 791 TOGETHER WITH SUBDIVISIONS
"C" & "D" OF LOT 9, BLOCK 791, FILED IN BOOK 6 OF
MAPS, AT PAGE 13, ALAMEDA COUNTY RECORDS.
DATED: OCTOBER, 2019



tel 707.425.4300 fax 707.471.0318
3809 Rollingwood Dr. Fairfield, CA 94534

**RECORDING REQUESTED BY AND
WHEN RECORDED MAIL TO:**

**City of Oakland
Public Works Department
Dalziel Administration Building
250 Frank H. Ogawa Plaza – 4th Floor
Oakland, CA 94612
Attention: City Engineer**

This document is exempt from payment
of a recording fee pursuant to California
Government Code section 27383.

SPACE ABOVE FOR RECORDER'S USE

SUBDIVISION IMPROVEMENT AGREEMENT

Deferred Construction of Public Infrastructure Improvements

3245 and 3251 Hollis Street

Final Map No. 8464

This SUBDIVISION IMPROVEMENT AGREEMENT (“**Agreement**”), dated as of April 30th, 2020 (“**Effective Date**”), is entered into by and between the City of Oakland, a California municipal corporation (“**CITY**”), and Timberline Fund II, LLC, a California limited liability company (no. 2019131305) (“**SUBDIVIDER**”), with reference to the following facts and circumstances:

RECITALS

- A. SUBDIVIDER is the owner in fee title and subdivider of two (2) lots located within the corporate limits of the CITY, which are identified by the Alameda County Assessor as parcel numbers 007-0594-008-00 and 007-0594-009-00, and by the Alameda County Clerk-Recorder as Tract No. 8464, and by the City of Oakland as 3245 and 3251 Hollis Street.
- B. SUBDIVIDER has presented a proposed Final Map to the City, identified as Final Map No. 8464, which proposes a subdivision of previously subdivided lots of this platted land into five (5) developable micro-lots (“**Final Map**”).
- C. As a condition precedent to the CITY’s approval of the proposed Final Map, the CITY requires the construction of public infrastructure improvements off-site in the CITY right-of-way that customarily include, but are not limited to, grading, paving, striping and lettering, curbs, gutters and sidewalks, trees, landscaping and irrigation, retaining walls, storm drains and sanitary sewers, street name and public transportation signs, survey monuments, electricity, communication, water, and natural gas utility mains and branch

pipng and wiring, fire hydrants, street light electroliers, traffic control and curb parking signs, signals and meters, and all appurtenances thereto ("**Public Infrastructure Improvements**").

- D. SUBDIVIDER has asked the CITY and local public utility companies to accept the permanent maintenance of the required Public Infrastructure Improvements shown on the construction plans accompanying permit number PX1900006 and included in *Exhibit A*, attached hereto and incorporated herein.
- E. Construction of the required Public Infrastructure Improvements, however, has not commenced nor has it been accepted by the CITY. Consequently and in consideration of the approval of the proposed Parcel Map and acceptance of the irrevocable offers of dedication of public right-of-way and easements and acceptance of the permanent maintenance of the required Public Infrastructure Improvements, the parties desire to establish an Agreement binding the SUBDIVIDER to complete the required improvements pursuant to the terms and conditions set forth herein.

AGREEMENT

ACCORDINGLY, for good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the CITY and SUBDIVIDER agree as follows:

1. **Approval of Final Map No. 8464**

Approval of Final Map No. 8464 by the CITY shall be conditioned upon recordation of this Agreement with the Alameda County Recorder, as well as SUBDIVIDER's satisfactory performance of its obligations specified in this Agreement, as determined by the CITY.

2. **Construction of Public Infrastructure Improvements**

SUBDIVIDER shall construct all required off-site and on-site Public Infrastructure Improvements in strict accordance with all permits, specifications, plans and applicable CITY standards and performance criteria as specified in *Exhibit A* and set forth below in Section 3, Special Conditions.

3. **Special Conditions**

SUBDIVIDER shall comply with the special conditions as follows:

A. The Public Infrastructure Improvements shall conform to the performance criteria specified in Oakland Municipal Code Chapter 16.16 – Design Standards and in Standard Details for Public Works Construction and Standard Specifications for Public Works Construction, current editions.

B. The time duration for the completion of required Public Infrastructure Improvements, as set forth in Section 4 below, shall include allowance for construction workday delays attributable to consecutive and intermittent inclement weather, as has been recorded by the United States Weather Bureau for the CITY and surrounding area and seasonally averaged

for the previous ten years.

C. Hours, days, and months of operation and control of public nuisance conditions for the construction of required Public Infrastructure Improvements shall conform to the requirements of all CITY Conditions of Approval for the project and the Oakland Municipal Code, including section 15.04.780 and subsections 3304.6 and 3304.11. No work shall be performed on Saturdays or Sundays or holidays nor commence before 8:00 am local time nor be performed after 5:00 pm local time without the written authorization of the City Engineer.

D. Performance standards for the construction of required public infrastructure improvements shall comply with the requirements of Oakland Municipal Code chapter 17.120 and with regional, state, and federal regulations for "Best Management Practices" for erosion and sedimentation control, including a California Construction General Permit with a Storm Water Pollution Prevention Plan (SWPPP – "C6") provided by a Qualified SWPPP Developer (QSD) and monitored by a Qualified SWPPP Practitioner (QSP).

E. In order to safeguard life, public and private property, and to ensure that the work will be carried out in an orderly manner in conformance with all regulations and without creating a public nuisance, the City Engineer may add to, remove, or change these Special Conditions from time to time during the duration of the permit as he or she deems reasonably necessary.

4. Completion of Public Infrastructure Improvements

A. All construction of required Public Infrastructure Improvements shall be completed by SUBDIVIDER within one (1) year of the Effective Date of this Agreement, except those required improvements for which another completion date is stated in *Exhibit A* or set forth above in Section 3, Special Conditions. Construction shall not be deemed complete until the public infrastructure permit has received a final inspection sign-off by the city inspector, an unconditional Letter of Completion, signed and stamped by the SUBDIVIDER's engineer, has been received by the CITY, and an unconditional Letter of Completion has been issued by the City Engineer.

B. The City Engineer may extend the time for completion of the required public infrastructure improvements upon demonstration of good cause. The City Engineer shall be the sole and final judge as to whether or not good cause has been shown to entitle SUBDIVIDER to an extension under this Section 4B.

C. An extension may be granted without notice to SUBDIVIDER's surety, and extensions so granted shall not relieve the surety's liability on any of the bonds required by this Agreement.

D. In the event that an extension is granted, SUBDIVIDER agrees to promptly extend the term of all surety bonds securing its performance under this Agreement, and/or provide additional bonds or other surety acceptable to the CITY. All such bonds and/or other surety are subject to review and approval by the City Attorney for legal sufficiency, and if no bonds or other surety acceptable to the City Attorney are provided to secure SUBDIVIDER's performance, the extension shall be void.

5. Acceptance of Dedications and Ownership of Public Infrastructure Improvements

Upon final approval of the public infrastructure improvement permit and unconditional issuance of a Certificate of Completion, and all improvements required by this Agreement shall become the sole property of the CITY. The CITY will subsequently accept the permanent maintenance of these improvements as set forth below in Sections 7, Maintenance of Public Infrastructure Improvements, and 8, Guarantee of Workmanship and Warranty of Equipment, Materials, and Expertise.

6. Responsibility for Dedications and Public Infrastructure Improvements

Until the Certificate of Completion is unconditionally issued, SUBDIVIDER shall give good and adequate warning to the public of each and every defective or dangerous condition existing or arising within all public right-of-way and public easements offered for dedication and shall adequately protect the public from said unsafe conditions. Warning to and protection of the public shall remain the sole responsibility and expense of SUBDIVIDER until such time as the Certificate of Completion is unconditionally issued.

7. Maintenance of Public Infrastructure Improvements

Until one (1) year has elapsed following unconditional issuance of the Certificate of Completion, SUBDIVIDER shall maintain the construction of the required public infrastructure improvements and shall immediately perform or cause to be performed at its sole expense all necessary repairs, replacements, additions, or other corrective actions.

8. Guarantee of Workmanship and Warranty of Equipment, Materials, and Expertise

Until one (1) year has elapsed following the unconditional issuance of the Certificate of Completion, SUBDIVIDER warrants that the required public infrastructure improvements, including the equipment and materials provided for the required improvements, are and will be free from defects and guarantees that the construction of the required improvements is and will be free from deficiencies and that the required improvements will perform satisfactorily in accordance with the specifications, plans and applicable CITY standards and performance criteria as specified in *Exhibit A* and set forth above in Section 3, Special Conditions. SUBDIVIDER further warrants that its design professionals are competent, that their analyses are adequate, and that their designs will meet or exceed the applicable CITY standards and performance criteria as specified in *Exhibit A* and set forth above in Section 3, Special Conditions.

If at any time before the expiration of the guarantee and warranty period specified herein said designs prove to be inadequate in any respect, as determined by the City Engineer, SUBDIVIDER shall make changes at its sole expense necessary to assure conformance with said standards and criteria.

9. Inspection of Construction

Inspection of the construction and equipment and materials, or approval of the construction and equipment and materials inspected, or statement by any officer, agent, or employee of the CITY indicating the construction and equipment and materials, or any part thereof, comply with the requirements and conditions of this Agreement, or acceptance of the whole or any part of the construction and materials, or payments thereof, or any combinations, or any combination, or all of these acts shall not relieve SUBDIVIDER of its obligation to fulfill this Agreement as prescribed herein; nor shall the CITY be thereby estopped from bringing any action for damages arising from the failure of SUBDIVIDER to comply with any of the requirements and conditions of this Agreement.

10. Payment of Fees and Penalties and Accrued Interest

Prior to issuance of the Certificate of Completion and prior to acceptance by the CITY of the on-site and off-site required public infrastructure improvements for permanent maintenance, SUBDIVIDER shall pay all fees and penalties and accrued interest to the CITY and other Public Agencies that remain unpaid. Interest on amounts owed to the CITY shall accrue at the rates set forth in its Master Fee Schedule and from the date that the fees and penalties are assessed and shall continue until full payment is received, whether or not any conditions of this Agreement are extended or modified.

11. Reversion to Acreage

If SUBDIVIDER fails to perform its obligations under this Agreement, SUBDIVIDER consents to the reversion to acreage of the land which is the subject of this Agreement pursuant to Government Code section 66499.16 and to bear all applicable costs.

12. Property Acquisition

If SUBDIVIDER is unable to acquire property required for the construction of required improvements, SUBDIVIDER agrees to execute the standard CITY Contract for Real Property Acquisition to provide for acquisition through eminent domain.

13. Security

SUBDIVIDER shall present to the CITY surety bonds, in a form satisfactory to the City Attorney, issued by a corporate surety authorized to issue said security in the State of California as follows:

A. Before execution of this Agreement, the following securities shall be presented:

1. **Faithful Performance Bond** in a face amount not less than One Hundred Fifty One Thousand and Seven Hundred Dollars (**\$35,227**), which is the full amount (one-hundred percent) of the City Engineer's total estimated cost for constructing the required on-site and off-site public infrastructure improvements, to secure faithful performance of this Agreement by SUBDIVIDER; and

2. **Labor and Materials Bond** in a face amount not less than Seventy Five Thousand and Eight Hundred Fifty Dollars (\$17,613.50), which is one-half (fifty percent) of the full amount of the City Engineer's total estimated cost for constructing the required on-site and off-site public infrastructure improvements, to secure payment by SUBDIVIDER to its contractor, subcontractors, laborers and material suppliers furnishing supervision, labor, materials and equipment engaged in the construction pursuant to this Agreement, and further to secure payment as required by the Unemployment Insurance Act.

The Faithful Performance Bond and the Labor and Materials Bond shall not be limited in duration nor stipulate a date of expiration and shall remain in effect until the unconditional issuance of the Certificate of Completion of the required public infrastructure improvements.

B. Before final approval of the public infrastructure permit, the following security shall be presented:

Maintenance Bond in a face amount not less than Thirty Seven Thousand and Nine Hundred Twenty Five (\$8,806.75), which is one-quarter (twenty-five percent) of the full amount of the City Engineer's total estimated cost for constructing the required on-site and off-site public infrastructure improvements, to secure faithful performance of Sections 7, Maintenance of Public Infrastructure Improvements, and 8, Guarantee of Workmanship and Warranty of Equipment, Materials, and Expertise, above. This Maintenance Bond shall remain in effect for not less than one year after the date of the unconditional issuance of the Certificate of Completion of the required public infrastructure improvements.

C. Pursuant to Government Code section 66499.4, the obligation guaranteed by each bond shall include costs and reasonable expenses and fees, including reasonable attorney fees and expert witness fees, incurred by the CITY in successfully enforcing said obligations and shall be in addition to the face amount of each bond.

D. All such bonds and/or other surety are subject to review and approval by the City Attorney for legal sufficiency, and if no bonds or other surety acceptable to the City Attorney are provided, this Agreement shall be void.

14. Alternative Security

In lieu of the bonds required above in Section 13, Security, alternative securities may be substituted by SUBDIVIDER in a form provided by Government Code Section 66499.3 and subject to review and approval by the City Attorney.

15. Defense, Indemnity, and Hold Harmless

A. To the maximum extent permitted by law, SUBDIVIDER shall defend (with counsel acceptable to the CITY), hold harmless, and indemnify the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers from any and all liability, claims, demands, losses (direct or indirect), lawsuits, actions, causes of action, proceeding and judgments for injury and/or damages of any kind and nature whatsoever (including legal costs, attorneys' fees, expert witness or consultant fees, City Attorney or staff time, expenses or costs) (collectively called "**Action**") arising out of, related to or caused by

performance of this Agreement, including without limitation the design, construction and/or maintenance (for a period of one year following unconditional issuance of the Certificate of Completion) of the required on-site and off-site public infrastructure improvements and regardless of responsibility for negligence. The CITY may elect, in its sole and absolute discretion, to participate in the defense of said Action, and SUBDIVIDER shall reimburse the CITY for its reasonable legal costs and attorneys' fees. Not in limitation of the foregoing, SUBDIVIDER further agrees to defend and protect the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers from all liability or claims because of, or arising out of the use of any patent or patented articles in the construction of said improvements. SUBDIVIDER waives all claims and recourse against the CITY, including, without limitation, the right of contribution for loss or damage to persons or property, arising from, growing out of, or in any way connected with or incident to the work performed or failed to be performed under this Agreement. This Defense, Indemnity, and Hold Harmless section shall survive the termination of this Agreement.

B. Within ten (10) calendar days of the filing of any Action as specified in subsection A above, SUBDIVIDER shall execute a Joint Defense Letter Agreement with the CITY, acceptable to the City Attorney, which memorializes the above obligations. These obligations and the Joint Defense Letter of Agreement shall survive termination, extinguishment or invalidation of this Agreement. Failure to timely execute the Joint Defense Letter Agreement does not relieve SUBDIVIDER of any of the obligations contained in this Agreement or other requirements that may be imposed by the CITY.

16. Insurance Required

SUBDIVIDER shall procure and maintain for the duration of the Agreement sufficient insurance against claims for injuries to persons or damages to property that may arise from or in connection with the performance of the work hereunder by SUBDIVIDER and his agents, representatives, employees or subcontractors.

A. Minimum Scope of Insurance

Coverage shall be at least as broad as:

1. Insurance Services Office Commercial General Liability coverage ("occurrence" form CG 0001).
2. Insurance Services Office form number CA 0001 covering Automobile Liability, code 1 "any auto."
3. Workers' Compensation insurance as required by the Labor Code of the State of California and Employers Liability insurance.

B. Minimum Limits of Insurance

1. **Commercial General Liability** insurance, including but not limited to, Bodily Injury, Broad Form Property Damage, Contractual Liability, Operations, Products and Completed Operations, Owners and Contractors Protective Liability, and/or XCU coverage,

when applicable, with limits not less than **\$2,000,000.00** combined single limit per occurrence for bodily damage, personal injury and property damage. The limits of insurance shall apply separately to this project or location. The policy shall contain a severability of interest clause or cross liability clause or the equivalent thereof.

2. **Automobile Liability** with limits not less than **\$2,000,000.00** combined single limit per accident for bodily injury and property damage.

3. **Worker's Compensation** insurance as required by the laws of the State of California with limits not less than **\$1,000,000.00**. Statutory coverage may include Employers Liability coverage. SUBDIVIDER certifies that he/she is aware of the provisions of section 3700 of the California Labor Code, which requires every employer to provide Workers' Compensation coverage, or to undertake self-insurance in accordance with the provisions of that Code. SUBDIVIDER shall comply with the provisions of section 3700 of the California Labor Code before commencing performance of the work under this Agreement and thereafter as required by that code.

4. **Professional Liability/Errors/Omissions** insurance with limits not less than **\$1,000,000.00**.

5. **Builders' Risk/Course of Construction** insurance covering all risks of loss with limits not less than the completed value of the project with no coinsurance penalty provisions. The CITY shall be named as loss payee under this policy. The insurer shall waive all rights of subrogation against the CITY.

C. **Deductibles and Self-Insured Retentions**

Any deductibles or self-insured retentions must be declared to and approved by the CITY. At the option of the CITY, either:

1. the insurer shall reduce or eliminate such deductibles or self-insured retentions with respect to the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers; or

2. SUBDIVIDER shall procure a bond guaranteeing payment of losses and related investigations, claim administration and defense expenses.

D. **Other Insurance Provisions**

The general and automobile liability policies shall contain, or be endorsed to contain, the following provisions:

1. The CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers are to be covered as additional insured as respects: liability arising out of activities performed by or on behalf of SUBDIVIDER, products and completed operations of SUBDIVIDER; premises owned, occupied or used by SUBDIVIDER, or automobiles owned, leased, hired or borrowed by SUBDIVIDER. The coverage shall contain no special limitations on the scope of protection afforded to the

CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers.

2. SUBDIVIDER's insurance coverage shall be primary insurance as respects the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers. Any insurance or self-insurance maintained by the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers shall be excess of SUBDIVIDER's insurance and shall not contribute with it.

3. Any failure to comply with reporting provisions of the policies required by this clause, including breaches of warranties, shall not affect coverage provided to the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers.

4. SUBDIVIDER's insurance shall apply separately to each insured against whom claim is made or suit is brought, except with respect to the limits of the insurer's liability.

5. The insurer shall agree to waive all rights of subrogation against the CITY, the Oakland City Council, and its respective officials, officers, employees, agents, representatives, and volunteers for losses arising from work performed by SUBDIVIDER for the CITY.

6. Each insurance policy required by this clause shall be endorsed to state that coverage shall not be canceled, except for non-payment of premium, by either party, except after thirty (30) days prior written notice by certified mail, return receipt required, has been given to the CITY. In the event the policy is canceled for non-payment of premium, ten (10) days prior written notice, as stated above, will be given.

E. Acceptability of Insurers

If the insurance company providing coverage is licensed to do business in the State of California, the company shall have an A.M. Best rating of not less than A:VII. However, if the insurance company is not licensed to do business in California, the A.M. Best rating shall not be less than A+:X. The maximum A.M. Best rating is A++:XV.

F. Verification of Coverage

SUBDIVIDER shall furnish the CITY with certificates of insurance and with original endorsements effecting coverage required by this clause. The certificates and endorsements for each insurance policy are to be signed by a person authorized by that insurer to bind coverage on its behalf. The Commercial General Liability endorsement shall be a form CG 20 10 (or proprietary equivalent), attached to this form. The Commercial Automobile Liability endorsement shall be a form CA 20 48, attached to this document. All certificates and endorsements are to be received and approved by the CITY before work commences. The CITY reserves the right to require complete, certified copies of all required insurance policies, at any time. A STATEMENT OF ADDITIONAL INSURED ENDORSEMENT ON THE ACORD INSURANCE CERTIFICATE FORM IS INSUFFICIENT AND WILL BE REJECTED AS PROOF OF THE ADDITIONAL INSURED REQUIREMENT.

G. Subcontractors

SUBDIVIDER shall include all subcontractors as insured under its policies or shall furnish separate certificates and endorsements for each subcontractor. All coverage for subcontractors shall be subject to all of the requirements stated herein.

17. Participation in Benefit Districts

SUBDIVIDER shall participate in all Benefit Districts formed by the CITY prior to the execution of this Agreement and shall pay the prorated fee due the CITY under the terms of Benefit District or Districts as applied to the real property covered by this Agreement.

18. Actions to Enforce

If any action at law or in equity, including an action for declaratory relief, is brought to enforce or interpret the provisions of this Agreement, the prevailing party shall be entitled to costs and reasonable expenses and fees, including reasonable attorneys' fees and expert witness fees, in addition to any other relief to which they may be entitled.

19. Beneficiaries, Heirs, Assigns, and Successors In Interest

This Agreement pertains to and runs with the real property included within Final Map No. 8191, which land is expressly agreed to benefit from the privileges granted to SUBDIVIDER under this Agreement, and binds the beneficiaries, heirs, assigns, and successors in interest of SUBDIVIDER.

20. Attachments

The following documents are incorporated into this Agreement by reference:

- CITY Permits: Public Infrastructure – PX1900006
- Planning – PLN18142
- Creek Protection – N/A
- Building – RBC1900914, PZ1900058
- Grading – N/A
- Encroachment – applicant will need to apply

CITY Resolution: _____

Subdivision: Final Map No. 8464

City Engineer's Estimate of the Cost of Improvements

Insurer: _____

Surety: _____

21. Constructive Notice

This Agreement shall be filed for recordation in the Official Records of Alameda County within five (5) calendar days following execution by the CITY.

22. Effective Date

This Agreement shall be effective on the Effective Date.

22. Miscellaneous

A. Counterparts. This Agreement may be executed in any number of counterparts (including by fax, PDF or other electronic means), each of which shall be deemed an original, but all of which shall constitute one and the same instrument.

B. Governing Law; Venue. This Agreement shall be governed by and construed in accordance with the laws of the State of California. The parties agree that all actions or proceedings arising directly or indirectly under this Agreement shall be litigated in courts within the County of Alameda, State of California.

C. Integration. This Agreement contains the entire agreement between the parties with respect to the subject matter of this Agreement. Any prior correspondence, memoranda, agreements, warranties or representations relating to such subject matter are superseded in total by this Agreement. No prior drafts of this Agreement or changes from those drafts to the executed version of this Agreement shall be introduced as evidence in any litigation or other dispute resolution proceeding by either party or any other person, and no court or other body shall consider those drafts in interpreting this Agreement.

D. Further Assurances. The CITY and SUBDIVIDER shall execute and deliver all documents, amendments, agreements and instruments reasonably necessary or reasonably required in furtherance of this Agreement.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

IN WITNESS WHEREOF, the CITY and SUBDIVIDER have each caused this Agreement to be duly executed on its behalf as of the Effective Date.

Authorized by City Resolution No. _____
C.M.S., adopted _____

CITY:

CITY OF OAKLAND, a municipal
corporation

APPROVED AS TO FORM:

OFFICE OF THE CITY ATTORNEY

By: _____
Wladimir Wlassowsky, P.E.
Assistant Director
Oakland Department of Transportation

SUBDIVIDER*:

Timberline Fund II, A California Limited
Liability Company

By:  _____
Name: Simon Chen
Title: General Partner

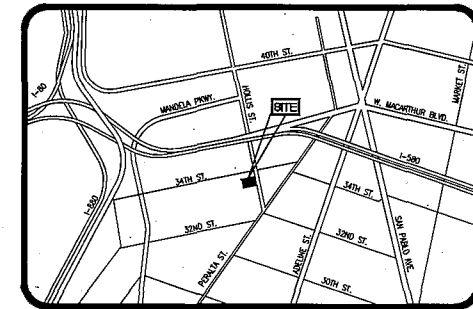
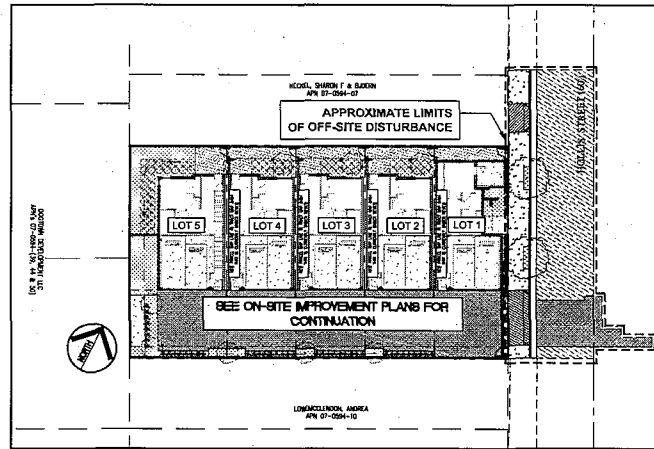
*Notarized acknowledgment required.

OFF-SITE CIVIL (PJOB) CONSTRUCTION DOCUMENTS

3245 HOLLIS ST. - PROPOSED MIXED-USE BUILDING

3245 HOLLIS ST. | OAKLAND, CALIFORNIA 94608
PX1900006

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	POTABLE WATER LINE (PVC SCHEDULE 80)	---
---	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE TREE	---
---	STANDARD PCC PAVEMENT, SEE DETAIL 4 ON SHEET C01	---
---	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH AC, SEE DETAIL 2 ON SHEET C05A TYPE A	---
---	CONCRETE DRIVEWAY, SEE DETAIL 4 ON SHEET C01	---
---	NEW GRIND AND OVERLAY OF 2" AC, SEE DETAIL 2 ON SHEET C05A	---
---	PROPOSED LANDSCAPED AREA, SEE LANDSCAPE PLANS FOR DETAILS	---
---	SION	---
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER OR BOX	---
---	ELECTRIC VAULT	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	CATCH BASIN OR DRAIN INLET	---
---	GAS VALVE	---
---	LIGHT POLE AND UTILITY POLE	---
---	BACKFLOW PREVENTER	---
---	PROPOSED DRAINAGE SWALE	---
---	ORDINANCES TRANSFERRED TO UNDERGROUND VAULT SEE ELECTRICAL AND P&E SHEETS FOR DETAILS	---



SITE INFORMATION:
07-0594-08, 07-0594-09
APN: 07-0594-08, 07-0594-09
ZONING: HD-2
FLOOD ZONE: THE PROPERTY LIES WITHIN FLOOD ZONE "X" FOR FIRM PANEL NO. 05001C0056G, DATED AUGUST 03, 2009. ZONE X IS DEFINED AS "AREAS OF 0.2% ANNUAL CHANCE FLOOD."
SUMMARY:
PARCEL AREA = ± 9,975 SF (±0.229 ACRES)
TOTAL DISTURBED AREA = ± 12,262 SF (±0.282 ACRES)
PROPOSED BUILDING FOOTPRINT AREA = ± 5,700 SF

DESIGNER'S STATEMENT:
THIS PLAN CORRECTLY REPRESENTS A PLOT PLAN MADE BY ME OR UNDER MY DIRECTION.
I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.
I HEREBY FURTHER STATE THAT ALL PROPOSED GRADES, ELEVATIONS, AND CONTOURS DELINEATED UPON THIS PLAN HAVE BEEN BASED UPON A SURVEY BY SOUSA LAND SURVEYS, DATED 04/09/2015. THAT WAS INDICATED THEREBY BY THE SURVEYOR THEREOF AS BEING BASED ON CITY OF OAKLAND DATUM.

ABBREVIATIONS	ABBREVIATIONS	ABBREVIATIONS
AC ASPHALT CONCRETE	FT FEET	SKR/SQ SQUARE DIMENSIONAL RATIO 35
ADA AMERICANS WITH DISABILITIES ACT	FR FRONT OF WALK	SF SQUARE FEET
ADP ACCESSORY PARCEL, HUNTSVILLE	FW FACE OF WALL CONCRETE	SL STREET LIGHT
APMA AMERICAN PUBLIC WORKS ASSOCIATION	GC GAS	SLP STREET LIGHT PULL BOX
APE AERIAL PHOTOGRAPHIC SURVEY	GB GROUND BREAK	SP SPECIFIC PLAN SPECIFICATION
BAQMD BAY AREA AIR QUALITY MANAGEMENT DISTRICT	GV GAS VALVE	SPC SPECIFIC PLAN SPECIFICATION
BLDG BUILDING	HDPE HIGH-DENSITY POLYETHYLENE	SSD SANITARY SEWER CLEAN OUT
BLVD BOULEVARD	HDV HIGH-DENSITY POLYETHYLENE	SSM SANITARY SEWER MANHOLE
BS BOOK	HTD HORIZONTAL	ST STREET
BM BENCHMARK	IE INVERT ELEVATION	STW STORMWATER
BSM BOTTOM OF PIPE	IP INVERT	STL STREET LIGHT
BSM BOTTSORETMENT SOIL MIX	IR INVERT	STW STORMWATER
C CONCRETE	JP JOINT POLE	SW SW
CA CALIFORNIA	LD LENGTH	SWF SW
CASQA CALIFORNIA STORMWATER QUALITY ASSOCIATION	L/L LANDSCAPE	T TEMPORARY BENCHMARK
CB CATCH BASIN	LF LEGAL FEET	TC TOP OF CURB
CCV CLOSED-CIRCUIT TELEVISION	LT LIGHT	TCO TRAFFIC CONTROL DEVICE
CL CENTERLINE	LU LUMINAIRE	TV TELEPHONE VAULT
CLR CLEAR	MAX MAXIMUM	TL TRAFFIC LIGHT
COMM COMMUNICATION	MAD MAXIMUM	TS TOP OF SLOPE / TOP OF PIPE
CONC CONCRETE	MND MINIMUM	TSB TRAFFIC SIGNAL PULL BOX
CONC CONCRETE	MNT MOUNTING	TV TELEPHONE VAULT
CMT COMMUNICATION VAULT	MTR METER	TW TOP OF WALL
CDT CLOSURE DETECTOR	N NORTH	TYP TYPICAL
CDX CLOSURE DETECTOR CHECK VALVE	NC NATURAL GROUND	UE UNDERGROUND ELECTRIC
CDXA DOUBLE CHECK DETECTOR ASSEMBLY	NO NOT IN CONTRACT	UL UNDERGROUND TELEPHONE
DI DROP INLET	NOT TO SCALE	UT UTILITY
DM DIAMETER	ON CENTER	VAC VACUUM AIR TUBE
DWG DRAWING	OC OVERHEAD	VCP VENTRATED FLUE PIPE
E ELECTRIC / EAST	OC OVERHEAD	VLT VOLT
EAD EAST BAY MUNICIPAL UTILITY DISTRICT	OC OVERHEAD	W WEST
EC ELECTRIC CABINET	OC OVERHEAD	WM WATER METER
EVT ELECTRIC VAULT	OC OVERHEAD	WN WATER NILE
EX EXISTING	OC OVERHEAD	WT WATER WALK
FD FIRE DEPARTMENT CONNECTION	OC OVERHEAD	WLT WATER WALK
FD FINISHED FLOOR	OC OVERHEAD	
FD FINISHED GRADE	OC OVERHEAD	
FD FIRE HYDRANT	OC OVERHEAD	
FD FLOW LINE	OC OVERHEAD	
FD FLOW LINE	OC OVERHEAD	
FD FACE OF CURB	OC OVERHEAD	
FD FIRE PROTECTION	OC OVERHEAD	
FD FINISHED SURFACE	OC OVERHEAD	
	OC OVERHEAD	

TITLE: ORIGINAL
DATE: 06/29/2024
LIC# 69670
EXPRES 06/29/2024



ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

CIVIL SHEET INDEX

- C01 PJOB CIVIL TITLE SHEET
- C01A PJOB CIVIL NOTES SHEET
- C02 PJOB EXISTING CONDITIONS AND DEMOLITION PLAN
- C03 PJOB SITE PAVING AND HORIZONTAL CONTROL PLAN
- C04 PJOB GRADING AND DRAINAGE PLAN
- C05 PJOB UTILITY PLAN
- C05A PJOB UTILITY PROFILES
- C05B PJOB SCIENCE AND STOPPING PLAN
- C07 PJOB EROSION CONTROL PLAN
- C08 PJOB CIVIL CONSTRUCTION DETAILS
- C08A PJOB CIVIL CONSTRUCTION DETAILS
- C08B PJOB CIVIL CONSTRUCTION DETAILS
- C08C PJOB CIVIL CONSTRUCTION DETAILS

SCOPE OF WORK:

THE SCOPE OF WORK IS TO DEVELOP A NEW MIX-USE BUILDING INCLUDING FOUR (4) PROPOSED PARCELS - EACH CONTAINING A DUPLEX - THAT WILL EVENTUALLY BE TURNED INTO CONDOMINIUMS ON A SINGLE EXISTING PARCEL (APNs: 07-0594-08, 07-0594-09).

SOILS REPORT NOTE:

THE CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS AND PROCEDURES AS DESCRIBED IN THE GEOTECHNICAL EVALUATION REPORT TITLED "GEOTECHNICAL ENGINEERING STUDY HOLLIS STREET - RESIDENTIAL DEVELOPMENT", PREPARED BY GEO-ENGINEERING SOLUTIONS, INC., DATED 10/02/2018.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY SOUSA LAND SURVEYS INC., DATED 05/28/2015. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

LEGAL DESCRIPTION AND EASEMENT NOTE:

THE LEGAL DESCRIPTION AND EASEMENT INFORMATION FOR THE PROPERTY SURVEYED HEREON IS TAKEN FROM THE PRELIMINARY TITLE REPORT DATED JANUARY 26, 2015, PREPARED BY CHICAGO TITLE COMPANY AT 2150 JOHN GLEN, SUITE 400, CONCORD, CA 94520 UNDER TITLE NUMBER 15-2020077-10.

BASIS OF BEARING:

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE MONUMENT LINE OF PERALTA STREET AS SHOWN ON PARCEL MAP 8534 (258 P.M. 55) THAT BEARING TAKEN AS 432°15'00".

DATUM / BENCHMARK:

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON THE CITY OF OAKLAND DATUM, CITY BENCHMARK NO. 270 BEING A BRASS PIN SET IN THE BACK OF THE CONCRETE SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF 32ND AND PERALTA STREETS. ELEVATION TAKEN AS 12.173.

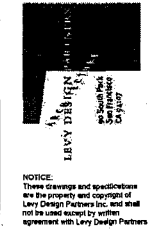
LEGAL DESCRIPTION:

PARCEL TWO - APN: 007-0594-008
COMMENCING AT A POINT IN THE WESTERLY LINE OF HOLLIS STREET, DISTANT THEREON 200 FEET SOUTHERLY FROM THE SOUTHERLY LINE OF "B" STREET, RUNNING THENCE WESTERLY 133 FEET, THENCE AT RIGHT ANGLES NORTHERLY 25 FEET, THENCE AT RIGHT ANGLES EASTERLY 133 FEET, THENCE AT RIGHT ANGLES SOUTHERLY 25 FEET TO THE POINT OF BEGINNING, BEING SUBDIVISION 4 IN LOT NUMBER 8, BLOCK NUMBER 781, AS THE SAME IS DELINEATED AND SO DESIGNATED UPON A CERTAIN MAP ENTITLED, "MAP NO. 2 OF MATS TRACT, FILED NOVEMBER 17, 1976, IN BLOCK 5, PAGE 13, IN THE COUNTY OF ALAMANDA COUNTY, CALIFORNIA."

PARCEL THREE - APN: 007-0594-009
SUBDIVISION C AND D OF LOT 5, BLOCK 781, MAP NO. 2 OF MATS TRACT, FILED NOVEMBER 17, 1976, MAP BOOK 6, PAGE 13, ALAMANDA COUNTY RECORDS.

TRACT MAP NOTE:

NEW PARCEL MAP LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW



3245 HOLLIS STREET
5 MINI-LOT
DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006



DATE	REVISION
11/20/2018	CD PROGRESS SET
11/20/2018	1A CONCEPT
03/03/2019	101 EAGAL REVIEW COMMENTS
11/20/2018	2A EAGAL REVIEW COMMENTS

CONTACT: RECO PRIANTO, P.E.

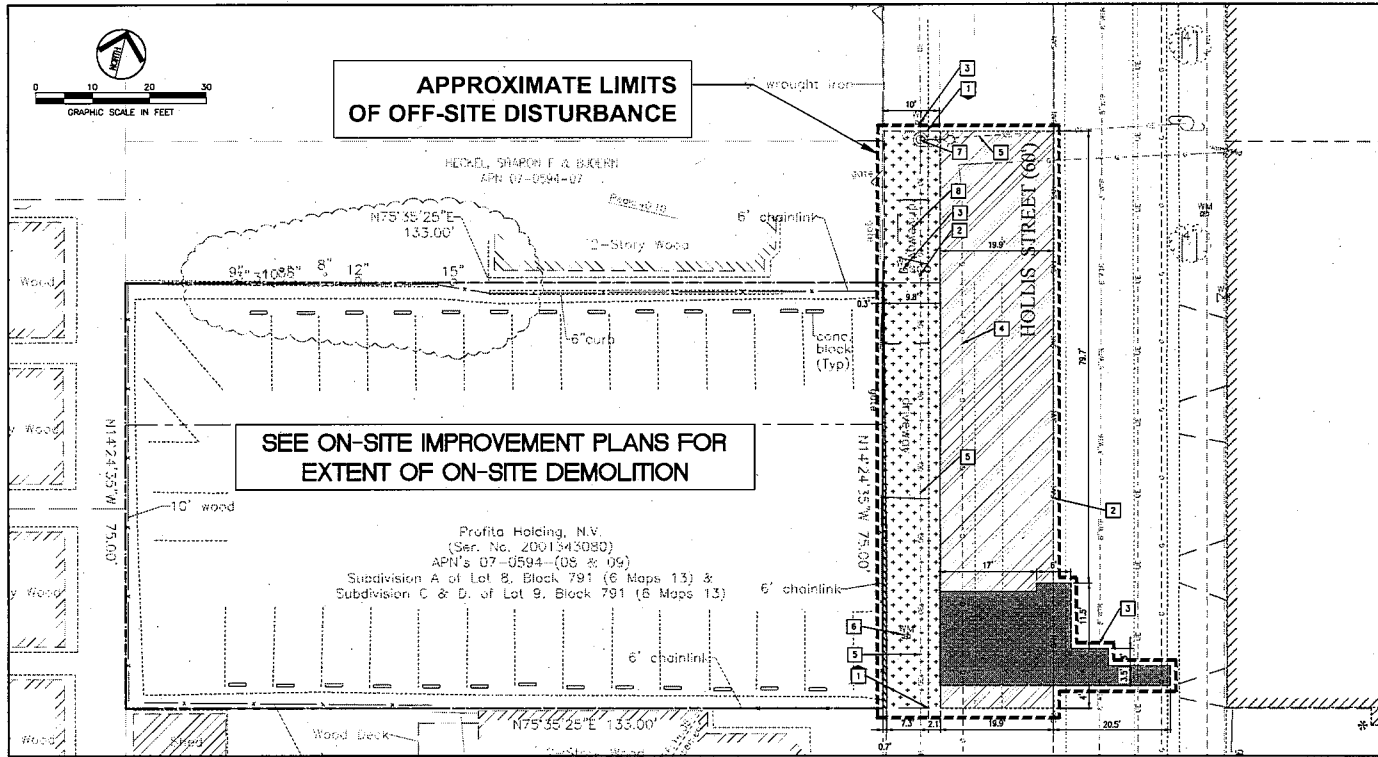
(510) 250-7877 P

SCALE: AS NOTED

PJOB CIVIL
TITLE SHEET

C01

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1'-FOOT CONTOUR	---
---	5'-FOOT CONTOUR	---
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
UT	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
○	STANDARD PCC PAVEMENT, SEE DETAIL 4 ON SHEET C02	○
○	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH AC, SEE DETAIL 2 ON SHEET C02A TYPE A	○
○	CONCRETE DRIVEWAY, SEE DETAIL 4 ON SHEET C02	○
○	NEW GRASS AND OVERLAY OF 2" AC, SEE DETAIL 2 ON SHEET C02A	○
○	PROPOSED LANDSCAPED AREA, SEE LANDSCAPE PLANS FOR DETAILS.	○
○	SIGN	○
○	WATER VALVE	○
○	FIRE HYDRANT	○
○	WATER METER OR BOX	○
○	ELECTRIC VAULT	○
○	SODER MANHOLE	○
○	CLEANOUT	○
○	CATCH BASIN OR DRAIN INLET	○
○	GAS VALVE	○
○	LIGHT POLE AND UTILITY POLE	○
○	BACKLON PREVENTER	○
○	PROPOSED DRAINAGE SWALE	○
○	PROPOSED TRANSFORMER IN UNDERGROUND VAULT SEE ELECTRICAL AND POLE PLANS FOR DETAILS.	○



APPROXIMATE LIMITS OF OFF-SITE DISTURBANCE

SEE ON-SITE IMPROVEMENT PLANS FOR EXTENT OF ON-SITE DEMOLITION

Prifita Holding, N.V.
(Ser. No. 2001243080)
APN's 07-0594-08 & 09
Subdivision A of Lot B, Block 791 (6 Maps 13) &
Subdivision C & D, of Lot 9, Block 791 (6 Maps 13)

DEMOLITION NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND/OR PROTECTION OF THE EXISTING ITEMS AS NOTED ON THIS PLAN.
- THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES.
- CONTRACTOR IS TO DISPOSE OF ALL MATERIAL RESULTING FROM PREVIOUS AND CURRENT DEMOLITION IN ACCORDANCE WITH ALL LOCAL, STATE, AND/OR FEDERAL LAWS.
- THE CONTRACTOR IS CAUTIONED TO LOCATE ALL EXISTING UTILITIES AND CONFLICTS. CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY CONSTRUCTION ACTIVITY IN ORDER TO FIELD VERIFY EXISTING UTILITY INFORMATION.
- EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS / AS-BUILT INFORMATION.
- LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR. PROTECT ALL EXISTING UTILITIES IN PLACE NOT SHOWN TO BE REMOVED.
- CONTRACTOR TO PROTECT EXISTING STREET LIGHTS & POSTS, TRAFFIC SIGNALS & POLES, TRAFFIC CONTROL DEVICES, SIGNS AND UTILITY BOXES IN THE SUBGRADE UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DEMOLITION PERMITS AS REQUIRED FROM THE CITY OF OAKLAND, OR ANY OTHER AGENCY HAVING JURISDICTION. CONTRACTOR SHALL FOLLOW ALL JURISDICTIONAL AIR QUALITY AND WASTE/RECYCLING REQUIREMENTS.
- CONTRACTOR TO VERIFY LOCATION, SIZE, AND DEPTH OF ALL EXISTING UTILITIES AND REPORT ANY DISCREPANCIES TO THE OWNER AND ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR TO PROTECT ALL EXISTING TEST WELLS ON-SITE.

TRACT MAP NOTE:
NEW PARCEL MAP LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW

DEMOLITION KEY NOTES

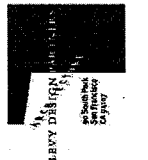
- DEMOLISH AND REMOVE EXISTING CURBS AND GUTTER, INCLUDING BASE MATERIAL.
- EXISTING SANITARY STRUCTURE/PIPES TO REMAIN. CONTRACTOR TO PROTECT IN PLACE. ADJUST RIM TO GRADE.
- EXISTING WATER STRUCTURE/PIPES TO REMAIN. CONTRACTOR TO PROTECT IN PLACE. ADJUST RIM TO GRADE.
- EXISTING GAS STRUCTURE/PIPES TO REMAIN. CONTRACTOR TO PROTECT IN PLACE.
- EXISTING OVERHEAD LINES TO REMAIN. CONTRACTOR TO PROTECT EXISTING OVERHEAD LINES AND APPURTENANCES IN PLACE.
- SAVE AND RETURN EXISTING WATER METER TO OWNER FOR CREDIT AND CUT AND CAP LINE TO MAIN. DEMO AND REMOVE ASSOCIATED PIPING TO PROPERTY LINE.
- EXISTING UTILITY POLE TO REMAIN. CONTRACTOR TO PROTECT EXISTING OVERHEAD LINES AND APPURTENANCES IN PLACE.
- DEMOLISH AND RECONSTRUCT EXISTING NEIGHBORING DRIVEWAY.

DEMOLITION LEGEND

- DEMOLISH AND REMOVE PCC PAVEMENT, INCLUDING BASE MATERIAL. PROTECT ALL UNDERGROUND UTILITIES WITHIN THE PAVING LIMITS UNLESS NOTED OTHERWISE.
- DEMOLISH AND REMOVE ASPHALT PAVEMENT, INCLUDING BASE MATERIAL. PROTECT ALL UNDERGROUND UTILITIES WITHIN THE PAVING LIMITS UNLESS NOTED OTHERWISE.
- MILL 1" AND OVERLAY 2" WITH PAVEMENT
- CLEAR AND GRUB EXISTING LANDSCAPING AREA. DO NOT DISTURB TREES, UNLESS OTHERWISE NOTED. SEE LANDSCAPE PLANS FOR ADDITIONAL DETAILS. COORDINATE WORK UNDER DEFINITE OF ANY TREES WITH THE PROJECT ARCHITECT, LANDSCAPE ARCHITECT.
- FULL DEPTH PAVEMENT SAWCUT AND CONFORM TO A CLEAN, NEAT EDGE. FOR PCC PAVEMENT, EXTEND SAWCUT TO NEAREST SCORE MARK PER CITY DETAIL 1 ON SHEET C02.



ENGINEERS NOTE TO THE CONTRACTOR:
THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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3245 HOLLIS STREET
5 MINI-LOT
DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006



3245 HOLLIS STREET
APN: 007-059400-000
SAN FRANCISCO, CA
PROJECT NO. 2016-173-001
DATE: 06/13/2016
11/20/2016 02:00:00:00:00
03/20/2019 08:00:00:00:00
06/27/2019 10:00:00:00:00
11/03/2019 08:00:00:00:00

CONTACT: RECO PRIANTO, P.E.

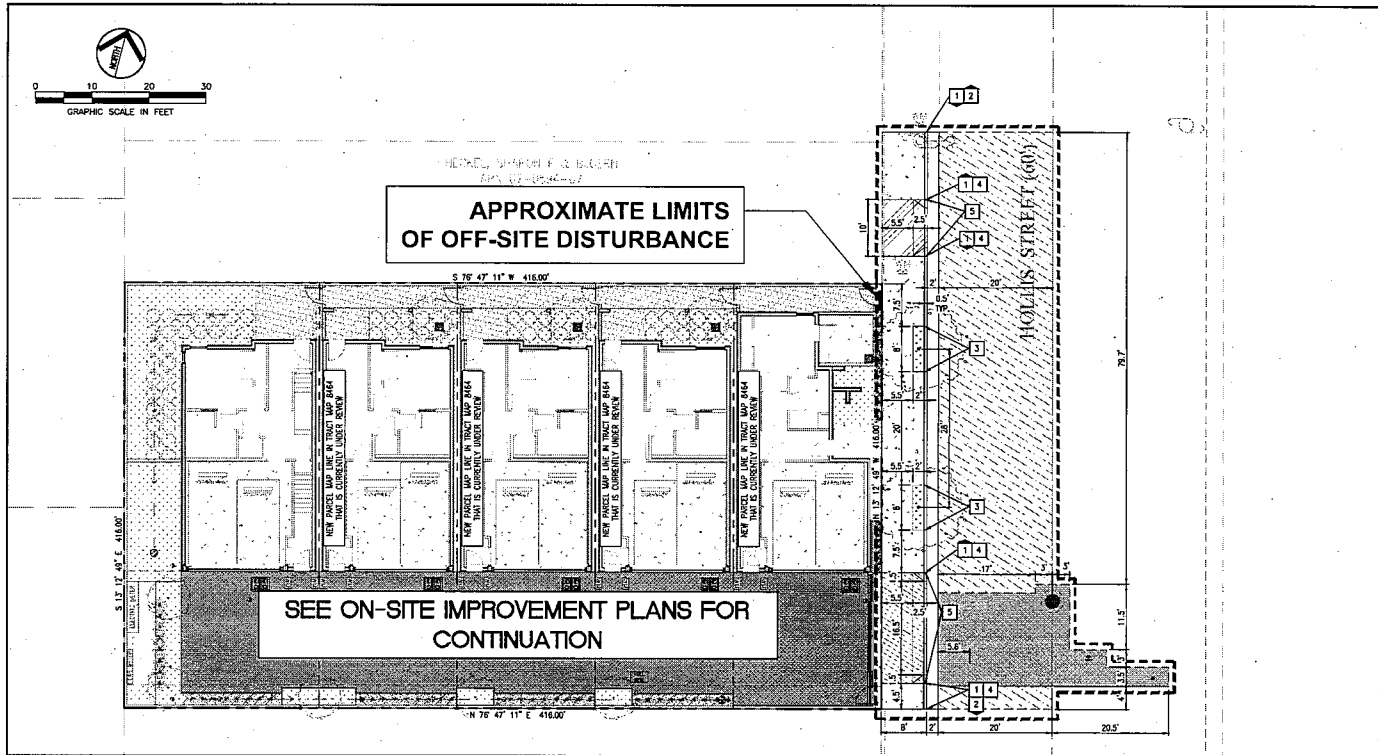
(510) 250-7877 P

SCALE: AS NOTED

PJOB EXISTING
CONDITIONS AND
DEMOLITION PLAN

C02

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 6464 THAT IS CURRENTLY UNDER REVIEW	---
---	EASEMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	POTABLE WATER LINE (PVC SCHEDULE 80)	---
---	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
---	TREE	---
---	STANDARD PCC PAVEMENT. SEE DETAIL 4 ON SHEET C08.	---
---	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH AC. SEE DETAIL 2 ON SHEET C08 TYPE 'A'.	---
---	CONCRETE DRIVEWAY. SEE DETAIL 4 ON SHEET C08.	---
---	NEW GRASS AND OVERLAY OF 2" AC. SEE DETAIL 2 ON SHEET C08A.	---
---	PROPOSED LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.	---
---	SIGN	---
---	WATER VALVE	---
---	TRIE HOUSING	---
---	WATER METER OR BOX	---
---	ELECTRIC VAULT	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	CATCH BASIN OR DRAIN INLET	---
---	GAS VALVE	---
---	LIGHT POLE AND UTILITY POLE	---
---	BACKFLOW PREVENTER	---
---	PROPOSED DRAINAGE SWALE	---
---	PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ELECTRICAL AND P&E PLANS FOR DETAILS.	---



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.

SURVEY NOTE:

TOPOGRAPHIC SURVEY PROVIDED BY SOUSA LAND SURVEYS INC., DATED 05/28/2015. ALL EXISTING INFORMATION PRESENTED IN THESE PLANS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES IN THE PLANS SHALL BE MADE AWARE TO THE ENGINEER PRIOR TO THE START OF CONSTRUCTION.

BASIS OF BEARING:

THE BEARINGS SHOWN ON THIS SURVEY ARE BASED ON THE MONUMENT LINE OF PERSHALL STREET AS SHOWN ON PARCEL MAP 8534 (289 P.M. 55), THAT BEARING TACKS AS NOTED.

DATUM / BENCHMARK:

THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED UPON THE CITY OF OAKLAND DATUM, CITY BENCHMARK NO. 220 BEING A BRASS PIN SET IN THE BACK OF THE CONCRETE SIDEWALK AT THE NORTHWEST CORNER OF THE INTERSECTION OF 32ND AND PERSHALL STREETS. ELEVATION TAKEN AS 12.173.

SHEET NOTES:

1. THE CONTRACTOR SHALL VERIFY DIMENSIONS AT PROJECT SITE PRIOR TO BEGINNING CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
2. ALL DIMENSIONS ARE TO FACE OF WALL, FACE OF CURB, AND EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
3. MODIFIED OR NEW STREET LIGHTS IN THE PUBLIC RIGHT-OF-WAY TO BE APPROVED BY CITY OF OAKLAND ELECTRICAL SERVICES.
4. ALL SIGNAGE OR STOPPING WORK IN THE PUBLIC RIGHT-OF-WAY TO BE APPROVED BY CITY OF OAKLAND TRANSPORTATION SERVICES DEPARTMENT AND TO BE INSTALLED BY CITY OF OAKLAND MAINTENANCE DIVISION.
5. ALL WORK WITHIN 20' OF AN EXISTING CITY MONUMENT SHALL BE COORDINATED WITH THE CITY SURVEYOR, OIL LATES (510) 238-3647.

TRACT MAP NOTE:

NEW PARCEL MAP LINE IN TRACT MAP 6464 THAT IS CURRENTLY UNDER REVIEW

SITE PLAN KEY NOTES

1. PROPOSED TYPE "A" CONCRETE CURBS AND GUTTER PER CITY STANDARD S-1. SEE DETAIL 2 ON SHEET C08.
2. CONFORM CITY STANDARD 6" CURB HEIGHT TO EXISTING CURB HEIGHT VIA 5" TRANSITION. CITY STANDARD 6" CURB HEIGHT TO EXTEND FOR LENGTH OF PROJECT PARCEL. SEE DETAIL 5 ON SHEET C08.
3. PROPOSED 3"Ø TREE WELL. SEE LANDSCAPE PLANS FOR DETAILS.
4. PAINT CURB FACE AND TOP RED FOR 3 LF. MINIMUM TWO COATS OF PAINT PER CITY OF OAKLAND SPECIFICATIONS, CITY OF OAKLAND TO INSTALL.
5. PROPOSED COMMERCIAL CONCRETE DRIVEWAY PER CITY OF OAKLAND. SEE DETAIL 4 ON SHEET C08.

GENERAL NOTES:

1. ALL CURBS ARE PCC VERTICAL DRAINER CURB 6" UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND SPECIFICATIONS.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE CONSIDERED BY LOCAL CODES.
6. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
8. 2" AC GRASS AND OVERLAY FROM LIP OF GUTTER TO THE FIRST TRAFFIC LINE OF THE SHEETS ALONG ENTIRE PROJECT FRONTAGE. ACTUAL LIMIT OF GRASS AND OVERLAY WILL BE AT THE DISCRETION OF THE CITY INSPECTOR. CONFORM TO EXISTING GRADE WITH SMOOTH TRANSITION, TYP.
9. ACTUAL CONFORM LIMIT OF SIDEWALK, CURB AND GUTTER, AND CURB PAINT AS DIRECTED BY THE CITY INSPECTOR IN THE FIELD.



**3245 HOLLIS STREET
5 MINI-LOT
DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006**



3245 HOLLIS STREET
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2016-173-001

DATE	REVISION
11/3/2016	CD/PROGRESS SET
03/16/2016	P&E/PROGRESS
09/22/16	151 OF 424 REVISION COMMENTS
10/20/16	216 OF 424 REVISION COMMENTS

CONTACT: RECO PRIANTO, P.E.

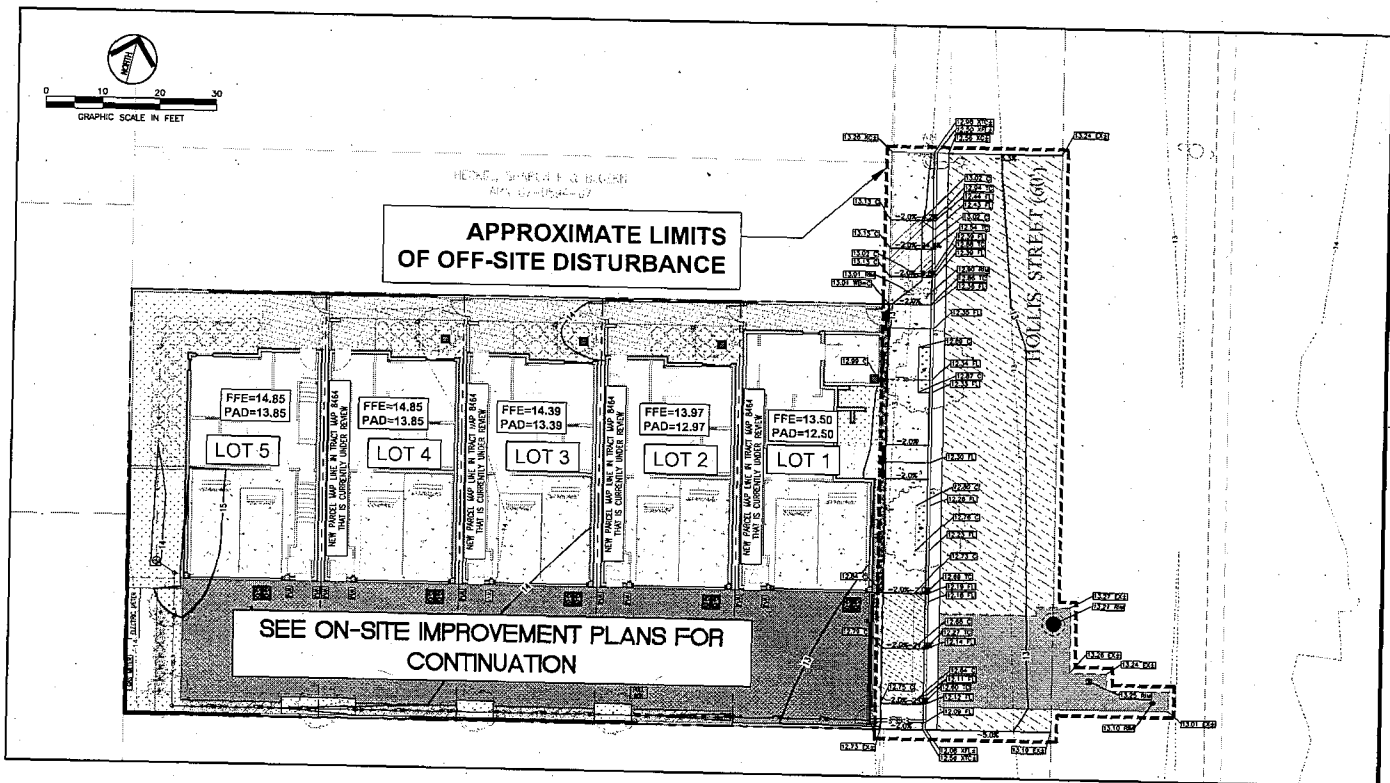
(510) 250-7877 P

SCALE: AS NOTED

**PJOB SITE, PAVING,
AND HORIZONTAL
CONTROL PLAN**

C03

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW	---
---	SEGMENT LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-500 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
G	GAS LINE	G
UE	UNDERGROUND ELECTRIC	UE
UT	UNDERGROUND DATA AND TELEPHONE LINE	UT
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
---	STANDARD PCC PAVEMENT. SEE DETAIL 4 ON SHEET C04.	---
---	TRENCH EXCAVATION LIMITS. REPLACE FALL DEPTH AS SEE DETAIL 2 ON SHEET C04A TYPE A.	---
---	CONCRETE DRIVEWAY. SEE DETAIL 4 ON SHEET C04.	---
---	NEW GRIND AND OVERLAY OF 2" AC. SEE DETAIL 2 ON SHEET C04A.	---
---	PROPOSED LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.	---
---	SIGN	---
---	WATER VALVE	---
---	FIRE RETARDANT	---
---	WATER METER ON BOX	---
---	ELECTRIC VALVE	---
---	SEWER MANHOLE	---
---	CLEANOUT	---
---	CATCH BASIN OR DRAIN INLET	---
---	GAS VALVE	---
---	LIGHT POLE AND UTILITY POLE	---
---	BACKFLOW PREVENTER	---
---	PROPOSED DRAINAGE SWALE	---
---	PROPOSED TRANSFORMER IN UNDERGROUND VAULT SEE ELECTRICAL AND PACE PLANS FOR DETAILS.	---



GENERAL NOTES:

1. ALL CURBS ARE PCC VERTICAL BARBER CURB 8" UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, EXPOSED, VISIBLE OR NOT) OR INCIDENTS DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL OBTAIN A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE COVERED BY LOCAL CODES.
6. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROPER IDENTIFICATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING ITEMS AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

PAVEMENT ELEVATION NOTE:

UNLESS OTHERWISE NOTED, PAVEMENT ELEVATION (P) IS 6" BELOW THE TOP OF CURB (C) ELEVATION.

CONSTRUCTION NOTES:

1. 2" GRIND AND OVERLAY FROM 1/2" OF CUTTER TO THE CENTERLINE OF HOLLIS STREET ALONG THE ENTIRE PROJECT FRONTAGE. ACTUAL LIMIT OF THE GRIND AND OVERLAY WILL BE AT THE DISCRETION OF THE CITY INSPECTOR. CONFORM TO EXISTING GRADE WITH SMOOTH TRANSITION, TOP.
2. ACTUAL CONFORM LIMITS OF SIDEWALK, CURB AND OUTER, AND CURB PAINT AS DIRECTED BY THE CITY INSPECTOR IN THE FIELD.

TRACT MAP NOTE:

NEW PARCEL MAP LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW

SPOT GRADING LEGEND

- INDICATES ELEVATION TO MATCH EXISTING ITEM
- INDICATES ELEVATION AT TOP OF CURB
- INDICATES ELEVATION AT TOP OF CONCRETE
- INDICATES FLOWING ELEVATION OF PIPE, SMALLE OR OUTER
- INDICATES RIM ELEVATION OF UTILITY
- INDICATES ELEVATION AT TOP OF ASPHALT PAVEMENT
- DRAINAGE ARROW AND PROPOSED SLOPE

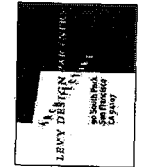
ENGINEER'S ADA NOTES:

1. ALL SITE WORK SHALL BE IN CONFORMANCE WITH THE CURRENT AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG), THE AMERICANS WITH DISABILITIES ACT (ADA), AND MUNICIPAL AND STATE ADA REGULATIONS.
2. RAMPS SHALL NOT EXCEED A RUNNING SLOPE OF 1:12 (8.33%), AND SHALL HAVE A MINIMUM WIDTH OF 3 FEET (EXCEPT AT DOORWAYS) AND A MAXIMUM CROSS-SLOPE OF 2%. RAMPS EXCEEDING 20 INCHES VERTICAL CHANGE SHALL HAVE INTERMEDIATE (2% MAX SLOPE) LANDINGS HAVING A MINIMUM LENGTH IN THE DIRECTION OF TRAVEL OF 80 INCHES.
3. MAXIMUM CROSS-SLOPE ON ANY WALK OR RAMPS SHALL BE 2%. ALL ACCESSIBLE PARKING SPACES AND LOADING ZONES SHALL HAVE A MAXIMUM SLOPE OF 2% IN ANY DIRECTION. TRUNCATED DOMES AS DETECTABLE WARNING ARE REQUIRED ON ALL WALKS THAT CROSS OR TRAVEL A VEHICULAR WAY WITHOUT A VERTICAL SEPARATION BETWEEN PEDESTAL AND VEHICULAR WAY.
4. ANY REQUEST BY A MUNICIPALITY OR INSPECTOR TO MODIFY THE ACCESSIBILITY DETAILS OR DESIGN SHOWN ON THESE PLANS AND SPECIFICATIONS MUST BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. ANY CHANGES MADE BY A PERMITTEE OR SUB-CONTRACTOR WITHOUT APPROVAL FROM THE ENGINEER AND SPECIFICATIONS AND FEDERAL, STATE AND LOCAL LAW ESTABLISHING THE APPROVAL OF DETAIL OF CHANGES TO ADA RELATED DETAILS OR MOUNTING DIMENSIONS.
5. 1/8" MAXIMUM DEPTH TO TOP OF SEALANT AND 1/8" MAXIMUM PROTRUSION TO TOP OF SEALANT ALONG ADA ACCESS ROUTES.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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3245 HOLLIS STREET
5 MINI-LOT
DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006



3245 HOLLIS STREET
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2518-173-001
DATE: 05/18/24

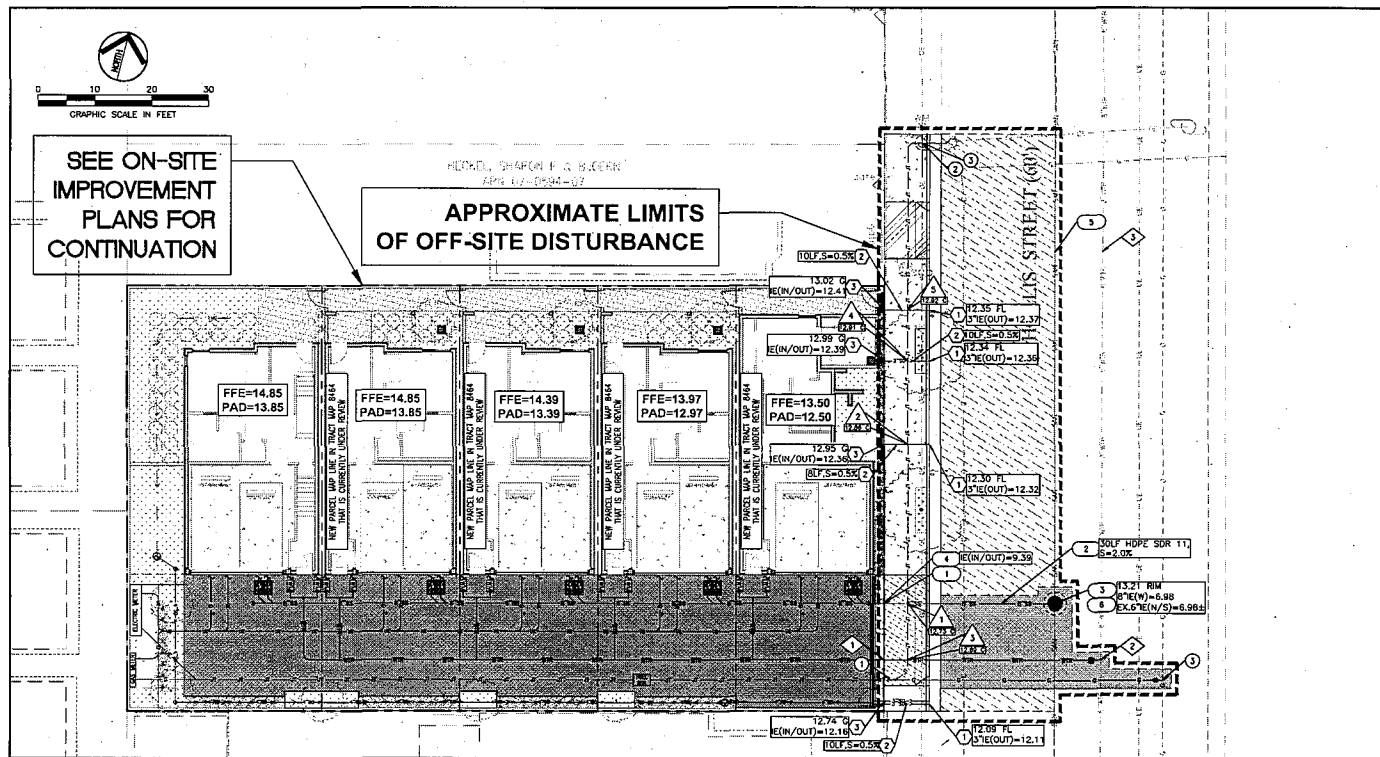
CONTACT: RECO PRIANTO, P.E.
(510) 256-7877 P

SCALE: AS NOTED

PJOB GRADING
AND DRAINAGE
PLAN

C04

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW	---
---	SEWERING LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
---	POTABLE WATER LINE (PVC SCHEDULE 80)	---
---	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	---
---	SANITARY SEWER LINE	---
---	STORM DRAIN LINE	---
---	GAS LINE	---
---	UNDERGROUND ELECTRIC	---
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
---	TREE	---
---	STANDARD PCC PAVEMENT; SEE DETAIL 4 ON SHEET 004	---
---	TRENCH EXCAVATION LIMITS; REPLACE FILL DEPTH AC. SEE DETAIL 2 ON SHEET 004 TYPE A	---
---	CONCRETE DRIVEWAY; SEE DETAIL 4 ON SHEET 004	---
---	NEW GRASS AND OVERLAY OF 2" AC. SEE DETAIL 2 ON SHEET 004	---
---	PROPOSED LANDSCAPED AREA; SEE LANDSCAPE PLANS FOR DETAILS.	---
---	SIGN	---
---	WATER VALVE	---
---	FIRE HYDRANT	---
---	WATER METER OR BOX	---
---	ELECTRIC VAULT	---
---	SEWER MANHOLE	---
---	CLEAVOUT	---
---	CATCH BASIN OR DRAIN INLET	---
---	GAS VALVE	---
---	LIGHT POLE AND UTILITY POLE	---
---	BACKFLOW PREVENTER	---
---	PROPOSED DRAINAGE SWALE	---
---	PROPOSED TRANSFORMER IN UNDERGROUND VAULT; SEE ELECTRICAL AND POSE PLANS FOR DETAILS.	---



UTILITY CROSSING NOTES

- 1. 6" SS - TOP = 9.812; BOP = 9.312
UE - TOP = 9.732; BOP = 9.542
- 2. 3" SD - TOP = 12.978; BOP = 12.324
UE - TOP = 9.984; BOP = 9.874
- 3. 4" WTR - TOP = 9.688; BOP = 9.242
UE - TOP = 9.694; BOP = 9.452
- 4. 3" SD - TOP = 12.634; BOP = 12.384
UE - TOP = 9.914; BOP = 9.724
- 5. 2-3" SD - TOP = 12.844; BOP = 12.384
UE - TOP = 9.822; BOP = 9.732

UTILITY NOTE: PROPOSED GAS LINES, ELECTRIC LINES, AND JOINT TRENCH ARE ASSIGNED TO BE 3' DEEP TO TOP OF PIPE. PROPOSED WATER LINES ARE ASSIGNED TO BE 4' DEEP TO TOP OF PIPE. CONTRACTOR TO VERIFY ACTUAL DEPTHS OF ALL UTILITIES PRIOR TO STARTING CONSTRUCTION.

ROUTE UNDERGROUND ELECTRICAL LINE OVER PROPOSED SANITARY SEWER LATERAL. SEE DETAIL 1 ON SHEET 004 FOR SEWER CROSSING SEE JOINT TRENCH PLANS FOR CROSSING AND HOUSING DETAIL.

UTILITY PLAN NOTES:

1. SEE SHEET C-01 AND C-11 - STORM WATER CONTROL PLAN FOR ADDITIONAL STORM DRAIN UTILITY DESIGN INFORMATION.
2. EXISTING OFF-SITE UTILITY LOCATIONS ARE APPROXIMATE AND BASED ON RECORD DRAWINGS OR AS-BUILT INFORMATION.
3. LOCATION OF EXISTING ON-SITE UNDERGROUND UTILITIES HAVE NOT BEEN SURVEYED AND ARE SHOWN BASED ON LOCATIONS OF EXISTING VISIBLE UTILITY STRUCTURES SURVEYED IN THE FIELD. EXACT LOCATIONS OF ALL UTILITIES MUST BE LOCATED IN THE FIELD BY THE CONTRACTOR AND ANY DISCREPANCIES REPORTED TO THE ENGINEER PRIOR TO STARTING CONSTRUCTION.
4. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS ABOVE OR BELOW GRADE, REGARDLESS VISIBLE OR NOT, OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
5. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. IFER CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
6. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.
8. NEW PRIVATE SEWER LATERAL WILL REQUIRE ADDITIONAL OVER THE COUNTER SEWER LATERAL (S/L) PERMIT ISSUED TO CONTRACTOR FROM OAKLAND PUBLIC WORKS, BUT WILL ONLY BE ISSUED WITH PLAN AND PROFILE REVIEWED AND APPROVED UNDER THIS PK PERMIT.
9. ALL CONSTRUCTION OF EMBALD, POLE, AND ANY OTHER UTILITIES IN THE CITY OF OAKLAND MUST BE OBTAINED AND MAINTAINED BY A UTILITY COMPANY MUST BE PERMITTED SEPARATELY UNDER THE UTILITY EXCAVATION FORMER PROCESS.

UNDERGROUND UTILITY NOTE:

THE TYPE, LOCATION, SIZE AND/OR DEPTH OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPE, EXTENT, SIZE, LOCATION AND DEPTH OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.

TRACT MAP NOTE:

NEW PARCEL MAP LINE IN TRACT MAP 8464 THAT IS CURRENTLY UNDER REVIEW

SANITARY SEWER KEY NOTES

1. CONNECT PROPOSED SANITARY SEWER TO SERVICE LATERAL STUB. SEE AND INVERT PER PLAN. SEE DETAIL 1 THROUGH 5 FOR CONNECTION.
2. PROPOSED 4" HDPE SDR 11 SANITARY SEWER SERVICE PIPE. SEE LENGTH AND SLOPE PER PLAN, TRENCH AND BACKFILL PER CITY OF OAKLAND STD. DWG. D-22. SEE DETAIL 2 ON SHEET 004.
3. PROPOSED TYPE 1 MANHOLE PER CITY OF OAKLAND STD. DWG. D-11; SEE DETAIL 4 ON SHEET 004. RIM AND INVERT PER PLAN.
4. PROPOSED SANITARY SEWER STUB AT PROPERTY LINE. INVERT ELEVATION PER PLAN.
5. CONTRACTOR TO PROTECT EXISTING SEWER LINE TO REMAIN.
6. PROVIDE DROP CONNECTION AT MANHOLE PER CITY OF OAKLAND STD. DWG. D-2; SEE DETAIL 5 ON SHEET 004.

STORM DRAIN KEY NOTES

1. PROPOSED STORM DRAIN TO HOLLIS STREET OUTLET VIA SIDEWALK UNDER DRAIN. RIM, INVERT AND PIPE SEE PER PLAN. SEE DETAIL 7 ON SHEET 004.
2. PROPOSED STORM DRAIN PIPE. SIZE, LENGTH AND SLOPE PER PLAN.
3. PROPOSED STORM DRAIN STUB AT PROPERTY LINE. INVERT ELEVATION PER PLAN.

GENERAL NOTES:

1. ALL CODES ARE PCC VERTICAL BARRETS CURB 6" UNLESS OTHERWISE NOTED.
2. ALL CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST ALAMEDA COUNTY AND CITY OF OAKLAND STANDARDS.
3. ANY EXISTING INFRASTRUCTURE OR SITE ITEMS (ABOVE OR BELOW GRADE, READILY VISIBLE OR NOT) OR PROPERTY DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE APPROPRIATE AGENCY.
4. ALL CONSTRUCTION SHALL CONFORM TO APPLICABLE STATE AND LOCAL CODES. WHEN CODES ARE IN CONFLICT, THE MORE STRINGENT SHALL APPLY. THE CONTRACTOR SHALL CAUSE A CURRENT COPY OF SAID CODES TO BE MAINTAINED ON SITE AT ALL TIMES.
5. ALL SIGNAGE AND PAINT MARKINGS SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), OR AS OTHERWISE SPECIFIED. INSTALLATION OF SIGNS SHALL BE GOVERNED BY LOCAL CODES.
6. THE CONTRACTOR IS RESPONSIBLE TO LOCATE AND PROTECT ALL EXISTING UTILITIES DURING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE UTILITY PROTECTION CENTER AT LEAST THREE DAYS PRIOR TO ANY SITE WORK FOR PROPER IDENTIFICATION OF EXISTING UTILITIES.
7. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES AND DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO BEGINNING CONSTRUCTION.

WATER KEY NOTES

1. PROPOSED 4" DOMESTIC WATER SERVICE STUB AT PROPERTY LINE.
 2. CONNECT 4" DOMESTIC WATER SERVICE TO EXISTING WATER MAIN PER EMBALD STANDARD DRAWING 9020-05. SEE DETAIL 4 ON SHEET 004. SIZE AND LENGTH PER PLAN, TRENCH AND BACKFILL PER EMBALD STANDARD DRAWING 1992-A. SEE DETAIL 3 ON SHEET 004.
 3. CONTRACTOR TO PROTECT EXISTING WATER LINE TO REMAIN.
- NOTE: EMBALD TO HAVE FINAL DETERMINATION OF ALL METERS, BACKFLOW PREVENTION SPECIFICS, LATERAL SIZING, AND PERFORM ALL WATER LINE CONSTRUCTION IN THE PUBLIC ROW, UNLESS OTHERWISE NOTED.

DRY UTILITY KEY NOTES

1. PROPOSED JOINT TRENCH PLANS FOR ELECTRIC AND GAS TO PROPERTY LINE. SEE OCEG ELECTRICAL PLANS AND PG&E PLANS FOR NUMBER OF CONDUITS, SIZE OF CONDUITS AND ROUTING DETAILS.
2. CONNECT PROPOSED JOINT TRENCH SERVICE CONDUITS TO EXISTING ELECTRICAL UTILITY POLE. SEE PG&E PLANS FOR DETAILS.
3. CONNECT PROPOSED GAS SERVICE AND GAS VALVE TO EXISTING GAS LINE IN PUBLIC ROWWAY. SEE PG&E PLANS FOR DETAILS.



ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS TO THE BEST OF OUR KNOWLEDGE. THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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3245 HOLLIS STREET
5 MINI-LOT
DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006



3245 HOLLIS STREET
APN: 007-059400-900
SAN FRANCISCO, CA
PROJECT NO. 2018-173-001

DATE	REVISION
11/19/2018	10/18/2018/SET
02/02/2019	02/02/2019/SET
06/07/2019	06/07/2019/REVIEW COMMENTS
11/05/2019	11/05/2019/REVIEW COMMENTS

CONTACT: RECO PRIANTO, P.E.

(510) 250-787 P

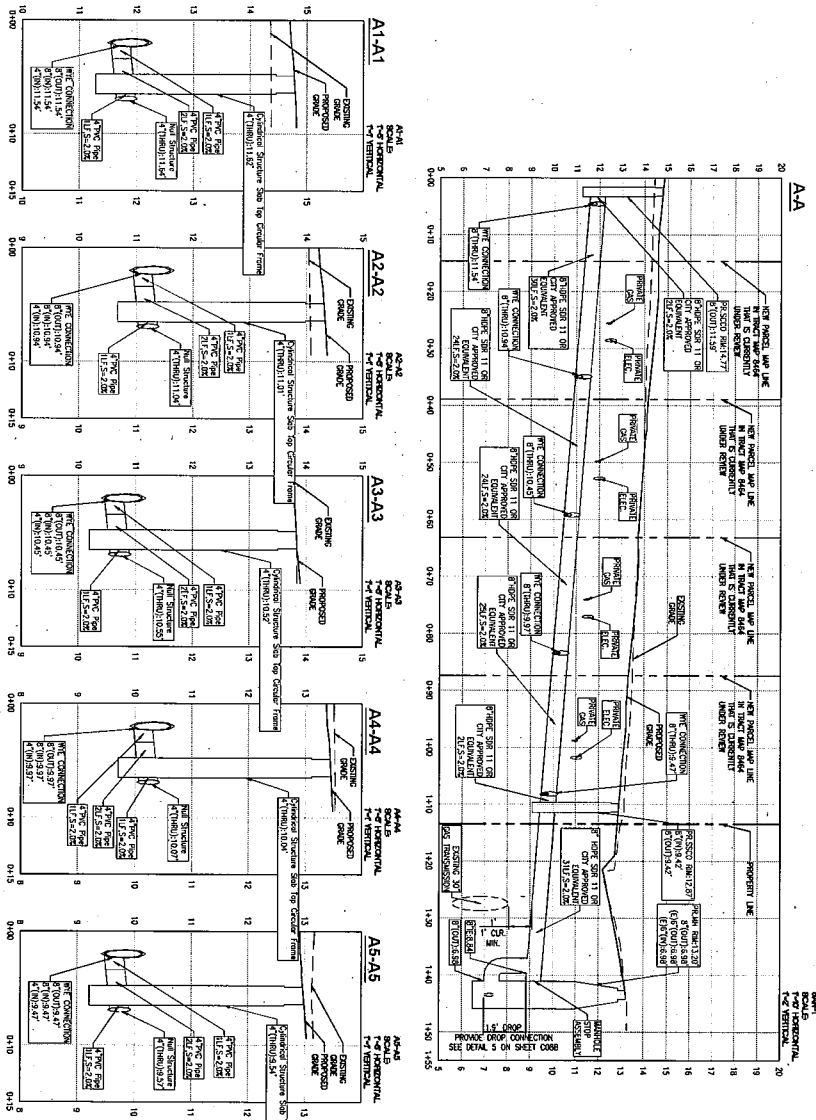
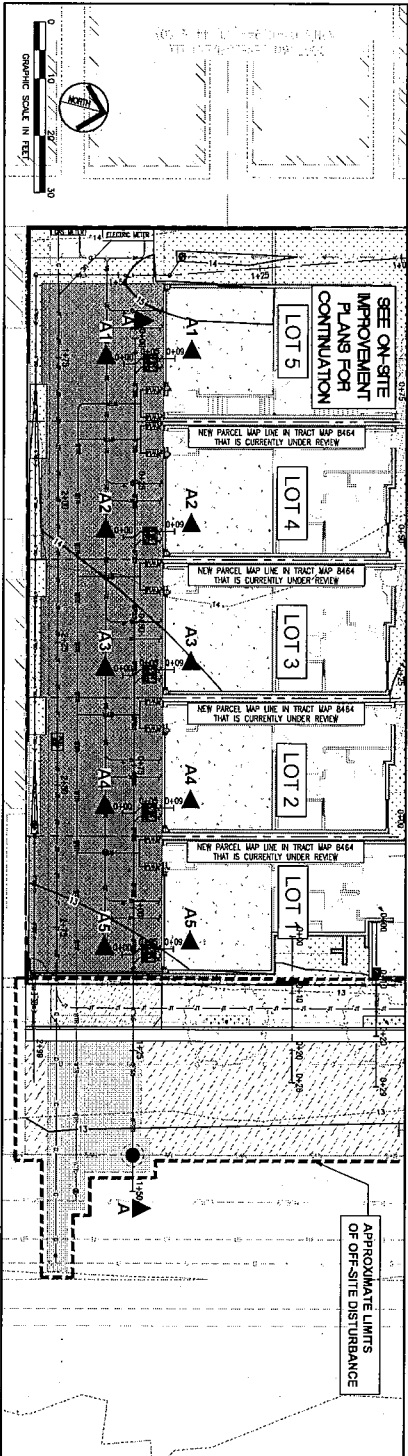
SCALE: AS NOTED

PJOB UTILITY PLAN

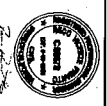
C05



ENGINEERS NOTE TO THE CONTRACTOR:
 THE DESIGN AND LOCATION OF ALL STRUCTURES SHOWN ON THESE PLANS ARE THE PROPERTY OF THE ENGINEER. NO PART OF THESE PLANS OR ANY INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.



3245 HOLLIS STREET
 OAKLAND, CA 94612
 APN: 007-459400-000
 SAN FRANCISCO, CA
 PROJECT NO. 1517-001
 DATE: 01/15/2018
 DRAWN: JMM
 CHECKED: JMM
 APPROVED: JMM
 CONTRACT: RECO PLANTO, P.E.
 (610) 204-877 P
 SCALE: AS NOTED
 PROJ: UTILITY PROFILES
 C05A



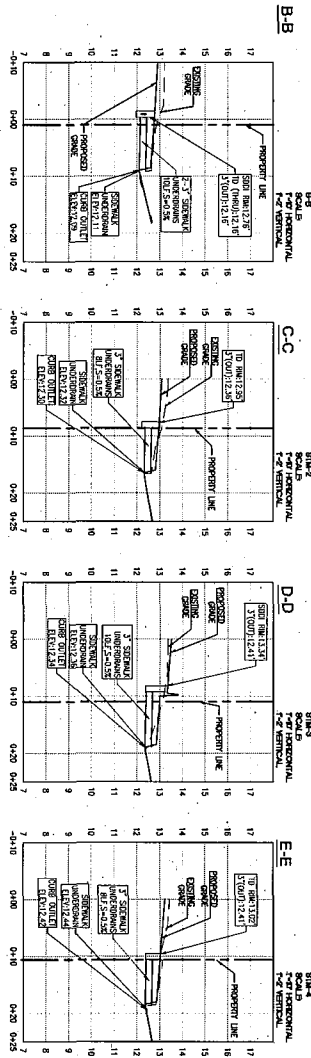
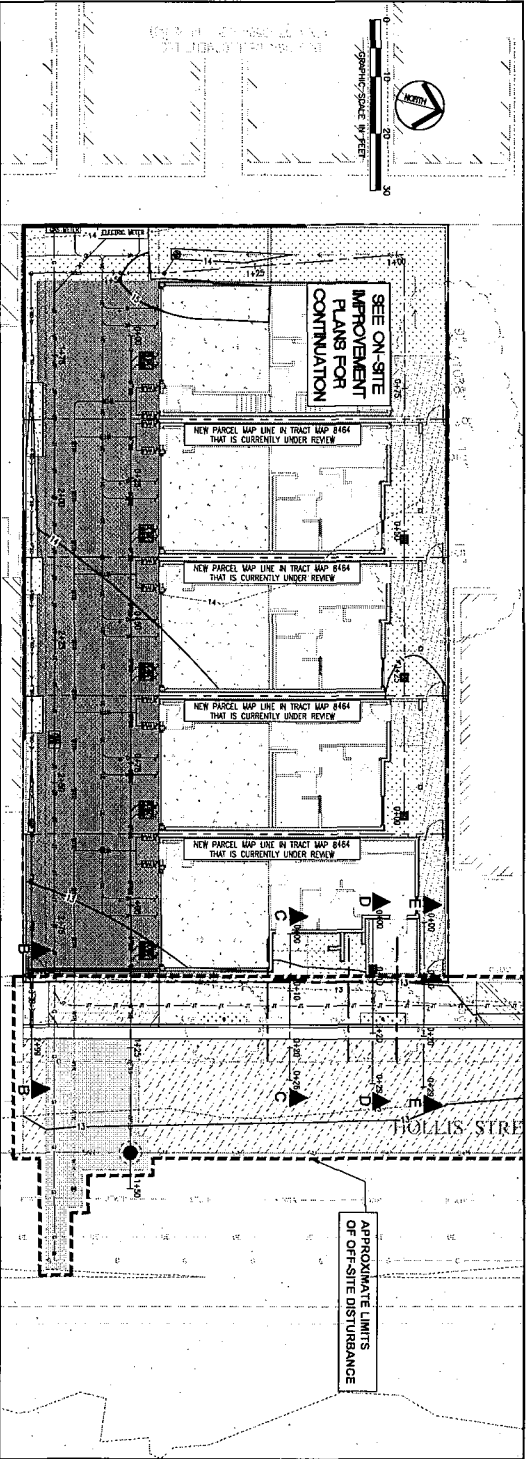
3245 HOLLIS STREET
 5 MINI-LOT
 DEVELOPMENT
 OAKLAND, CA
 PERMIT NO.: PX190006



CAE CIVIL ENGINEERS
 40 South Park
 San Francisco
 CA 94107
 (415) 774-1100
 www.caecivil.com



ENGINEERS NOTE TO THE CONTRACTOR:
 THE EXISTENCE AND LOCATION OF ANY UTILITIES SHOWN ON THESE PLANS ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES NOT SHOWN ON THESE PLANS.



3245 HOLLIS STREET
 5 MINI-LOT
 DEVELOPMENT
 OAKLAND, CA
 PERMIT NO.: PX190006

3245 HOLLIS STREET
 APN: 007-05840-000
 SAN FRANCISCO
 PROJECT NO. 2018-173-001

DATE: 01/20/2018
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT NO. 2018-173-001

CONTRACT: RECO PRIVATE, P.E.
 (818) 253-1877 P

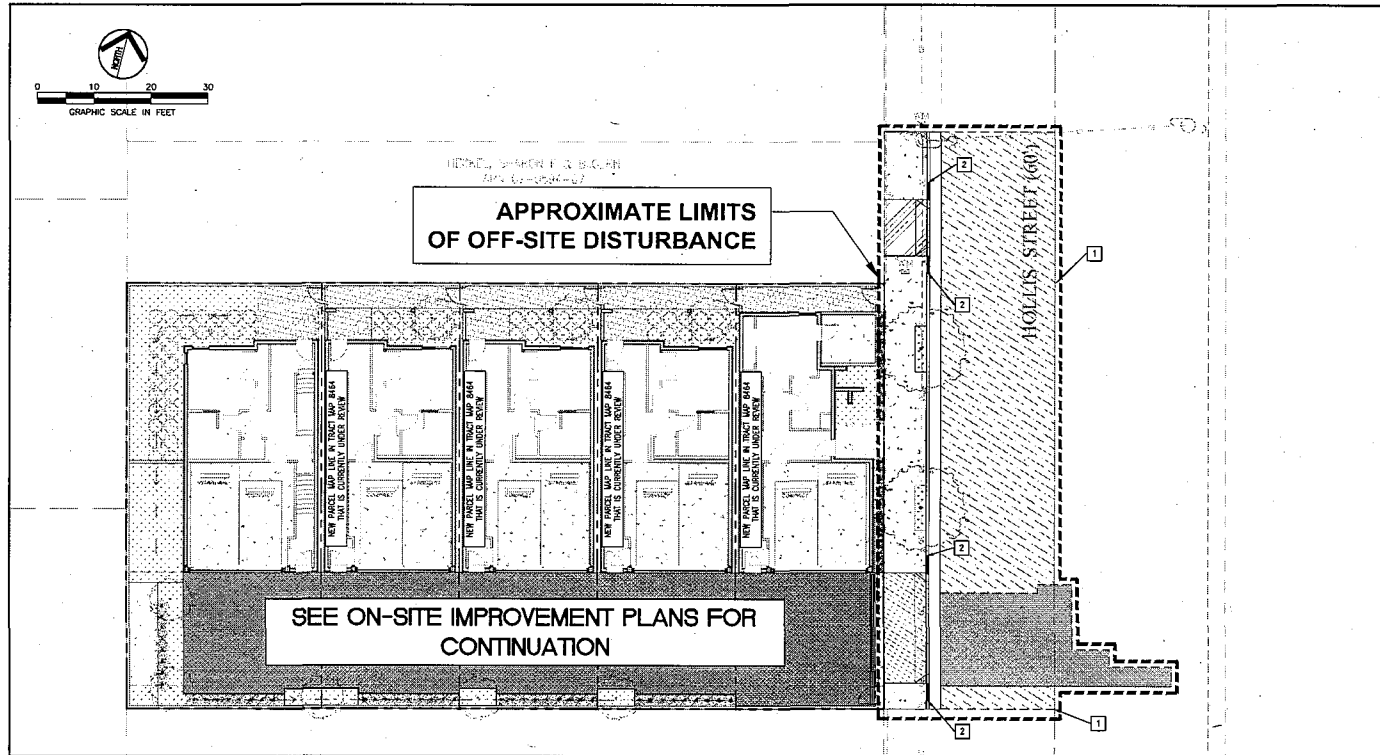
SCALE: AS NOTED
 JOB: P.U.O.B. UTILITY PROFILES
 C05B



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LEVY DENNIS
 30 South Park
 San Francisco
 CA 94114

PROPOSED	LEGEND	EXISTING
---	PROPERTY LINE	---
---	PARCEL LINE IN TRACT MAP 0464 THAT IS CURRENTLY UNDER REVIEW	---
---	EXISTING LINE	---
---	SITE IMPROVEMENTS	---
---	1-FOOT CONTOUR	---
---	5-FOOT CONTOUR	---
WTR	POTABLE WATER LINE (PVC SCHEDULE 80)	WTR
FP	FIRE PROTECTION WATER LINE (PVC C-900 CLASS 200)	WTR
SS	SANITARY SEWER LINE	SS
SD	STORM DRAIN LINE	SD
C	CAS LINE	C
UE	UNDERGROUND ELECTRIC	UE
---	UNDERGROUND DATA AND TELEPHONE LINE	---
---	FENCE	---
---	APPROXIMATE LIMIT OF DISTURBANCE	---
○	TREE	○
▨	STANDARD PCC PAVEMENT. SEE DETAIL 4 ON SHEET C04.	
▨	TRENCH EXCAVATION LIMITS, REPLACE FULL DEPTH AC. SEE DETAIL 2 ON SHEET C04A TYPE A.	
▨	CONCRETE DRIVEWAY. SEE DETAIL 4 ON SHEET C04.	
▨	NEW DRIB AND OVERLAY OF 2" AC. SEE DETAIL 2 ON SHEET C04A.	
▨	PROPOSED LANDSCAPED AREA. SEE LANDSCAPE PLANS FOR DETAILS.	
●	SIGN	
●	WATER VALVE	
●	FIRE HYDRANT	
●	WATER METER OR BOX	
●	ELECTRIC VAULT	
●	SEWER MANHOLE	
●	CLEANOUT	
●	CATCH BASIN OR DRAIN INLET	
●	GAS VALVE	
●	LIGHT POLE AND UTILITY POLE	
●	BACKFLOW PREVENTER	
▭	PROPOSED DRAINAGE SWALE	
▭	PROPOSED TRANSFORMER IN UNDERGROUND VAULT. SEE ELECTRICAL AND POLE PLANS FOR DETAILS.	



SIGNAGE AND STRIPING KEY NOTES

- CONTRACTOR TO REPAINT TWO COATS OF YELLOW COLOR CENTERLINE STRIPING WITHIN, AND FOR AT LEAST 50 LF BEYOND PROJECT EXTENTS.
- PROPOSED RED CURB PARKING FOR 3 LF ON BOTH SIDE OF PROPOSED DRIVEWAY.

TRACT MAP NOTE:

NEW PARCEL MAP LINE IN TRACT MAP 0464 THAT IS CURRENTLY UNDER REVIEW

ENGINEERS NOTE TO THE CONTRACTOR:

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ANY UNDERGROUND UTILITIES AND SHALL BE RESPONSIBLE FOR DAMAGE TO PUBLIC OR PRIVATE UTILITIES SHOWN OR NOT SHOWN HEREON.



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3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA
PERMIT NO.: PX1900006



3245 HOLLIS STREET
APN: 007-059400-800
SAN FRANCISCO, CA
PROJECT NO. 2019-173-001

DATE	REVISION
11-27-2019	(3) PROGRESS SET
02-18-2019	(2) CADD PREPARE
05-07-2019	(1) EXIST. REVIEW COMPLETED
11-02-2019	(2) EXIST. REVIEW COMMENTS

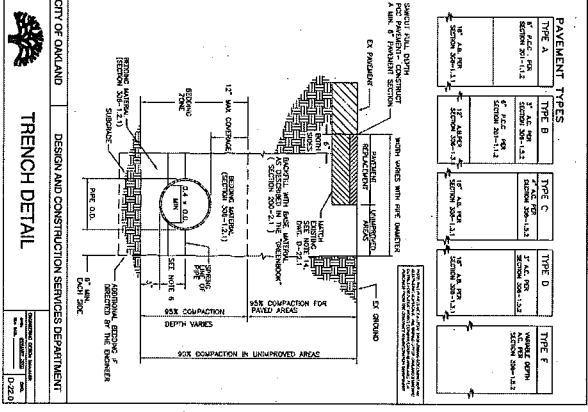
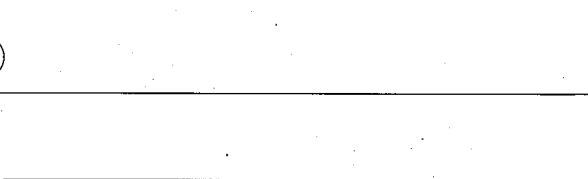
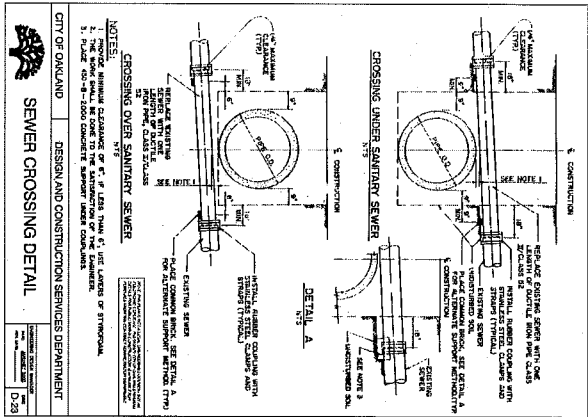
CONTACT: RECO PRIANTO, P.E.

(510) 250-7877 P

SCALE: AS NOTED

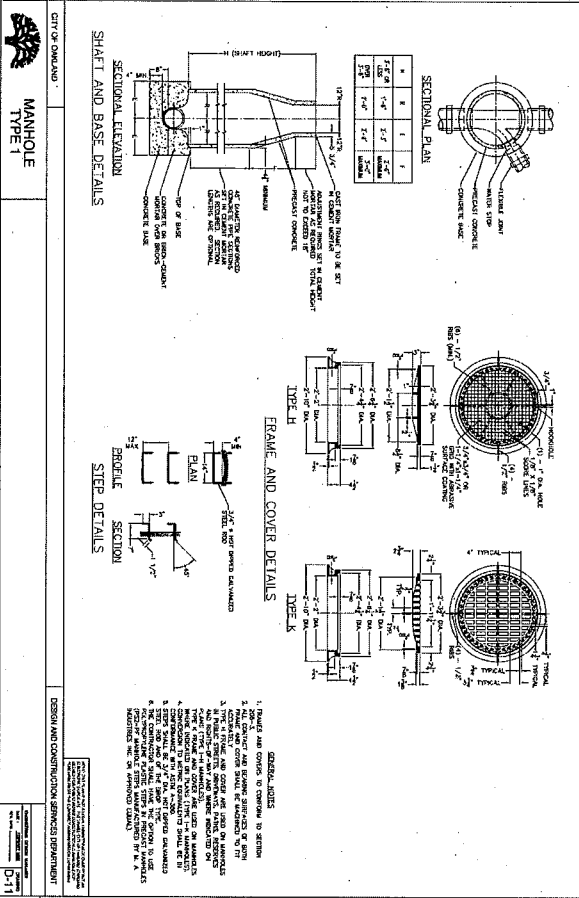
PJOB SIGNAGE AND STRIPING PLAN

C06



NOTES:

1. All trench walls shall be lined with concrete. All trench walls shall be finished with a smooth surface. All trench walls shall be finished with a smooth surface.
2. All trench walls shall be finished with a smooth surface. All trench walls shall be finished with a smooth surface.
3. All trench walls shall be finished with a smooth surface. All trench walls shall be finished with a smooth surface.
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13. All trench walls shall be finished with a smooth surface. All trench walls shall be finished with a smooth surface.
14. All trench walls shall be finished with a smooth surface. All trench walls shall be finished with a smooth surface.



GENERAL NOTES:

1. All manhole shafts shall be finished with a smooth surface. All manhole shafts shall be finished with a smooth surface.
2. All manhole shafts shall be finished with a smooth surface. All manhole shafts shall be finished with a smooth surface.
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14. All manhole shafts shall be finished with a smooth surface. All manhole shafts shall be finished with a smooth surface.

CITY OF OAKLAND
MANHOLE TYPE 1
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 DATE: 08/20/13
 DRAWING NO: D-11

CITY OF OAKLAND
TRENCH DETAIL
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 DATE: 08/20/13
 DRAWING NO: D-11

CITY OF OAKLAND
TRENCH DETAIL
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 DATE: 08/20/13
 DRAWING NO: D-11

3245 HOLLIS STREET
 5 MINI-LOT
 DEVELOPMENT
 OAKLAND, CA
 PERMIT NO.: PX190006

CALEDON GROUP
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 1000 BAY STREET
 OAKLAND, CA 94612
 (415) 763-1100

LEVY DESIGN GROUP
 1000 BAY STREET
 OAKLAND, CA 94612
 (415) 763-1100

2024 HOLLIS STREET
 OAKLAND, CA 94612
 APN: 007-058400-000
 SAN FRANCISCO, CA
 PROJECT NO: 2013-175-001

DATE: 08/20/13
 DRAWING NO: D-11

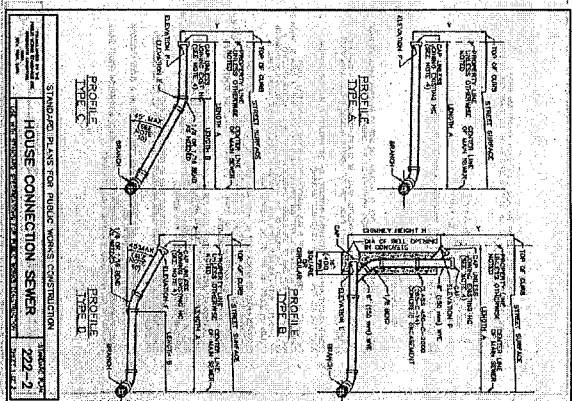
DESIGN: GREGORY SIEGEL
 CHECKED: KAREN HENDERSON
 PROJECT: TRENCH DETAIL (D-11)

CONTRACT: RECO PIAZZO, P.E.
 (916) 254-7677 P

SCALE: AS NOTED

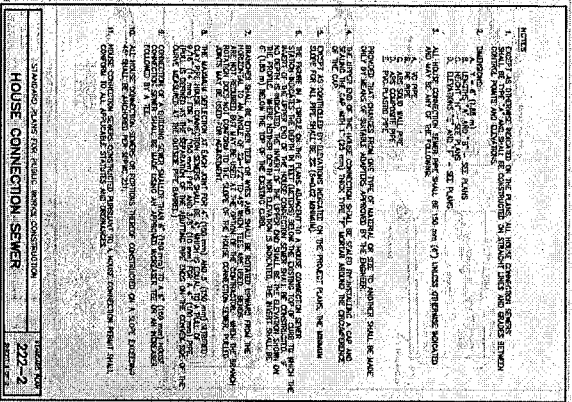
PIOB CIVIL
 CONSTRUCTION
 DETAILS

C08A



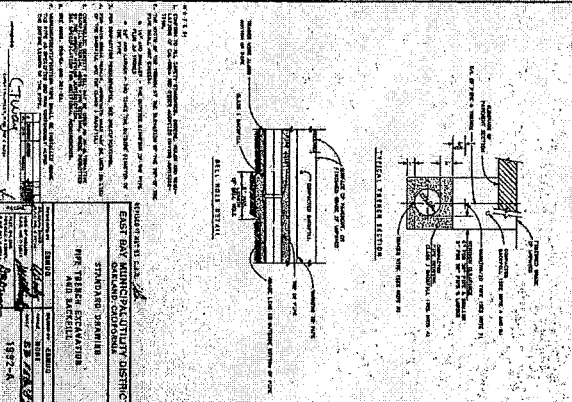
SANITARY CONNECTION DETAIL

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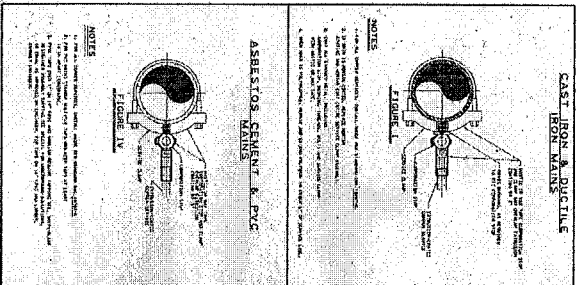
SANITARY CONNECTION DETAIL

2

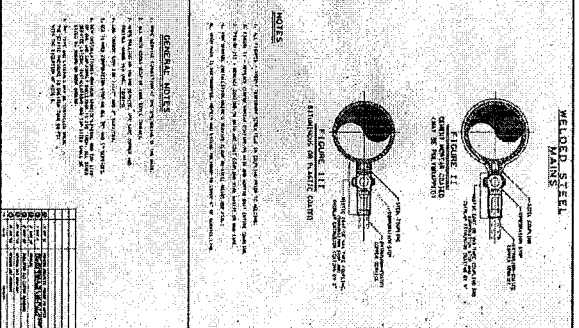


WATER LINE TRENCH DETAIL

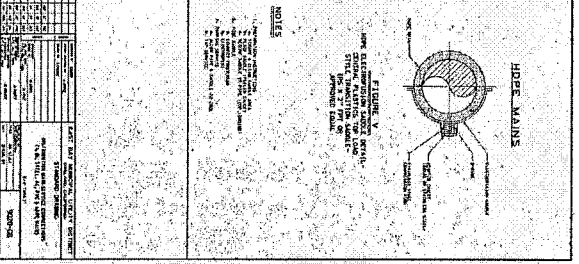
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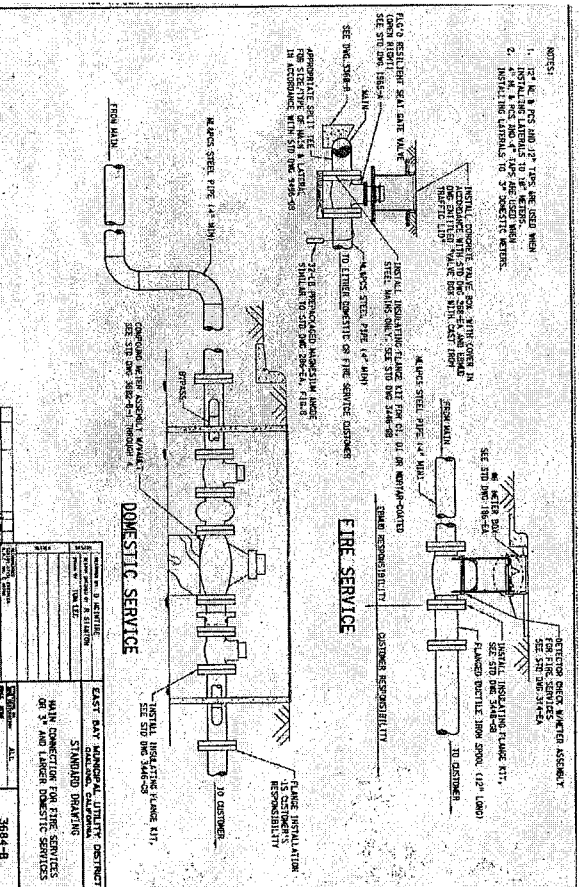
CAST IRON & DUCTILE IRON MAINS



WELDED STEEL MAINS



HOOP MAINS



MAIN CONNECTION FOR FIRE SERVICES AND LARGER DOMESTIC SERVICES

4

3205 HOLLIS STREET
 5500
 SAN FRANCISCO, CA
 PRODUCT NO. ZR18-1720M

SCALE AS NOTED

PROJECT: REED PRINATO, P.E.

CONTACT: REED PRINATO, P.E.

910 294-2877

3684-B

3245 HOLLIS STREET
 5 MINI-LOT
 DEVELOPMENT
 OAKLAND, CA
 PERMIT NO.: PX190006



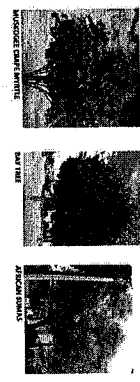
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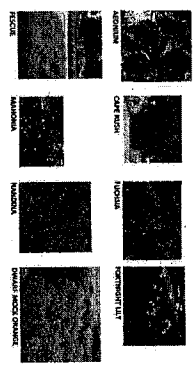
LANDSCAPE PLANTING REQUIREMENTS

1. ALL TREES SHALL BE SPECIES OR CUTY OF CALIFORNIA
2. ALL TREES BEING CALLED OUT
3. THE FOLLOWING PLANT SYMBOLS SIZE IS 5 GALLON: CHD, CDB, CDM, LAM, & MT
4. THE FOLLOWING PLANT SYMBOLS SIZE IS 3 GALLON: CHD, CDB, CDM, LAM, & MT
5. PLANTING SYMBOLS SHALL BE SPECIES OR CUTY OF CALIFORNIA

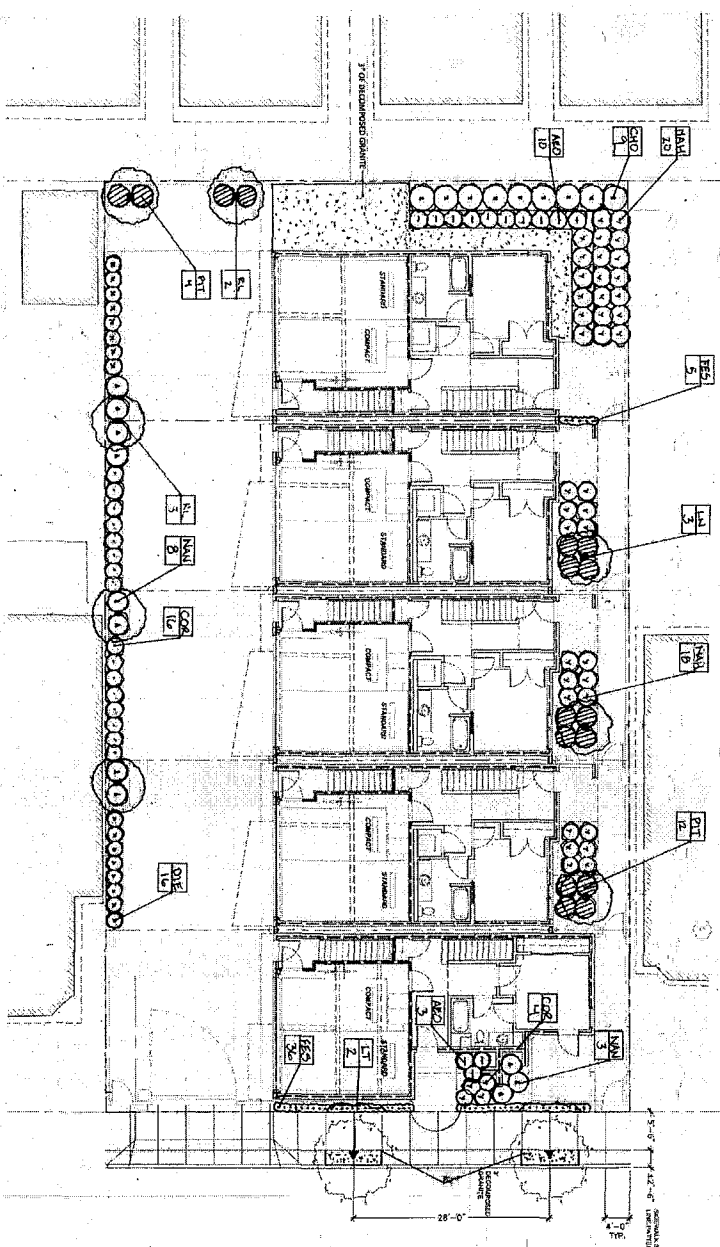
TREES FOR THE PROJECT



PLANTS FOR THE PROJECT



SHOP DRAWING FOR LANDSCAPE LAYOUT



REQUIREMENT BEFORE START OF LANDSCAPE AND AFTER MASS GRADING IS COMPLETE:

1. ALL TREES SHALL BE SPECIES OR CUTY OF CALIFORNIA
2. ALL TREES BEING CALLED OUT
3. THE FOLLOWING PLANT SYMBOLS SIZE IS 5 GALLON: CHD, CDB, CDM, LAM, & MT
4. THE FOLLOWING PLANT SYMBOLS SIZE IS 3 GALLON: CHD, CDB, CDM, LAM, & MT
5. PLANTING SYMBOLS SHALL BE SPECIES OR CUTY OF CALIFORNIA

LANDSCAPE LEGEND

TREES	DESCRIPTION	DATE	QTY	WINDSPEED
T1	REDWOOD	SCALE 3	LOW	
T2	LIVE OAK	SCALE 3	LOW	
T3	REDWOOD	SCALE 3	LOW	
T4	LIVE OAK	SCALE 3	LOW	
T5	REDWOOD	SCALE 3	LOW	
T6	LIVE OAK	SCALE 3	LOW	
T7	REDWOOD	SCALE 3	LOW	
T8	LIVE OAK	SCALE 3	LOW	
T9	REDWOOD	SCALE 3	LOW	
T10	LIVE OAK	SCALE 3	LOW	
T11	REDWOOD	SCALE 3	LOW	
T12	LIVE OAK	SCALE 3	LOW	
T13	REDWOOD	SCALE 3	LOW	
T14	LIVE OAK	SCALE 3	LOW	
T15	REDWOOD	SCALE 3	LOW	
T16	LIVE OAK	SCALE 3	LOW	
T17	REDWOOD	SCALE 3	LOW	
T18	LIVE OAK	SCALE 3	LOW	
T19	REDWOOD	SCALE 3	LOW	
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T21	REDWOOD	SCALE 3	LOW	
T22	LIVE OAK	SCALE 3	LOW	
T23	REDWOOD	SCALE 3	LOW	
T24	LIVE OAK	SCALE 3	LOW	
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T27	REDWOOD	SCALE 3	LOW	
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T97	REDWOOD	SCALE 3	LOW	
T98	LIVE OAK	SCALE 3	LOW	
T99	REDWOOD	SCALE 3	LOW	
T100	LIVE OAK	SCALE 3	LOW	

LANDSCAPE NOTES

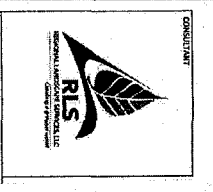
1. NOT TO SCALE
2. ALL TREES SHALL BE SPECIES OR CUTY OF CALIFORNIA
3. ALL TREES SHALL BE CALLED OUT
4. ALL TREES SHALL BE CALLED OUT
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SHOP DRAWING FOR LANDSCAPE LAYOUT

 SCALE AS NOTED



3245 HOLLIS STREET
 5 MINI-LOT DEVELOPMENT
 OAKLAND, CA



IRRIGATION LEGEND

- NOT SHOWN: WATER METERS FOR IRRIGATION SYSTEM BY SITE CONTRACTOR.
- NOT SHOWN: SYSTEM DESIGN BASED ON 40 PSI STATIC PRESSURE. CONTRACTOR MUST VERIFY PRESSURE THAT MIGHT BE REQUIRED FROM A MAINLINE OR LOW OR TO HIGH PRESSURE.
- FROM SERVICE TO METERED PRESSURE ZONE, EXCEPT FOR METERS.
- MAINTAIN 3" CONDUIT SIZE WITH CONDUIT JOINTS AND ALL 3" JOINTS. 2" CONDUIT IS PERMITTED UNDER ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES.
- MAINTAIN 1/2" CONDUIT SIZE WITH CONDUIT JOINTS AND ALL 1/2" JOINTS. 3/4" CONDUIT IS PERMITTED UNDER ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES.
- MAINTAIN 1/2" CONDUIT SIZE WITH CONDUIT JOINTS AND ALL 1/2" JOINTS. 3/4" CONDUIT IS PERMITTED UNDER ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES. SERVICE LINES SHALL BE INSTALLED WITH ALL SIZES OF SERVICE LINES.
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WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and is a required element of the Landscape Documentation Package.

Reference: Earthquake Engineering (E-1) by S.F. 2018

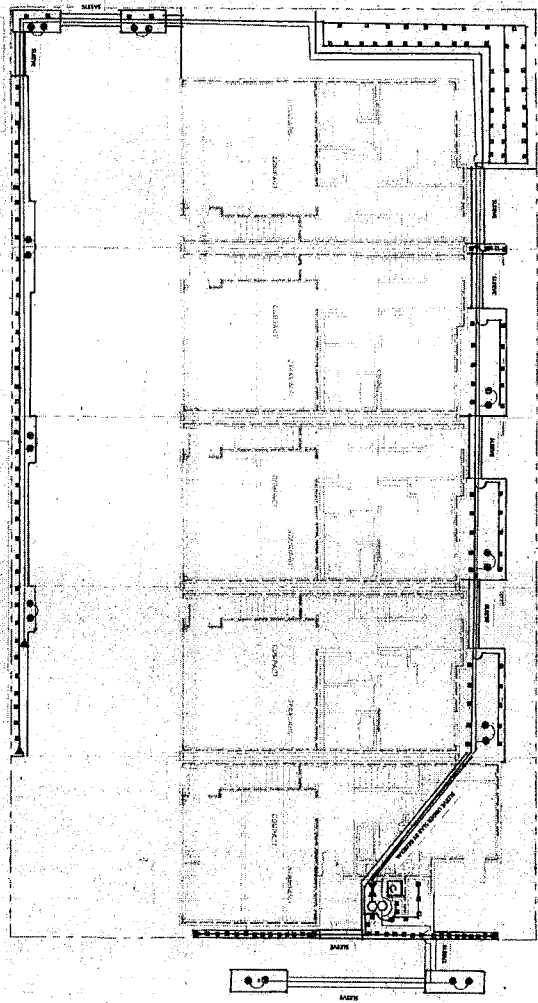
Plant	Quantity	Plant Name	Plant Code	Plant Height	Plant Spacing	Plant Spacing	Plant Spacing	Plant Spacing

IRRI

Area of Irrigation (Acres)	409.96
Area of Irrigation (Sq. Ft.)	35,271,344
Area of Irrigation (Sq. Ft.)	1108
Area of Irrigation (Sq. Ft.)	1108
Area of Irrigation (Sq. Ft.)	1108

A copy of this form may be obtained from Department of Water Resources website: http://www.water.ca.gov/water_efficiency/landscaping/index.php#irrigation

SHOP DRAWING FOR IRRIGATION LAYOUT



IRRIGATION VALVES BY STATION NUMBER

Station Number	Description	Valve Size
1	THREE ZONE BURBLES FOR ALL THREE	150
2	LOW WATER USE ZONE BURBLE FOR ENTIRE SITE	90

- IRRI**
- IRRI**
- GENERAL NOTES/REQUIREMENTS
 - THE SYSTEM DESIGN IS BASED ON 40 PSI AVAILABLE. COMPARE PRESSURE BEFORE BEFORE PROCEEDING TO THE CONTRACTOR. OWNER REPRESENTATIVE SHALL VERIFY PRESSURE BEFORE PROCEEDING TO THE CONTRACTOR.
 - SHOP DRAWING FOLLOWS ALL MANUFACTURER'S DESIGN DETAILS FOR INSTALLATION AND USE OF THEIR PRODUCTS.
 - SHOP DRAWINGS HAVE BEEN SUBMITTED AND MUST BE APPROVED BY OWNER, GENERAL CONTRACTOR AND RECORD DRAWING ENGINEER BEFORE PROCEEDING TO THE CONTRACTOR.
 - ALL MATERIALS SHALL BE APPROVED BY THE RECORD DRAWING ENGINEER BEFORE INSTALLATION.
 - LOCAL ALL PERIODS IN PLANNING WHERE EVER POSSIBLE THE DRAWINGS ARE OVERLAPPING.
 - ADJUST ALL IRRIGATION HEADS AND ORBIT TO INSURE PROPER COVERAGE AND AVOID OBSTRUCTION.
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 - ADJUST ALL IRRIGATION HEADS AND ORBIT TO INSURE PROPER COVERAGE AND AVOID OBSTRUCTION.

3245 HOLLIS STREET
5 MINI-LOT DEVELOPMENT
OAKLAND, CA



PROJECT NO. 000022015
DATE 08/14/08
PROJECT 400


FOR REFERENCE ONLY
NOT FOR CONSTRUCTION

THUNDERLINE FUNDS
Hollis
3265 S. 3231 HOLLIS ST
DUBLIN, CA 94568
DRY UTILITY COMPOSITE EXHIBIT

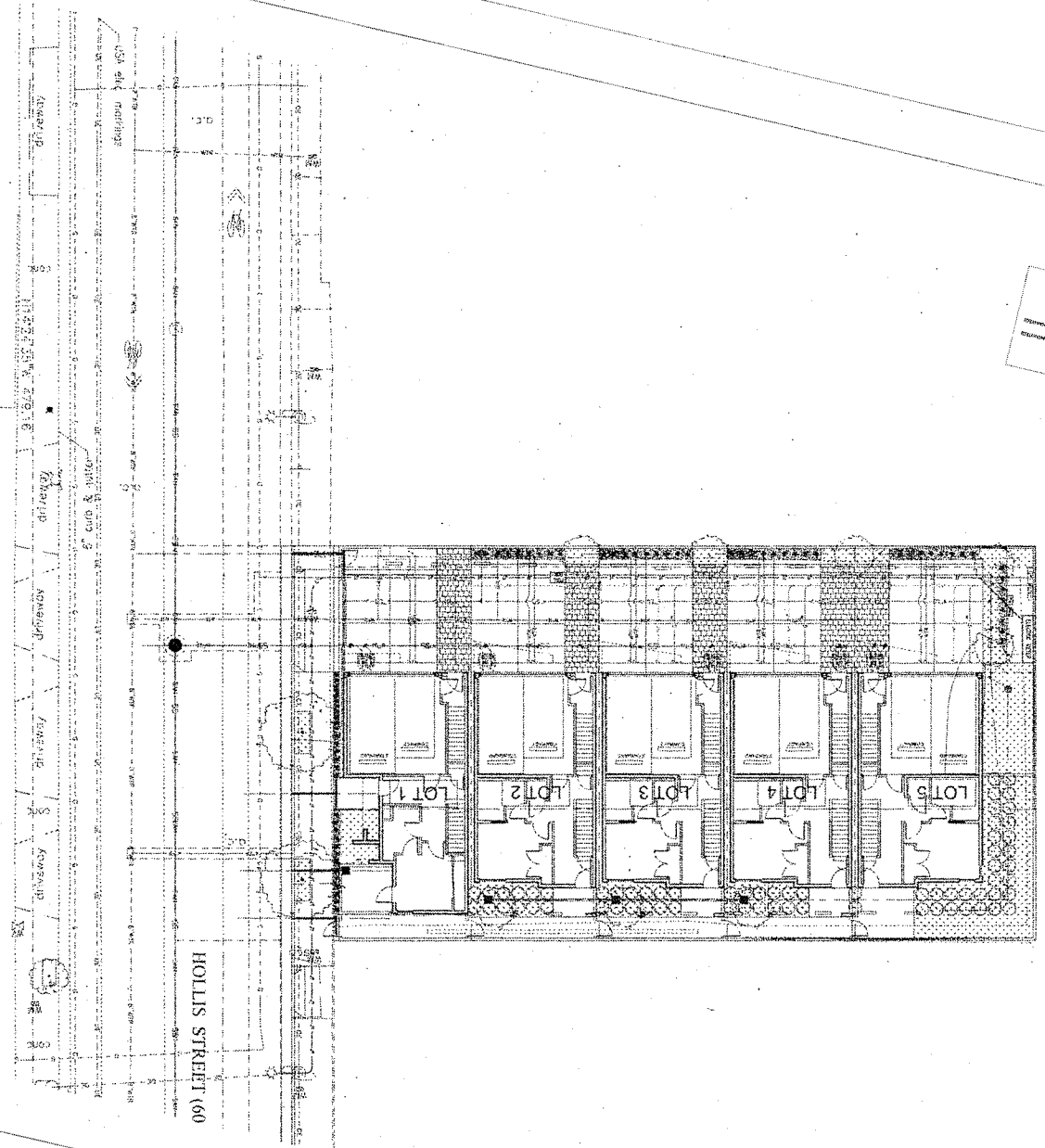
THE ENGINEERING CENTER
1200 WEST 14TH AVENUE
DENVER, CO 80202
TEL: 303.733.1100
WWW.ENR.COM

JEAN YOUNG
REGISTERED PROFESSIONAL ENGINEER
NO. 11111

SCALE: 1" = 20'-0"



PROPOSED	SOLID LINE
EXISTING	DASHED LINE
CONSTRUCTION	DOTTED LINE
CONCRETE	CROSS-HATCH
ASPHALT	DIAGONAL HATCH
GRAVEL	WAVE HATCH
PAVEMENT	BRICK HATCH
ROOF	STIPPLE
POUR CONCRETE	SOLID LINE WITH DASHES
EXISTING CONCRETE	DASHED LINE WITH DASHES
EXISTING ASPHALT	DASHED LINE WITH DOTTING
EXISTING GRAVEL	DASHED LINE WITH WAVE
EXISTING PAVEMENT	DASHED LINE WITH BRICK
EXISTING ROOF	DASHED LINE WITH STIPPLE



DRY UTILITY EXPERTS
DEX

