

FILED  
OFFICE OF THE CITY CLERK  
OAKLAND

*Allen Chen*  
Office of the City Attorney

2015 SEP 25 AM 9:05

# OAKLAND CITY COUNCIL

## RESOLUTION NO. 85812 C.M.S.

### RESOLUTION CONDITIONALLY APPROVING A FINAL MAP FOR TRACT NO. 8185 LOCATED AT 4901 BROADWAY FOR A FIVE LOT SUBDIVISION FOR SRM DEVELOPMENT LLC

**WHEREAS**, SRM Development LLC, a California limited liability company (no. 201515910070) (“Subdivider”) is the subdivider of nine (9) parcels identified by the Alameda County Assessor as APNs 013-1136-010, 013-1136-021, 013-1136-022-01, 013-1136-004-02, 013-1136-005-05, 013-1136-008-04, 013-1136-009-02, 013-1136-022-01, and 013-1136-012, and by the Alameda County Clerk-Recorder as Tract No. 8185, and by the City of Oakland as 4901 Broadway; and

**WHEREAS**, the Subdivider has acquired by purchase for valuable consideration the real property comprising Tract No. 8185 through a grant deed, series no. 2015351644, recorded January 17, 2015, by the Alameda County Clerk-Recorder; and

**WHEREAS**, said nine (9) parcels are comprised of a portion of Block 12 of the Map entitled “Map of Plot No.13 as per Kellenberger’s Map of the Ranchos of Domingo and Vicente Peralta”, recorded by the Alameda County Clerk-Recorder on March 24, 1870 in Book 7 of maps, Page 10; and

**WHEREAS**, the Subdivider applied to the City of Oakland for a Tentative Tract Map (TTM 8185) to subdivide said platted land, which proposed:

- the subdivision of the site into five (5) lots for future construction of four townhouses and a five-story building consisting of 126 residential units with ground-floor commercial space and appurtenant infrastructure; and

**WHEREAS**, on March 18, 2015, the City Planning Commission approved the Tentative Tract Map for Tract No. 8185 and the land use entitlements (PLN14248), and affirmed staff’s environmental determination that the project is exempt from CEQA pursuant to Sections 15183 (projects consistent with a community plan, general plan, or zoning), 15301 (existing facilities), and 15332 (infill projects) of the CEQA Guidelines; and

**WHEREAS**, the Secretary of the Planning Commission of the City of Oakland has certified that the Planning Commission approved the Tentative Map for Tract No. 8185 upon which said Final Map is based; and

**WHEREAS**, the City Engineer of the City of Oakland has determined that

- the Final Map for Tract No. 8185, delineated diagrammatically in *Exhibit A* attached hereto and incorporated herein, is substantially the same as the Tentative Map approved by the Planning Commission; and
- the Final Map for Tract No. 8185 complies in all manners with the provisions of California Government Code sections 66410 et seq. (Subdivision Map Act) and the City of Oakland’s local subdivision ordinance (Oakland Municipal Code, Title 16 - Subdivisions); and

**WHEREAS**, pursuant to California Business and Professions Code section 6731, the City Engineer has further determined that the Final Map is technically correct and accurately delineates the proposed metes and bounds of the property boundaries separating the proposed five (5) lots, the limits of which have been established by a field boundary survey performed by a competent Land Surveyor, who is licensed by the State of California to practice land surveying, and can be re-established from the monuments, property corners, radii, bearings, and distances shown on the Final Map for Tract No. 8185; and

**WHEREAS**, the Subdivider has employed a competent design professional, who is licensed by the State of California to practice civil engineering, to prepare plans and specifications for the construction of required surface and subsurface public infrastructure improvements in the public right of way; and

**WHEREAS**, the City Engineer has approved infrastructure permit no. PX1500014 and the Subdivider’s plans and specifications for construction of the required public infrastructure improvements, attached hereto as *Exhibit B* and incorporated herein; and

**WHEREAS**, through a separate companion Resolution, staff is seeking authorization to enter into a Subdivision Improvement Agreement with the Subdivider pursuant to Government Code section 66462 and Oakland Municipal Code section 16.20.100, as a condition precedent to approval of the Final Map for Tract No. 8185, to assure the timely construction, unconditional warrantee, and prescribed maintenance of all required public infrastructure improvements; and

**WHEREAS**, pursuant to Government Code section 66499 et seq. and Oakland Municipal Code section 16.20.100, the Subdivider has deposited adequate security in the form of surety bonds to secure the Subdivider’s performance of the required public infrastructure improvements identified in the Subdivision Improvement Agreement; and

**WHEREAS**, the City’s approval of a final subdivision map is a ministerial action that is exempt from the requirements of CEQA pursuant to Public Resources Code section 21080(b)(1) and CEQA Guidelines section 15268; now, therefore, be it

**RESOLVED:** That the Final Map for Tract No. 8185 conforms to all the requirements in Government Code sections 66410 et seq. (Subdivision Map Act), Title 16 of the Oakland Municipal Code, and CEQA, and is hereby conditionally approved; and be it

**FURTHER RESOLVED:** That the approval of the Final Map is conditioned upon completion to the satisfaction of the City Engineer of public infrastructure improvements, as required by the Subdivision Improvement Agreement; and be it

**FURTHER RESOLVED:** That the Subdivider shall be responsible until the expiration of the warrantee period for the installation, maintenance, repair, and removal of all infrastructure improvements, including but not limited to roadway pavement, sidewalks, curbs, gutters, trees and landscaping, irrigation, electrical lighting, sanitary sewer piping, and storm water piping, but excepting from said responsibility infrastructure improvements that are otherwise regulated by California Public Utilities Commission; and be it

**FURTHER RESOLVED:** That the hereinabove conditions shall be binding upon the Subdivider and its successors or assigns, affiliated companies or corporations, parent companies or corporations, or partners; and be it

**FURTHER RESOLVED:** That failure by the Subdivider to comply in all aspects with the Subdivision Improvement Agreement shall void approval of the Final Map and shall revert the original parcels comprising Tract No. 8185 to acreage; and be it

**FURTHER RESOLVED:** That the City Engineer is hereby authorized to endorse the Final Map for Tract No. 8185; and be it

**FURTHER RESOLVED:** That the City Clerk of the City of Oakland is hereby authorized to endorse the Final Map for Tract No. 8185 upon its execution by the City Engineer; and be it

**FURTHER RESOLVED:** That the City Engineer is hereby authorized to cause the fully executed Final Map for Tract No. 8185 to be filed with the Alameda County Clerk-Recorder for recordation; and be it

**FURTHER RESOLVED:** That this Resolution shall be effective upon its adoption by sufficient affirmative votes of the elected members of Council of the City of Oakland, as provided in the Charter of the City of Oakland.

OCT 06 2015

IN COUNCIL, OAKLAND, CALIFORNIA, \_\_\_\_\_

PASSED BY THE FOLLOWING VOTE:

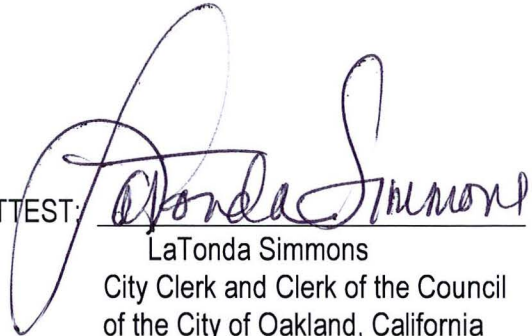
AYES - BROOKS, CAMPBELL WASHINGTON, GALLO, GUILLEN, KALB, KAPLAN, REID AND PRESIDENT GIBSON McELHANEY - 8

NOES - 0

ABSENT - 0

ABSTENTION - 0

ATTEST:

  
LaTonda Simmons  
City Clerk and Clerk of the Council  
of the City of Oakland, California

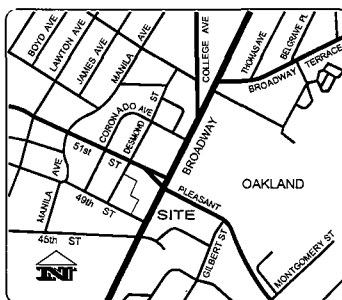
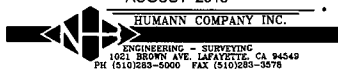
# Exhibit A

TRACT 8185

## TRACT 8185

BEING A PORTION OF BLOCK 12 AS SHOWN ON THE MAP ENTITLED "MAP OF PLOT No. 13, AS PER KELLERSBERGER'S MAP OF THE RANCHO OF V. AND D. PERALTA" FILED MARCH 24, 1870 IN BOOK 7 OF MAPS, PAGE 10, ALAMEDA COUNTY RECORDS (ALSO BEING A MERGER OF ALL THE PARCELS SHOWN WITHIN THE PERIMETER OF THE PROPERTY)

OAKLAND, ALAMEDA COUNTY, CALIFORNIA  
AUGUST 2015



VICINITY MAP N.T.S.

### OWNERS' STATEMENT

THE UNDERSIGNED HEREBY STATE THAT THEY ARE THE ONLY PARTIES HAVING A RECORD TITLE INTEREST IN THE LANDS DELINEATED AND EMBRACED WITHIN THE EXTERIOR BOUNDARY LINES OF THE HEREIN EMBODIED TRACT MAP ENTITLED "TRACT 8185, OAKLAND, ALAMEDA COUNTY, CALIFORNIA" CONSISTING OF 3 SHEETS, THIS CERTIFICATE SHEET BEING SHEET ONE (1) THEREOF; AND THAT THEY ARE THE OWNERS OF SAID LAND BY VIRTUE OF THE \_\_\_\_\_ RECORDS OF ALAMEDA COUNTY, CALIFORNIA; THAT THEY CONSENT TO THE PREPARATION AND FILING OF THIS MAP.

THE AREAS DESIGNATED AS "PRIVATE STORM DRAIN EASEMENT" OR "PSDE" ARE NOT DEDICATED FOR PUBLIC USE BY THE GENERAL PUBLIC BUT HEREBY RESERVED FOR THE USE OF THE HOMEOWNERS AND ASSIGNS OF LOTS 1, 2, 3 & 4 OF TRACT 8185 (AS SHOWN ON THE MAP) FOR USE FOR STORM AND SURFACE WATER DRAINAGE PURPOSES, INCLUDING ACCESS AND MAINTENANCE OF WORKS, IMPROVEMENTS AND STRUCTURES, WHETHER COVERED OR OPEN, OR THE CLEARING OF OBSTRUCTIONS OR VEGETATION. SAID EASEMENT SHALL BE MAINTAINED MUTUALLY BY THE LOT OWNERS OF LOTS 1, 2, 3 & 4 OF TRACT 8185, THEIR SUCCESSORS AND ASSIGNS.

THE CITY OF OAKLAND IS AN INTENDED THIRD PARTY BENEFICIARY OF THIS EASEMENT AGREEMENT WITH THE RIGHT TO ENFORCE THE RIGHTS AND OBLIGATIONS SET FORTH HERE. AT ITS SOLE DISCRETION, THIS EASEMENT AGREEMENT MAY NOT BE MODIFIED OR TERMINATED WITHOUT THE WRITTEN CONSENT OF THE CITY OF OAKLAND. NO BUILDING OR STRUCTURE MAY BE PLACED ON SAID EASEMENT WITHOUT THE CONSENT OF THE CITY OF OAKLAND.

### OWNER:

SRM DEVELOPMENT, LLC

BY: \_\_\_\_\_

BY: \_\_\_\_\_

### OWNER'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATION VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }  
COUNTY OF \_\_\_\_\_ }

ON \_\_\_\_\_, BEFORE ME, \_\_\_\_\_  
DATE HERE INSERT NAME AND TITLE OF THE OFFICER

PERSONALLY APPEARED \_\_\_\_\_  
NAME(S) OF SIGNER(S)

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND,

SIGNATURE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_

### BENEFICIARY'S STATEMENT

THE UNDERSIGNED, \_\_\_\_\_, AS BENEFICIARY BY VIRTUE OF DEED OF TRUST RECORDED \_\_\_\_\_ OF OFFICIAL RECORDS OF ALAMEDA COUNTY, CALIFORNIA, DOES HEREBY CONSENT TO THE PREPARATION AND RECORDATION OF THE HEREIN EMBODIED MAP OF TRACT 8185.

IN WITNESS THEREOF, THE UNDERSIGNED, \_\_\_\_\_, HAVE/HAS EXECUTED THIS STATEMENT THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015.

BY: \_\_\_\_\_ BY: \_\_\_\_\_  
NAME: \_\_\_\_\_ NAME: \_\_\_\_\_  
TITLE: \_\_\_\_\_ TITLE: \_\_\_\_\_

### BENEFICIARY'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATION VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA }  
COUNTY OF \_\_\_\_\_ }

ON \_\_\_\_\_, BEFORE ME, \_\_\_\_\_  
DATE HERE INSERT NAME AND TITLE OF THE OFFICER

PERSONALLY APPEARED \_\_\_\_\_  
NAME(S) OF SIGNER(S)

WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND THAT BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND,

SIGNATURE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_  
MY COMMISSION NUMBER: \_\_\_\_\_  
MY COMMISSION EXPIRES: \_\_\_\_\_  
PRINCIPAL COUNTY OF BUSINESS: \_\_\_\_\_

### SURVEYOR'S STATEMENT

THIS TRACT MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF SRM DEVELOPMENT, LLC IN JANUARY, 2013. I HEREBY STATE THAT THIS TRACT MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE TRACT MAP, IF ANY. I HEREBY STATE THAT THE MONUMENTS ARE OF THE CHARACTER AND OCCUPY POSITIONS INDICATED, AND THAT THE MONUMENTS ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATED: \_\_\_\_\_

ERIC (RICK) A. HUMANN, P.L.S. 5452



### RECORDER'S STATEMENT

THIS MAP IS BEING FILED AT THE REQUEST OF COMMONWEALTH LAND TITLE COMPANY

FILED AT \_\_\_\_\_ M. ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2015, IN BOOK \_\_\_\_\_ OF MAPS AT PAGE \_\_\_\_\_, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA.

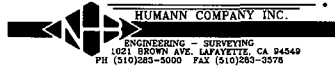
STEVE MANNING  
COUNTY RECORDER, ALAMEDA COUNTY  
STATE OF CALIFORNIA

BY: \_\_\_\_\_  
DEPUTY COUNTY RECORDER

## TRACT 8185

BEING A PORTION OF BLOCK 12 AS SHOWN ON THE MAP ENTITLED "MAP OF PLOT No. 13, AS PER KELLERSBERGER'S MAP OF THE RANCHO OF V. AND D. PERALTA" FILED MARCH 24, 1870 IN BOOK 7 OF MAPS, PAGE 10, ALAMEDA COUNTY RECORDS (ALSO BEING A MERGER OF ALL THE PARCELS SHOWN WITHIN THE PERIMETER OF THE PROPERTY)

OAKLAND, ALAMEDA COUNTY, CALIFORNIA  
AUGUST 2015



### CITY SURVEYOR'S STATEMENT

I, GILBERT E. HAYES, CITY SURVEYOR, HAVING BEEN AUTHORIZED TO PERFORM THE FUNCTIONS OF THE CITY SURVEYOR OF THE CITY OF OAKLAND, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREIN EMBODIED MAP ENTITLED "TRACT 8185", AND AM SATISFIED THAT SAID MAP IS TECHNICALLY CORRECT.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

\_\_\_\_\_  
GILBERT E. HAYES  
CITY SURVEYOR, CITY OF OAKLAND  
ALAMEDA COUNTY,  
STATE OF CALIFORNIA  
P.L.S. NO. 4700  
LICENSE EXPIRES: 09/30/15

### CLERK OF THE BOARD OF SUPERVISORS CERTIFICATE

I, ANIKA CAMPBELL-BELTON, CLERK OF THE BOARD OF SUPERVISORS OF THE COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY STATE THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTION 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA.

DATED \_\_\_\_\_

ANIKA CAMPBELL-BELTON  
CLERK OF THE BOARD OF SUPERVISORS  
COUNTY OF ALAMEDA,  
STATE OF CALIFORNIA

BY: \_\_\_\_\_  
DEPUTY CLERK

### CITY ENGINEER'S STATEMENT

I, MICHAEL J. NEARY, CITY ENGINEER, HAVING BEEN AUTHORIZED TO PERFORM THE FUNCTIONS OF THE CITY ENGINEER OF THE CITY OF OAKLAND, DO HEREBY CERTIFY THAT I HAVE EXAMINED THE HEREIN EMBODIED SUBDIVISION MAP ENTITLED "TRACT 8185, OAKLAND, ALAMEDA COUNTY, CALIFORNIA", THAT THE SUBDIVISION AS SHOWN UPON SAID TRACT MAP IS IN SUBSTANTIALLY THE SAME AS THAT APPEARING ON THE TENTATIVE TRACT MAP AND ANY APPROVED ALTERATION THEREOF; THAT SAID TRACT MAP COMPLIES WITH ALL PROVISIONS OF THE SUBDIVISION MAP ACT OF THE GOVERNMENT CODE AND THE LOCAL ORDINANCES APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE TRACT MAP.

IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

\_\_\_\_\_  
MICHAEL J. NEARY  
CITY ENGINEER, CITY OF OAKLAND  
ALAMEDA COUNTY,  
STATE OF CALIFORNIA  
R.C.E. NO. 38547  
EXPIRATION DATE: MARCH 31, 2017

### CITY PLANNING COMMISSION'S STATEMENT

I, ROBERT MERKAMP, DO HEREBY STATE THAT THE PLANNING COMMISSION OF THE CITY OF OAKLAND HAS APPROVED ON \_\_\_\_\_ 2015, THE TENTATIVE MAP FOR TRACT 8185 UPON WHICH THIS FINAL MAP WAS BASED.

DATE: \_\_\_\_\_

\_\_\_\_\_  
ROBERT MERKAMP  
SECRETARY OF THE PLANNING COMMISSION  
CITY OF OAKLAND,  
ALAMEDA COUNTY,  
STATE OF CALIFORNIA

### CITY CLERK'S STATEMENT

I, LATONDA SIMMONS, CITY CLERK AND CLERK OF THE COUNCIL OF THE CITY OF OAKLAND, COUNTY OF ALAMEDA, STATE OF CALIFORNIA, DO HEREBY STATE THAT THE HEREIN EMBODIED TRACT MAP, ENTITLED "TRACT 8185", CONSISTING OF THREE (3) SHEETS, THIS STATEMENT BEING ON SHEET TWO (2) THEREOF, WAS PRESENTED TO THE CITY COUNCIL, AS PROVIDED BY LAW, AT A REGULAR MEETING THEREOF HELD ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, AND THAT SAID COUNCIL DID THEREUPON BY RESOLUTION NO. \_\_\_\_\_ PASSED AND ADOPTED AT SAID MEETING, APPROVE SAID MAP.

I FURTHER CERTIFY THAT ALL AGREEMENTS AND SURETY AS REQUIRED BY LAW TO ACCOMPANY THE WITHIN FINAL MAP HAVE BEEN APPROVED BY THE COUNCIL OF THE CITY OF OAKLAND AND ARE ON FILE IN MY OFFICE.

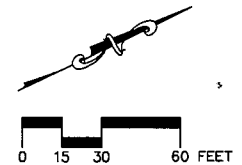
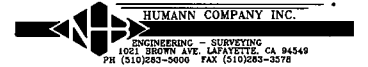
IN WITNESS WHEREOF, I HAVE HEREUNTO SET MY HAND THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 2015.

\_\_\_\_\_  
LATONDA SIMMONS  
CITY CLERK AND CLERK OF THE COUNCIL  
OF THE CITY OF OAKLAND, ALAMEDA COUNTY,  
STATE OF CALIFORNIA

# TRACT 8185

BEING A PORTION OF BLOCK 12 AS SHOWN ON THE MAP ENTITLED "MAP OF PLOT No. 13, AS PER KELLERSBERGER'S MAP OF THE RANCHO OF V. AND D. PERALTA" FILED MARCH 24, 1870 IN BOOK 7 OF MAPS, PAGE 10, ALAMEDA COUNTY RECORDS (ALSO BEING A MERGER OF ALL THE PARCELS SHOWN WITHIN THE PERIMETER OF THE PROPERTY)

OAKLAND, ALAMEDA COUNTY, CALIFORNIA  
AUGUST 2015

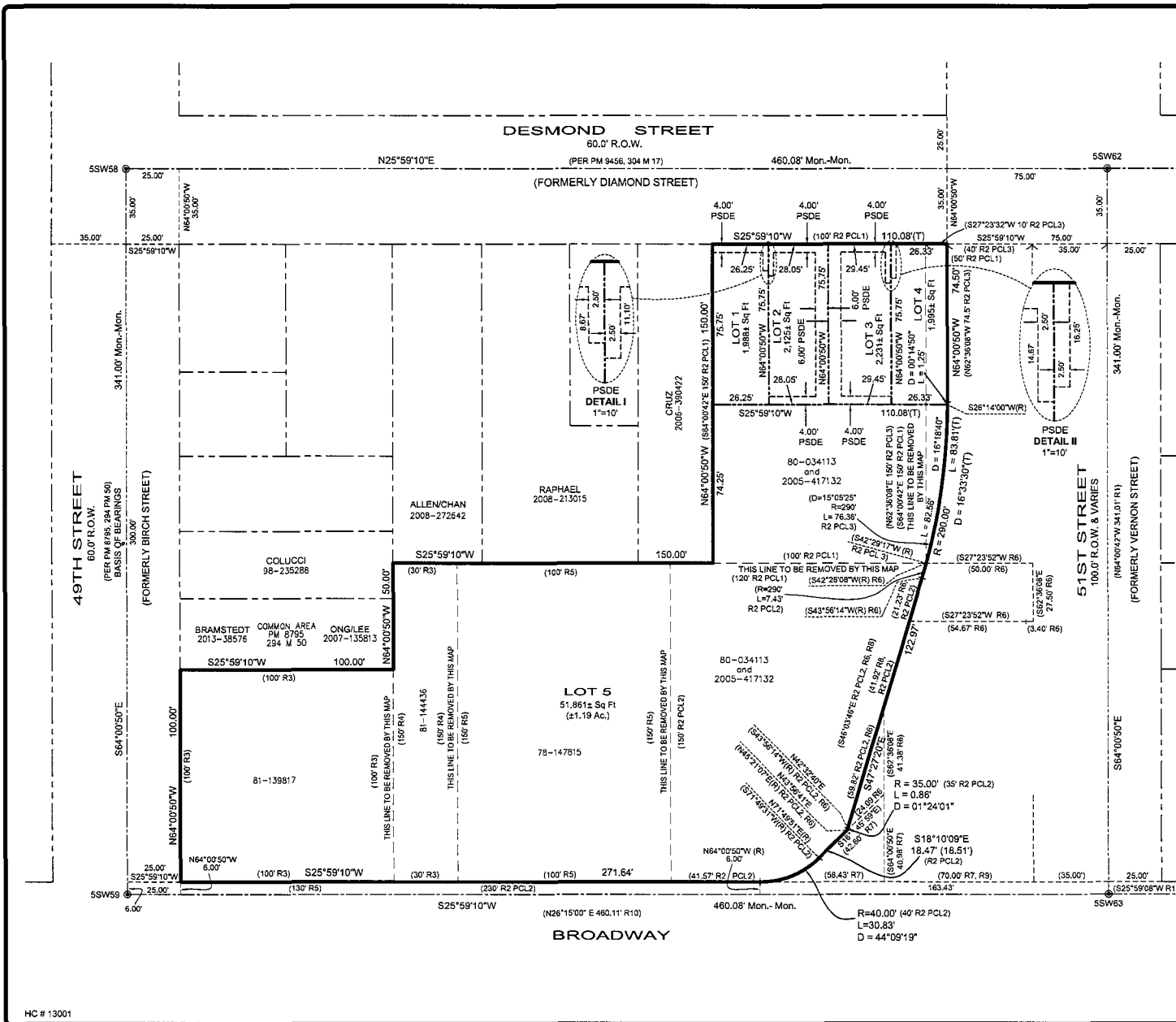


## LEGEND

- ⊙ FOUND STANDARD STREET MONUMENT
- SET  $\frac{1}{2}$ " REBAR & TAG LS 5452
- ( ) DENOTE RECORD INFO
- (T) DENOTES TOTAL
- R.O.W. RIGHT OF WAY
- PSDE PRIVATE STORM DRAIN EASEMENT
- EXTERIOR BOUNDARY LINE
- LOT LINE
- ADJACENT PROPERTY LINE
- ORIGINAL PARCEL LINE
- PSDE
- (R) RADIAL BEARING
- R1 RECORD INFORMATION PER PM 8870 (288 M 88)
- R2 RECORD INFORMATION PER 80-034113 AND 2005-417132
- R3 RECORD INFORMATION PER 81-139817
- R4 RECORD INFORMATION PER 81-144436
- R5 RECORD INFORMATION PER 78-147815
- R6 RECORD INFORMATION PER REEL 2387, IMAGE 517, SERIES No. 1969-44097
- R7 RECORD INFORMATION PER 8157 O.R. 213, SERIES No. AL96013
- R8 RECORD INFORMATION PER REEL 2387, IMAGE 520, SERIES No. 1969-44098
- R9 RECORD INFORMATION PER REEL 1969, IMAGE 941, SERIES No. AY127148
- R10 RECORD INFORMATION PER PM # 10265 (IN THE PROCESS OF BEING RECORDED BY ALAMEDA COUNTY).

## BASIS OF BEARINGS

THE BASIS OF BEARING IS BASED UPON THE MONUMENT LINE OF 49TH STREET AS SHOWN ON PARCEL MAP 8795, RECORDED IN BOOK 294 OF PARCEL MAPS, PAGE 50, OFFICIAL RECORDS OF ALAMEDA COUNTY; SAID BEARING IS TAKEN AS NORTH 64° 00' 50" WEST.





# **Exhibit B**

TEMESCAL APARTMENTS

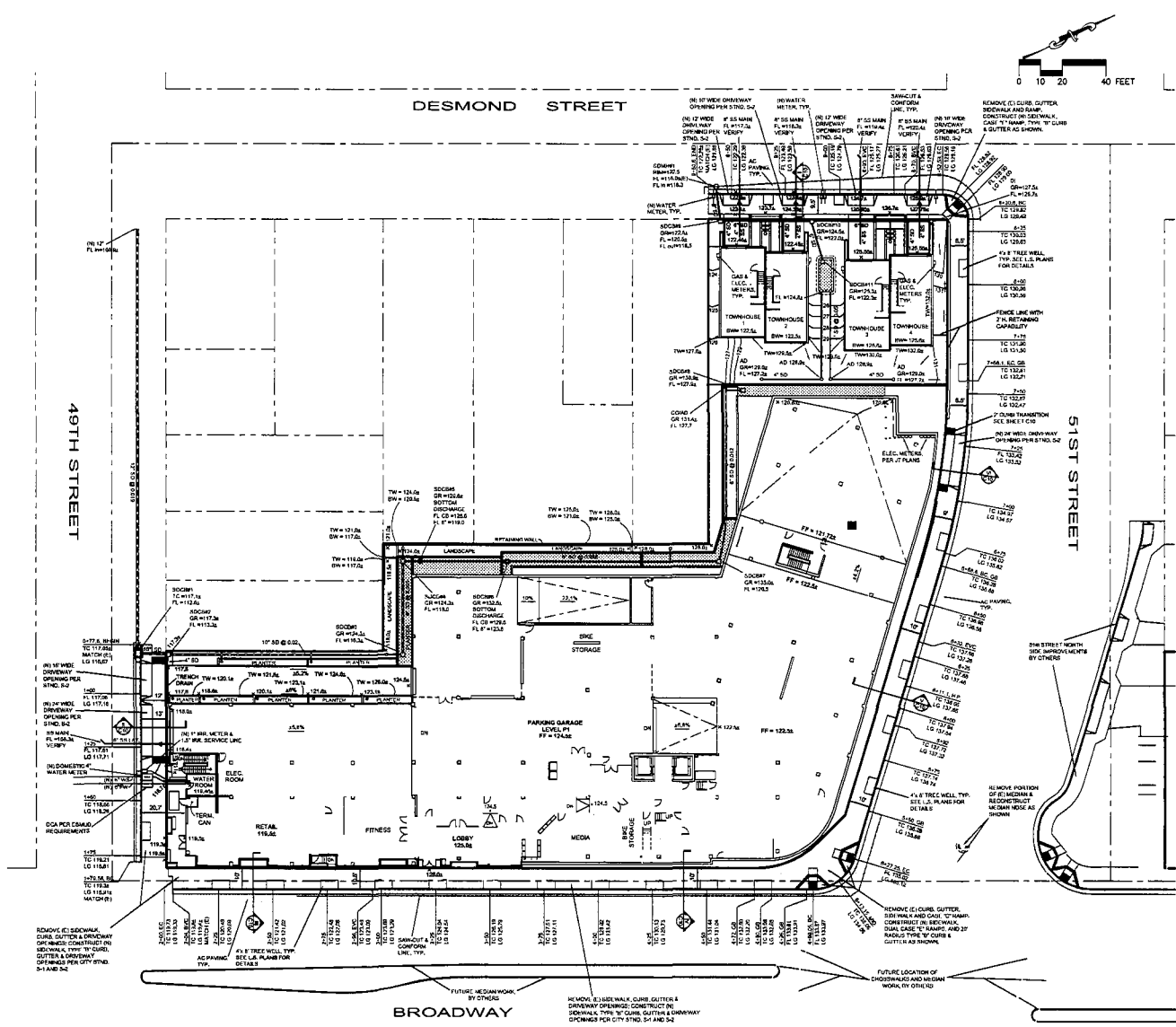
Tract 8185

4901 Broadway

Oakland, California







WATER SERVICES LOCATIONS AND SIZES SHOWN ON PLAN ARE SUBJECT TO ESDMD AND FIRE DEPARTMENT APPROVAL.

**NOTE:** SAW-CUT/ CONFORM PAVING LIMIT FOR NEW CURB & GUTTER SHOWN IS MINIMUM REQUIREMENT. FIELD ADJUSTMENT MAY BE MADE TO ENSURE THAT FINAL PAVEMENT CROSS SLOPES ARE ACCEPTABLE TO CITY INSPECTOR.

**NOTE:** AC OVERLAY TO CENTERLINE OF ALL PUBLIC STREETS ABUTTING THE PROJECT SITE, IF REQUIRED BY CITY BASED ON FIELD CONDITIONS.

**SEE SHEET C05 FOR CURB PROFILES AND C06 & C07 PUBLIC SIDEWALK GRADES AT DOORS.**

PX 1500xx

ARCHITECT  
1111 10th Ave. S.W.  
1111 10th Ave. S.W.  
1111 10th Ave. S.W.



02.20.16 600 E.D. SETT  
02.21.16 6000 6000  
REV DATE REVISION



temescal apartments  
tract 8185

4301 Broadway Ave., Oakland  
Oakland, CA 94611  
Project Number: 13001  
Site Date: 02.20.15  
Engineer: J.R.  
Scale: 1/8"=1'-0"  
Date: 02.21.2015

permit submittal  
GRADING AND  
DRAINAGE PLAN  
GARAGE LEVEL P1

C03

DATE: 07/20/16  
 DRAWN BY: J. L. BROWN  
 CHECKED BY: J. L. BROWN  
 PROJECT NO: 1511-0001-0001  
 SHEET NO: 001



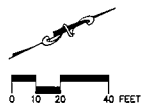
07.20.16 85% CD SET  
 06.01.15 90% PD/100% R/S  
 BY: JLB



temescal  
 apartments  
 tract 8185

4901 Broadway Ave., Concord, California 94501  
 Project Number: 1511-0001  
 Plot Area: 0.28-11  
 Engineer: J.L.B.  
 Scale: 1"=40'  
 Date: 06/20/2015

permit submittal  
 GRADING AND DRAINAGE PLAN  
 LEVEL 11

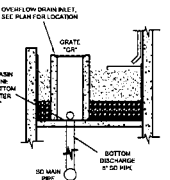


DESMOND STREET

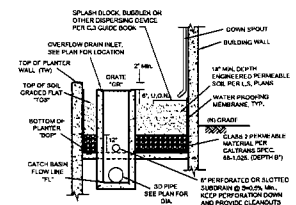
49TH STREET

51ST STREET

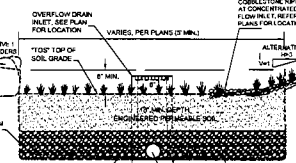
BROADWAY



BOTTOM DISCHARGE OVERFLOW INLET  
 C606 & C606



SIDE DISCHARGE OVERFLOW INLET  
 FLOW-THROUGH PLANTER  
 N.T.S.



BIORETENTION BASIN TYPICAL SECTION  
 N.T.S.

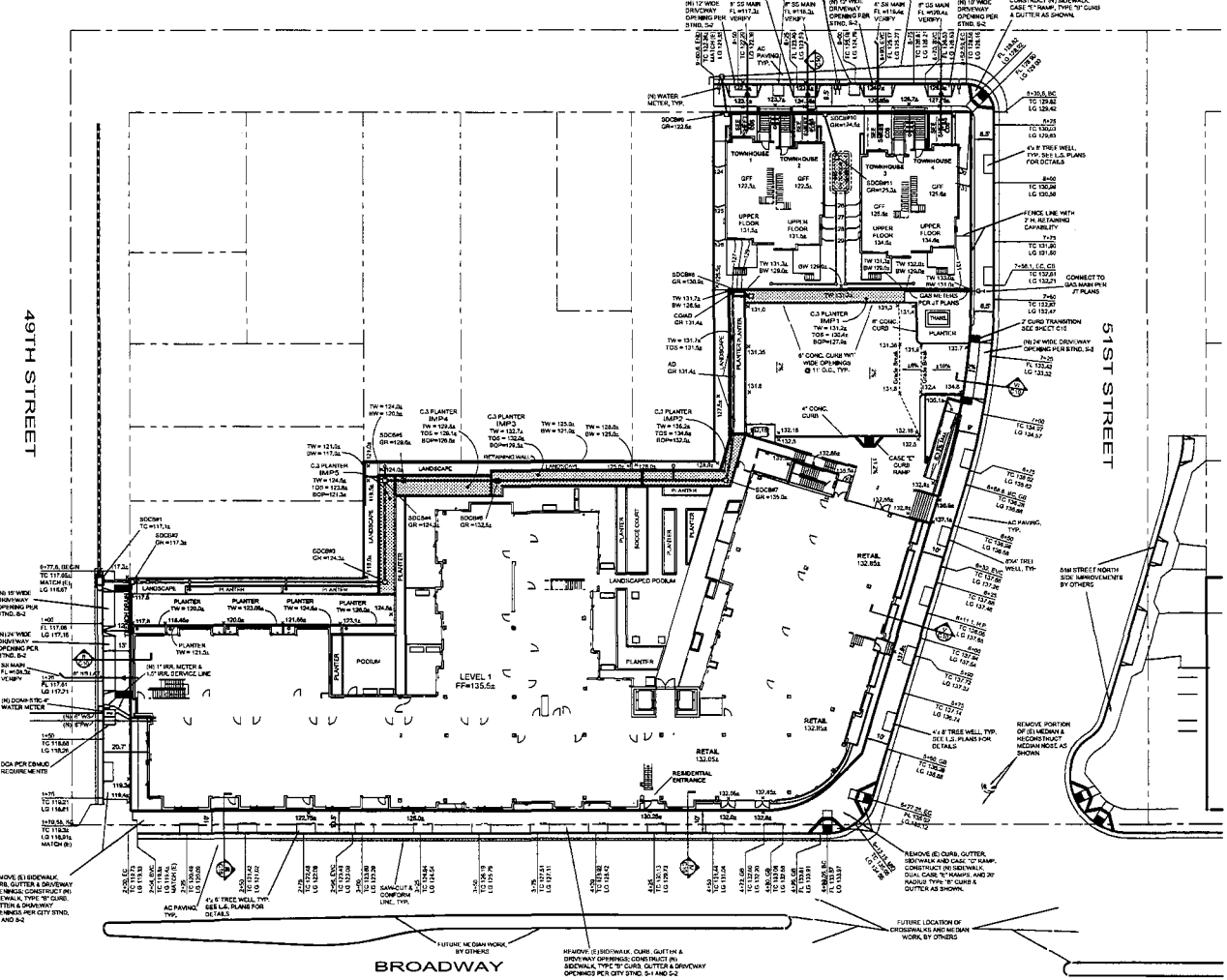
- PLANTER NOTES:**
- REFER TO ALAMEDA COUNTY CLEAN WATER PROGRAM "C3" STORMWATER TECHNICAL GUIDANCE FOR THE ENGINEERED SOIL MIX SPECIFICATIONS PRIOR TO ORDERING THE MIX. SOIL MIX SHALL HAVE MINIMUM LONG TERM ADSORPTION CAPACITY OF 20% H<sub>2</sub>O.
  - ALL PERFORATED PIPES SHALL HAVE A MINIMUM DIAMETER OF 3" DIA. OR AS SHOWN ON PLAN, AND A MINIMUM OF TWO LINES OF THREE 3/4" DIA. HOLES PER LINEAL FOOT OF PIPE, EVENLY SPACED ALONG THE PIPE.
  - SEE ALAMEDA COUNTY CLEAN WATER PROGRAM "C3" STORMWATER TECHNICAL GUIDANCE ITEM B.2 ATTACHED HERETO.
  - PLANTER SURFACE SHALL BE GRADED FLAT.
  - ADDITIONAL ATTENTION SHOULD BE DIRECTED TO ENSURE ALL LANDSCAPED AREAS ARE VEGETATED AND STABILIZED BEFORE THE BIORETENTION FACILITIES ARE BROUGHT ONLINE.

WATER SERVICES LOCATIONS AND SIZES SHOWN ON PLAN ARE SUBJECT TO EBMUD AND FIRE DEPARTMENT APPROVAL.

NOTE: SAW-CUT/7' CONFORM PAVING LIMIT FOR NEW CURB & GUTTER SHOWN IS MINIMUM REQUIREMENT. FIELD ADJUSTMENT MAY BE MADE TO ENSURE THAT FINAL PAVEMENT CROSS SLOPES ARE ACCEPTABLE TO CITY INSPECTOR.

NOTE: AC OVERLAY TO CENTERLINE OF ALL PUBLIC STREETS ABUTTING THE PROJECT SITE, IF REQUIRED BY CITY BASED ON FIELD CONDITIONS.

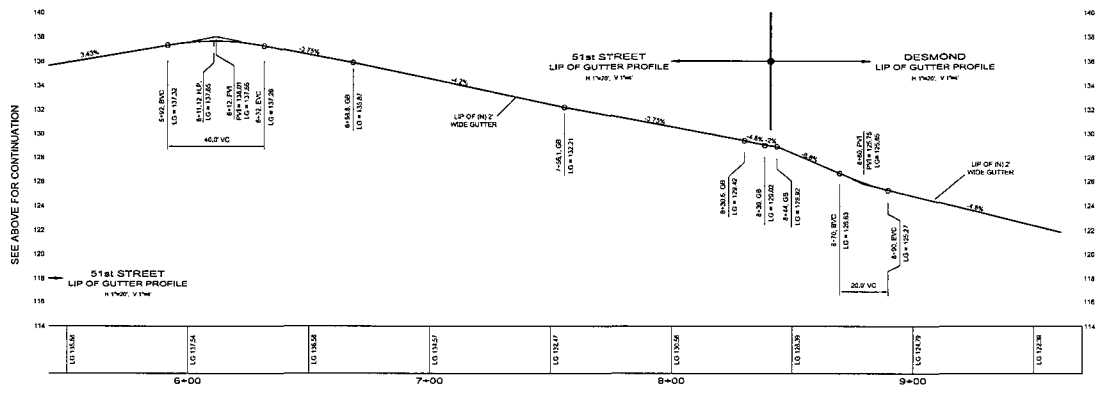
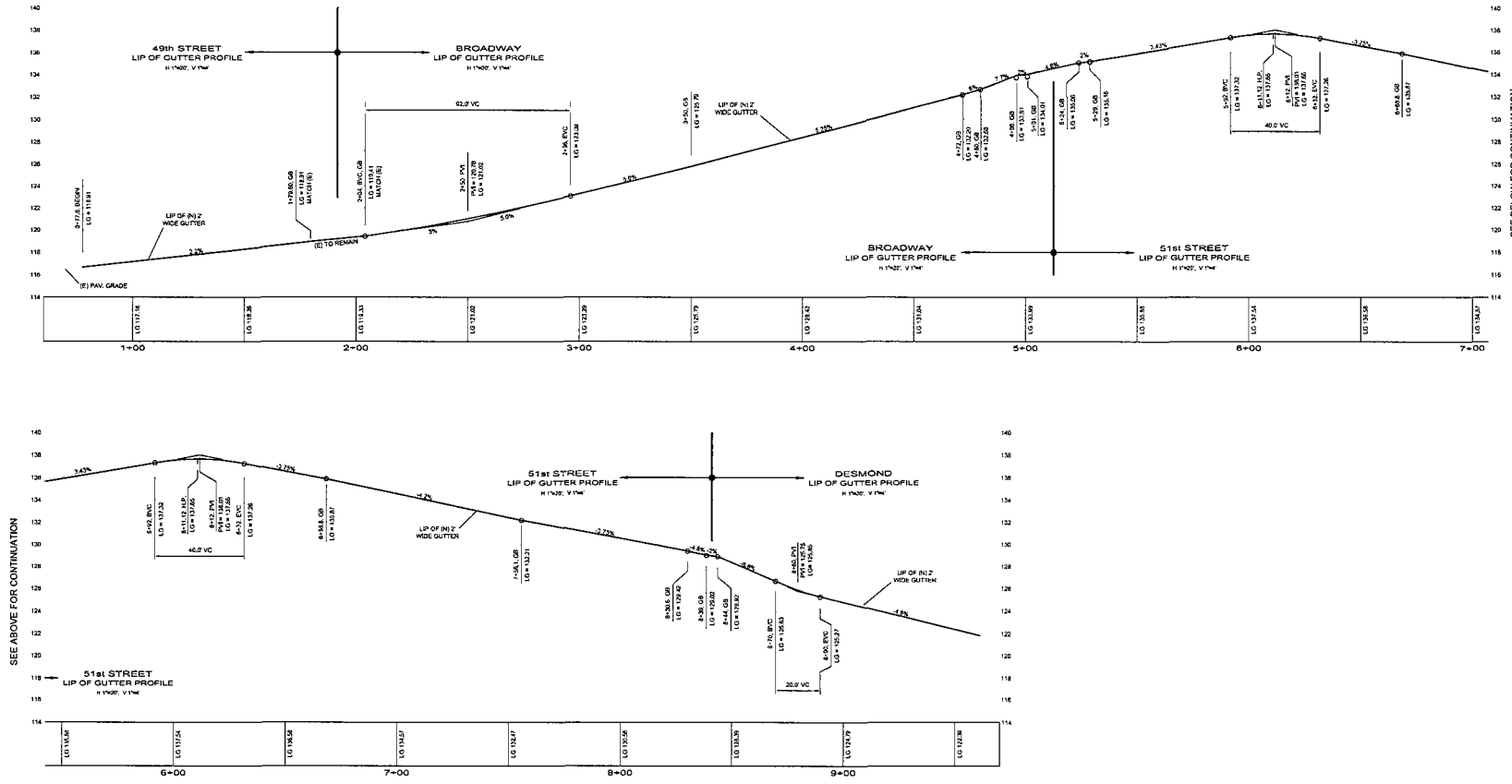
SEE SHEET C05 FOR CURB PROFILES AND C06 & C07 PUBLIC SIDEWALK GRADES AT DOORS.



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PX 15000xx

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SEE BELOW FOR CONTINUATION

SEE ABOVE FOR CONTINUATION

brick.

ARCHITECT  
 2025 S. 10th Street  
 Seattle, WA 98144  
 206.461.7000  
 www.brick-arch.com

CLIENT  
 temescal  
 1111 2nd Ave S  
 Seattle, WA 98148



DATE: 07.30.15 MIN. CO. SET  
 08.01.15 general engineering  
 TR. DATE: 08.01.15



temescal  
 apartments  
 tract 8185

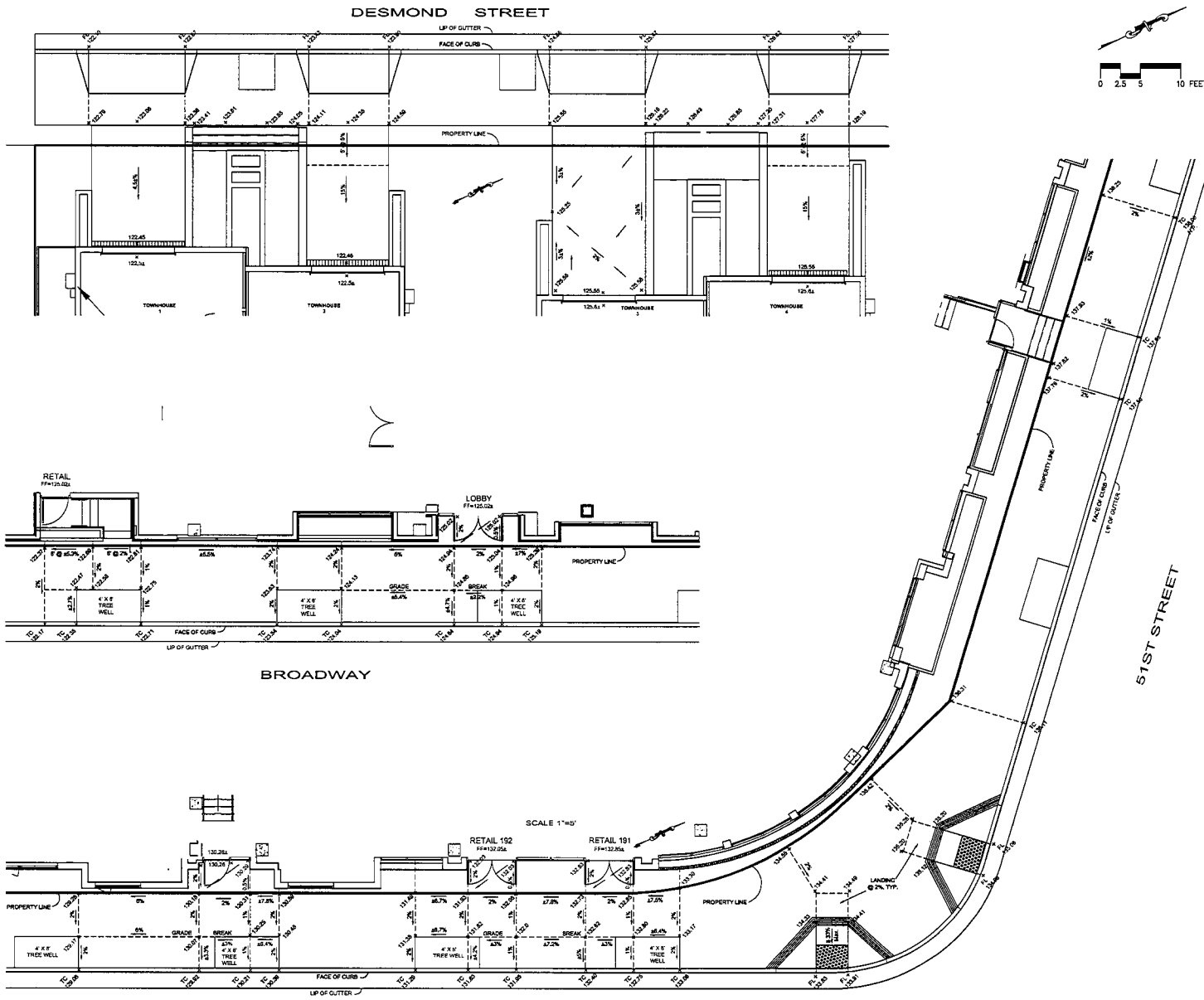
4011 1st Avenue S.W., Seattle, WA 98148  
 project number: 15001  
 sheet name: 05.25.15  
 engineer: J.S.  
 scale: as noted  
 date: 04.01.2015

permit submittal  
 PROFILES

PX 15000xx

C05

CONSULT: P.E. J. L. PETERSON, INC. 11111 Highway 101, Suite 100, San Diego, CA 92120. (619) 444-1111. FAX: (619) 444-1112. www.jlpeter.com  
 DESIGN: P.E. J. L. PETERSON, INC. 11111 Highway 101, Suite 100, San Diego, CA 92120. (619) 444-1111. FAX: (619) 444-1112. www.jlpeter.com



brick.

ARCHITECT  
 J. L. PETERSON, INC.  
 11111 Highway 101, Suite 100  
 San Diego, CA 92120  
 (619) 444-1111  
 www.jlpeter.com

CLIENT  
 temescal  
 11111 Highway 101, Suite 100  
 San Diego, CA 92120



10/26/11 ANS CD SET  
 10/27/11 permit submittal  
 W. Gate Issue



temescal  
 apartments  
 tract 8185

1000 Broadway Ave. 444th  
 San Diego, CA 92111  
 Project Number: 13001  
 Plot Date: 05.28.15  
 Designer: JLP  
 Scale: 1"=40'  
 Date: 06.21.2015

permit submittal  
 PUBLIC SIDEWALK  
 GRADING AT ENTRY  
 POINTS

APPLICABLE  
1997 CALIFORNIA  
SUBDIVISION  
ACT AND  
REGULATIONS  
GEOGRAPHIC  
COUNCIL  
1111 NORTH MAIN STREET  
SUNNYVALE, CA 94089

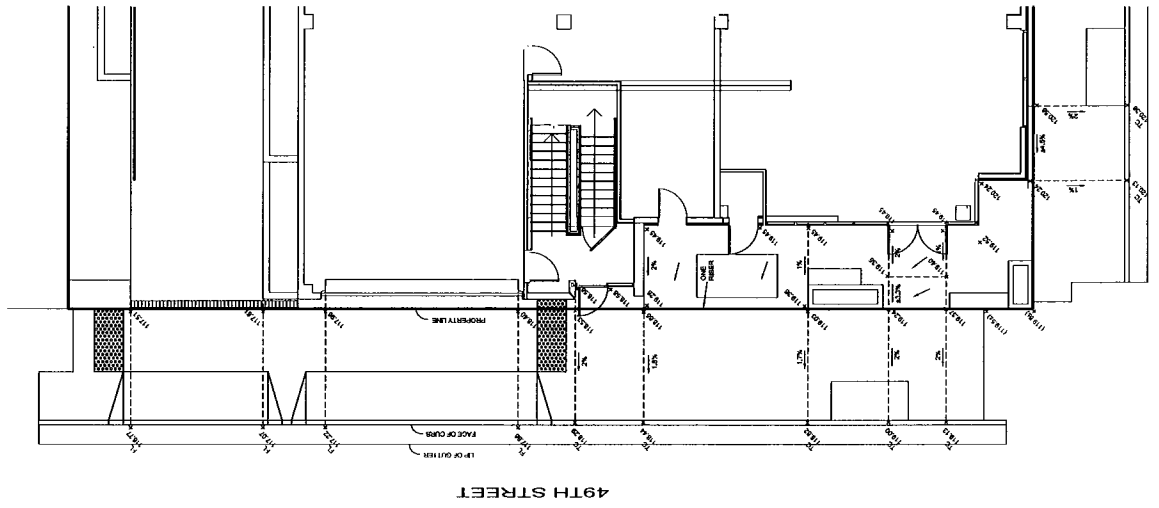
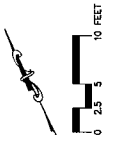
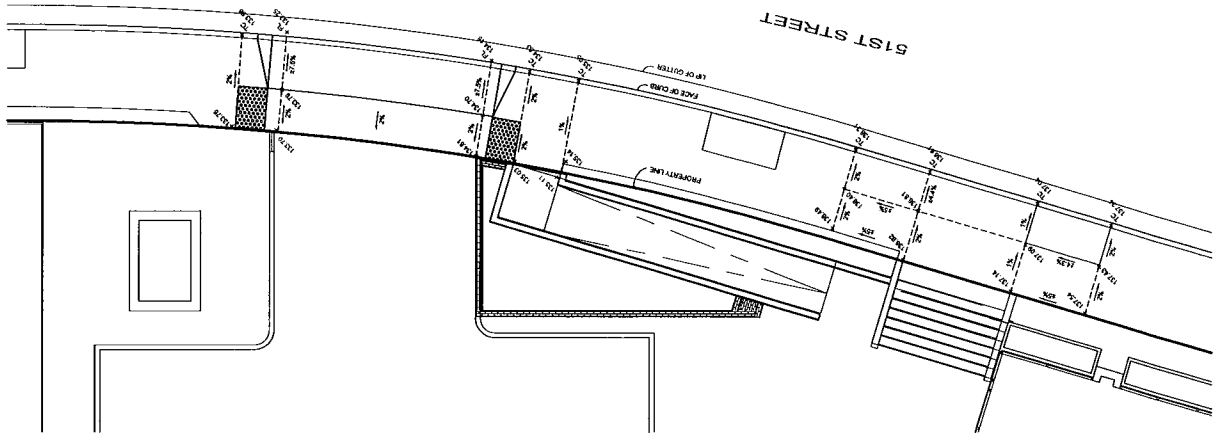


DATE: 08/15/18  
SCALE: AS SHOWN  
PROJECT NUMBER: 18001  
SHEET NUMBER: 101



temescal  
apartments  
tract 8 & 95  
COUNTY: MARIQUENA ELLIZABETH  
PROJECT NUMBER: 18001  
SHEET NUMBER: 101  
DATE: 08/15/18  
DRAWN BY: JRS  
CHECKED BY: JRS

permit submittal  
PUBLIC SIDEWALK  
GRADING AT ENTRY  
POINTS

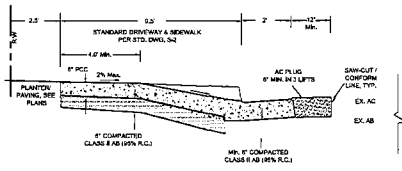


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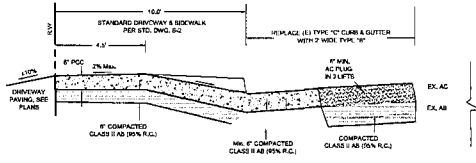




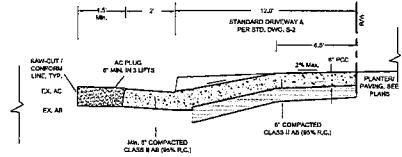




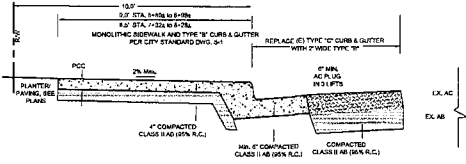
DESMOND STREET CURB, GUTTER, DRIVEWAY & SIDEWALK REPLACEMENT TYPICAL SECTION I  
N. T. S.



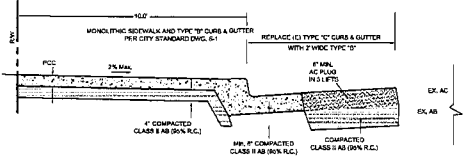
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N. T. S.



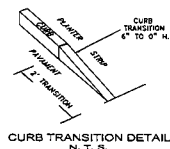
49th STREET CURB, GUTTER, DRIVEWAY & SIDEWALK REPLACEMENT TYPICAL SECTION II  
N. T. S.



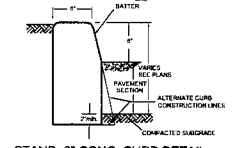
51st STREET FRONTAGE CURB, GUTTER & SIDEWALK REPLACEMENT TYPICAL SECTION VII  
N. T. S.



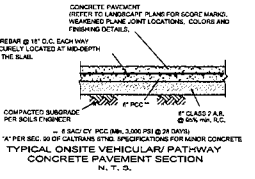
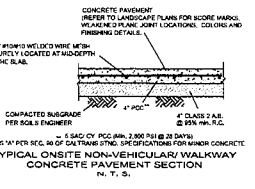
BROADWAY FRONTAGE CURB, GUTTER & SIDEWALK REPLACEMENT TYPICAL SECTION III  
N. T. S.



CURB TRANSITION DETAIL  
N. T. S.



STAND. 6\"/>

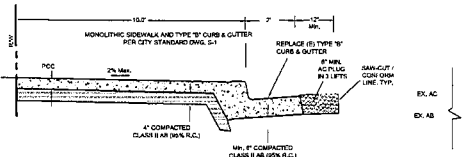


**NOTE:** SAW-CUT/ CONFORM PAVING LIMIT FOR NEW CURB & GUTTER SHOWN IS MINIMUM REQUIREMENT. FIELD ADJUSTMENT MAY BE MADE TO ENSURE THAT FINAL PAVEMENT CROSS SLOPES ARE ACCEPTABLE TO CITY ENGINEER

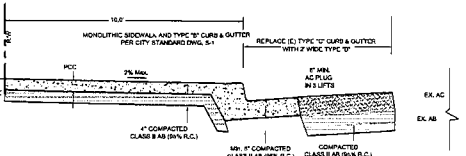
THICKENED CONCRETE WALK EDGE  
N. T. S.

PAVING USE	T	D**	W
VEHICULAR	6	12	8
NON-VEHICULAR	4	8	5

\*\* UNLESS OTHERWISE NOTED ON PLANS

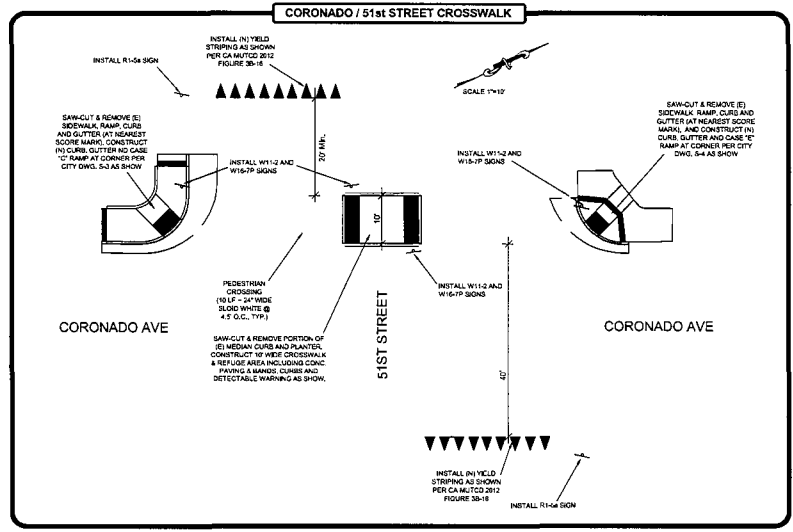


BROADWAY FRONTAGE CURB, GUTTER & SIDEWALK REPLACEMENT TYPICAL SECTION IV  
N. T. S.



51st STREET FRONTAGE CURB, GUTTER & SIDEWALK REPLACEMENT TYPICAL SECTION V  
STA. 5+45.50 TO 5+60.50  
N. T. S.

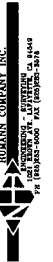
CONTRACTOR SHALL PROVIDE AND COMPACT CLASS II AB FOR ANY PORTION OF AREAS/ SECTIONS NOTED TO HAVE EXISTING AB SHOULD FIELD VERIFICATION SHOWS THAT THE EXISTING AB SECTION DOES NOT MEET THE MINIMUM REQUIREMENTS.



brick.

AGGREGATE  
100% #57  
1500 Eastern Avenue  
Burbank, CA 91502  
Tel: 818-241-1111  
www.brick.com

CLIENT  
City of Burbank  
111 W. 9th Ave 700  
Burbank, CA 91502



07.26.16 80% CD SET  
08.31.16 90% SUBMITTAL  
09.08.16 FINAL



temescal  
apartments  
tract 8155

4801 Broadway Ave., Burbank,  
California 91511  
project number: 13001  
plan date: 05.28.15  
engineer: ds  
scale as noted  
date: 08.01.2015

permit submittal  
SECTIONS, DETAILS  
AND CORONADO/51st  
STREET CROSSWALK

PX 15000xx

C10

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**TYPE 'A'** **TYPE 'B'**

**TYPE 'C'** **TYPE 'D'**

**PROFILE**

**NOTES**

1. CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) CODE AND THE CALIFORNIA TITLE 24 ACCESSIBILITY REGULATIONS.
2. STANDARD ISLAND CURB SHALL BE CONSTRUCTED AS SHOWN ON PLANS.
3. PLACE OF PROPOSED MANHOLE LANDING SHALL BE UNDER CURB, GUTTER AND SEWERAL UNLESS OTHERWISE DIRECTED BY THE ENGINEER.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**CONCRETE CURB AND GUTTER**  
 SHEET 1 OF 6  
 DATE: 08/29/2013

**PERSPECTIVE**

**TYPICAL SECTIONS**

**GENERAL NOTES**

1. ALL CONCRETE SHALL BE 3000 PSI STRENGTH, TYPE I PORTLAND CEMENT, 4000 PSI COMPRESSIVE STRENGTH, AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE AMERICAN CONCRETE INSTITUTE (ACI) CODE AND THE CALIFORNIA TITLE 24 ACCESSIBILITY REGULATIONS.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
5. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.
6. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.
7. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.
8. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.
9. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.
10. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND ENGINEERING DESIGN SERVICES DIVISION  
**CONCRETE DRIVEWAY**  
 SHEET 52 OF 52  
 DATE: 08/29/2013

**CASE 'C' RAMP**

**CASE 'C' AT CORNER**

**CASE 'E' RAMP**

**GENERAL NOTES**

1. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES  
**CURB RAMP DETAILS**  
 SHEET 1 OF 6  
 CASE 'C' RAMPS  
 DATE: 08/29/2013

**DUAL CASE 'E' RAMPS AT ONE CORNER IN DIRECTION OF CROSSWALK**

**GENERAL NOTES**

1. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES  
**CURB RAMP DETAILS**  
 SHEET 2 OF 6  
 CASE 'E' RAMPS  
 DATE: 08/29/2013

**12" GROOVING DETAIL**

**WEAKENED PLANE JOINT (WPJ)**

**TYPICAL CASE 'E' SECTION**

**TYPICAL CASE 'C' SECTION**

**GENERAL NOTES**

1. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**CURB RAMP DETAILS**  
 SHEET 3 OF 6  
 TYPICAL SECTIONS  
 DATE: 08/29/2013

**CURB RAMP WITH DETECTABLE WARNINGS**

**GENERAL NOTES**

1. Curb ramps shall have 4 ft by 8 ft long detectable warning border centered and squared at the ramp bottom.
2. The detectable warning border shall contrast visually with the adjoining surfaces, either light or dark. The material used to provide contrast shall be an integral part of the existing surface and shall contrast to at least 70 percent. A full panel 2 ft x 2 ft border of both the detectable warning border and the adjacent curb ramp shall be submitted to the Engineer for review and approval prior to installation.
3. Dome construction shall conform to the latest ADA Title III regulations.
4. The closest corner of the truncated dome tile to the street shall be set 6" from the border.
5. Detectable stone warning tiles or strips made of materials other than concrete shall only be used with the written approval of the Director of Public Works.
6. Precast concrete detectable warning dome inserts shall be installed on top of a 4 inch iron base concrete pad. Inset joints shall be flush with top surface and finished to provide a smooth surface. Pads shall be set such that joints are level with adjoining levels to provide a smooth transition from curb to grade and from grade to concrete surface.

**PLACEMENT OF DETECTABLE WARNING DOMES**

**NOTE**

**GENERAL NOTES**

1. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES  
**CURB RAMP DETAILS**  
 SHEET 4 OF 6  
 DETECTABLE WARNINGS  
 DATE: 08/29/2013

**CASE 'C' CURB RAMP NOTES**

1. If site conditions do not accommodate a Case E ramp, a Case 'C' Curb Ramp shall be constructed.
2. If the sidewalk is less than 6-foot wide, a Case C ramp shall be installed.
3. The maximum slope of the lower landing of a Case C ramp shall be 2% in all cases the lower landing shall be sloped to drain.
4. No vertical obstructions shall be allowed within a Case C curb ramp.

**CASE 'E' CURB RAMP NOTES:**

1. Two ramps shall be provided at each corner of an intersection, unless otherwise allowed by the plans or by the Engineer. The centerline and path of travel of both curb ramps must be perpendicular to the gutter.
2. A level landing (4-6 inch deep with 2% max. slope) shall be provided at the upper end of each Case E curb ramp over to full width to permit safe exit from the ramp surface. If a level landing cannot be installed, then the side face of the ramp shall slope less than or equal to 8.33%.

**GENERAL CURB RAMP NOTES:**

1. When constructing curb ramps, construct concrete gutter to match existing gutter widths. The new gutter shall be flush with the bottom of the curb ramp and the new gutter shall be considered part of the curb ramp construction.
2. Each curb ramp shall be bounded by a 12-inch border band with 1/4 inch deep groove spaced 24 inches apart except in the curb and gutter area.
3. Vertical obstructions, such as utility poles and traffic signals, shall only be allowed with the approval of the Engineer.
4. Existing utility boxes and covers shall be adjusted to conform flush with the curb ramp surface. All utility boxes and covers located within the detectable warning border area shall be recessed.

CITY OF OAKLAND ENGINEERING DESIGN SERVICES  
**CURB RAMP DETAILS**  
 SHEET 5 OF 6  
 GENERAL NOTES  
 DATE: 08/29/2013

**CURB RAMP WITH DETECTABLE WARNINGS**

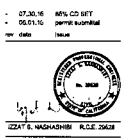
**GENERAL NOTES**

1. CURB SHALL BE CONSTRUCTED TO A MINIMUM HEIGHT OF 4 INCHES ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED.
2. CURB SHALL BE CONSTRUCTED TO A MINIMUM WIDTH OF 12 INCHES UNLESS OTHERWISE NOTED.
3. CURB SHALL BE CONSTRUCTED TO A MINIMUM SLOPE OF 1/4 INCH PER FOOT UNLESS OTHERWISE NOTED.
4. CURB SHALL BE CONSTRUCTED TO A MINIMUM FINISH SURFACE OF 1/4 INCH UNLESS OTHERWISE NOTED.

CITY OF OAKLAND ENGINEERING DESIGN SERVICES  
**CURB RAMP DETAILS**  
 SHEET 6 OF 6  
 GENERAL NOTES  
 DATE: 08/29/2013

brick.

MODEL NO.  
 024-000000-0000  
 111 P. PANEL 024-0000-0000  
 024-0000-0000  
 024-0000-0000



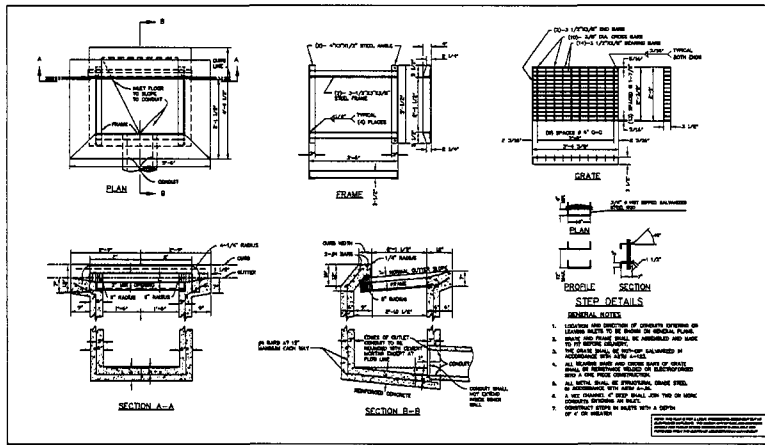
temescal  
 apartments  
 tract 8185

4301 Broadway Ave., Oakland,  
 California 94611  
 Project Number: 13301  
 Print Date: 08/29/2013  
 Engineer: P.W.  
 Scale: AS SHOWN  
 Date: 08/29/2013

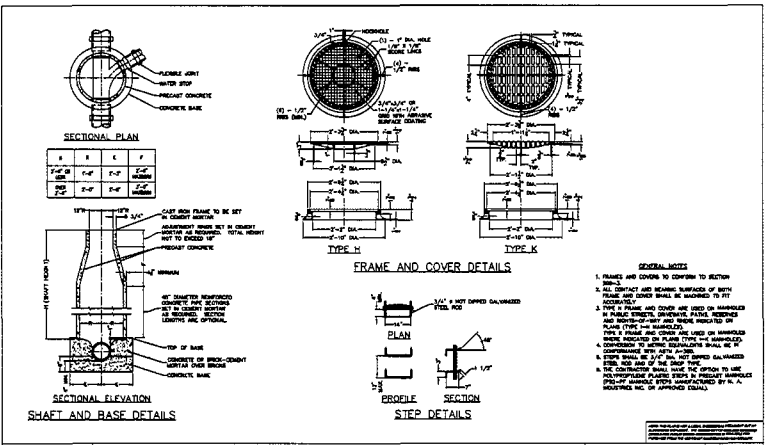
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 STANDARD DETAILS

PX 15000xx

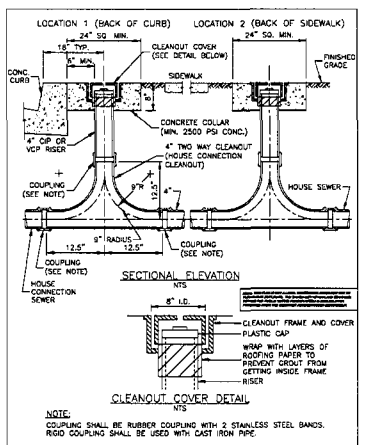
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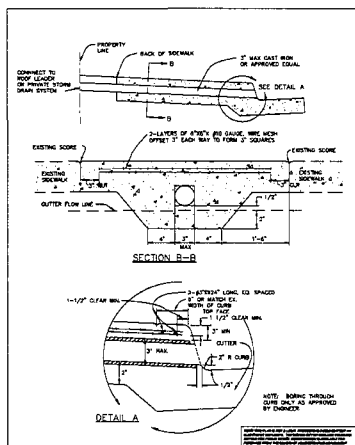
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**TYPE 'B' INLET**  
 SHEET NO. D-4



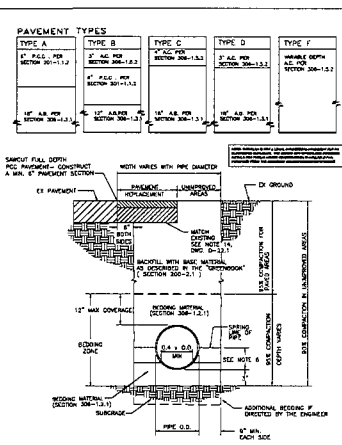
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**MANHOLE TYPE 1**  
 SHEET NO. D-11



CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**HOUSE CONNECTION CLEANOUT (2-WAY CLEANOUT)**  
 SHEET NO. D-24



CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**SIDEWALK UNDERDRAIN**  
 SHEET NO. D-13



CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**TRENCH DETAIL**  
 SHEET NO. D-20

- NOTES:**
1. Dimension material shall not be used to fill voids caused by overexcavation. Each void shall be filled with compacted bedding material. Unless directed by the Engineer, no separate payment will be made for overexcavation.
  2. Import material material shall conform to Subsection 306-1.2.1.
  3. Aggregate base shall conform to standard miscellaneous base (Section 306-1.2.2) or better. The base material must be approved by the Engineer.
  4. The extent of bedrock and generally paved with other AC, PCC, or a combination of the two. The existing pavement may differ from the replacement pavement. Type (A or F) indicated on the plans.
  5. Compaction by jacking is not permitted.
  6. When flexible pipe (HDPE, etc.) is used, pipe shall be supported to the spring line, compacted and backfill tested prior to completing initial backfill.
  7. The compacted temporary restraining shall be a minimum of 2" thick placed on the required base, and shall be removed prior to placing the permanent paving.
  8. Backfill testing is required and results shall be approved by the Engineer prior to paving.
  9. No longitudinal joints or seams are allowed in pipe lines. If a longitudinal joint is unavoidable due to the Contractor's work on this replacement, the Contractor shall notify the Engineer in writing prior to the placement of the pipe. The joint shall be approved by the Engineer and then resurface the pipe line to the Engineer's satisfaction.
  10. During initial construction, the trench shall be backfilled, compacted, and tested to the spring line of any utilities crossing the trench before proceeding with any further work.
  11. Unless specified otherwise, measurement for payment of additional bedding, imported backfill and temporary paving shall be measured on separate pay items and shall be listed upon the contract. The contract shall be approved by the Engineer.
  12. Check and correct slope of excavation and between paving courses with every application of SS-1 emulsion before placing asphalt-concrete pavement sections.
  13. If the distance to the edge of gutter is less than 3' from one trench edge, the pavement replacement shall be equal to the edge of existing gutter.
  14. In cases where existing manhole covers of substandard AC, the trench may be replaced with the required pavement section of substandard AC. An extension of concrete grade AC, except adjacent to backfills, to determine the thickness of the substandard AC may be substituted.

CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT  
**TRENCH DETAIL**  
 SHEET NO. D-21

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brck.

ADDRESS:  
 2000 S. 10th  
 Berkeley, CA 94710  
 510.763.2915  
 www.brck.com

CLIENT:  
 City of Oakland  
 1111 Grand Avenue  
 Oakland, CA 94612



07/26/15 AM CD SET  
 08/11/15 permit submittal  
 no date issue



temescal  
 apartments  
 tract 8155

4500 Broadway Ave., San Diego,  
 California 92111  
 project number: 15001  
 date: 04.28.15  
 engineer: T.J.  
 scale: as noted  
 date: 08.01.2015

permit submittal  
 STANDARD DETAILS

PX 15000xx