

**CITY OF OAKLAND
COUNCIL AGENDA REPORT**

FILED
OFFICE OF THE CITY CLERK
OAKLAND, CALIF.

2003 SEP 18 PM 1:49

TO: Office of the City Manager
ATTN: Deborah Edgerly
FROM: Community & Economic Development Agency
DATE: September 30, 2003
RE: PUBLIC HEARING AND RESOLUTION ON THE APPEAL OF PLANNING
COMMISSION APPROVAL OF A TWENTY SEVEN UNIT RESIDENTIAL
PROJECT AT 4690 TOMPKINS AVENUE.

SUMMARY

This project, the conversion of the Beulah Rest Homes to 27 apartments, was originally approved by the City Planning Commission on August 6, 2003. On August 11, 2003, Jeff Doney filed an appeal of the Planning Commission's approval (Attachment A). The appellant raised four points of contention; namely 1) The Planning Commission lacked sufficient information to make their decision; 2) The City should require additional CUP conditions; 3) The City should deny a Conditional Use Permit based upon the applicants' past history of property abuse and current application; 4) The City should require more oversight due to the past history and nebulous information about the project. See Key Issues and Impacts, below, for an analysis of the appeal.

The subject property is approximately 2.34 acres and is located near the I-580 and State Highway 13 Interchange. The project site itself is bounded by Tompkins Avenue on the west, Wilkie Street on the south, and Fair Avenue on the east. The project site is located within the R-50 Medium Density Residential Zone and contains several existing structures including a former rest home (now mostly vacant), a senior assisted living complex, seven small cottages, and a smaller apartment building fronting on Fair Avenue. The project site is surrounded by residential uses, including mainly single family uses to the north and east, and a mixture of single and multi-family residences to the south and west.

FISCAL IMPACT

The project involves a private development, does not request or require public funds and has no fiscal impact on the City of Oakland. The appellant submitted the required appeal fees. If constructed, the project would provide a positive fiscal impact through increased property tax valuation and business license tax.

BACKGROUND

This is a request by the applicant to convert the existing historic Beulah Rest Home into a 27 unit apartment complex. The main building (fronting on Tompkins Avenue) was constructed in 1928. with an addition added in 1948. Many of the cottages were constructed in the 1950s and

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the three-unit residential building on Fair Avenue was built in 1963. The rest home has been unused since approximately 1997, and is currently vacant except for the property owner and family. The proposal involves the internal conversion of the 70-room main building into 17 residential units, the conversion of an old dormitory-style building fronting onto Fair Avenue into a 2-unit apartment building, as well as the reuse of the several existing cottages on the property for a total of 27 units. The project will be conducted in phases, with one wing of the main building being worked on at a time. The project proposes no external modifications to the project site. **An** existing Senior Assisted Living Facility is on-site (building two) but is not proposed for modification or change in use. The assisted living facility is state licensed for and operating with 15 residents and has, at most, three employees on any one shift.

The main structure would include 17 residential units, including one occupied by the property owner. Rental unit sizes will vary from 1 bedroom efficiency units of approximately 630 square feet to 4 bedroom units of up to 2,600 square feet.

The project went before the Design Review Committee on June 25, 2003. The applicant was directed to provide as much on-site parking as possible and to meet with the neighbors prior to the item returning to the Planning Commission. The owners met with a representative group of property owners on July 18, 2003 to discuss a variety of issues including parking, design, and other events taking place on the property. The applicant revised their plans, particularly the landscape and site plan. They also reduced the number of units from 29 (the original plan) to 27.

The project returned to the full Planning Commission on August 6, 2003 (see staff report, Exhibit "B") and ultimately approved the project, adding a condition that the project be brought back before the Commission within 6 months of the approval to ensure the project is complying with the conditions of approval.

Staff finds that the project is appropriate for the site. The reuse of the Beulah Rest Home complex as residential units would enhance the property, the neighborhood, and revive a mostly vacant site that otherwise could become a nuisance. As conditioned, staff believes the proposed use is appropriate and recommends the City Council uphold the project and deny the appeal.

KEY ISSUES AND IMPACTS

The following is an analysis of the basis for which the project approval was appealed. The appellant's letter is attached (see Exhibit "A"). The basis of the appeal as contained in the appeal letter is shown in bold text. A staff response follows each point.

1. The Planning Commission lacked sufficient information to make their decision.

Staff Response; The appellant has not specified what information the Planning Commission lacked, so staff cannot respond to this allegation in a meaningful way. The project appeared before the full Planning Commission twice and the Design Review Committee once prior to

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approval. The application went through several revisions based on the Planning Commission's and community's input or concerns. The Commission strengthened or modified several conditions to increase the level of Commission oversight for the project after it has been approved.

There have been allegations made during and since the Planning Commission hearing that illegal work has been done on the property. Code Enforcement investigation is ongoing. If the allegations prove to be true, staff will issue citations requiring the property owners to stop work and/or obtain all the proper permits, or to remove any modification made without the benefit of permits. At the time of writing the report, no determination has been made. Staff will provide an update on the code enforcement review at the City Council hearing.

2. The City should require additional CUP conditions.

Staff Response: The appellant has not requested any additional specific conditions in the appeal. However, at the final Planning Commission meeting, the neighbors submitted three conditions that they propose be applied to the approval. These were that 1) the City conduct a one year review before the Planning Commission to check on the progress of the project; 2) the applicant make a financial disclosure to prove sufficient assets to complete the project; and 3) that a baseline of work be established through inspections of the property prior to new work being started. Staff believes these conditions were previously addressed in the Planning Commission approval. Our findings and rationale for each issue are presented below:

- A) The first proposed was that the project would return to the Planning Commission within one year for review of the progress being made. The Commission shortened the time frame to 6 months. This review would be in the form of a status report prepared by staff to the Planning Commission, keeping them informed of how the applicants are complying with the conditions of approval and in securing their building permits. The Planning Commission has the power to forward the Conditional Use Permit for revocation should the project be found to be in non-compliance with the conditions of approval.
- B) The second proposed condition was to require the applicants to reveal their financial status in order to demonstrate their ability to secure sufficient funds to complete the project. This condition was rejected as the Planning Commission has no authority to compel an applicant to expose private financial records to the public.
- C) Finally, the last requested condition was that a preliminary inspection of the property be required to establish a "baseline" for all future work. The Planning Commission approved a modified condition that required the applicant to bring the entire property up to the standards of the current Building Code during the development of this project. As this code is part of state law and the City of Oakland's ordinance, it would most suitably serve as a base level against which all future alterations could then be measured. Any alterations required to bring the property to the current code would be required to secure

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building permits, which involves routine inspections to ensure the work had been done properly to code.

In general, the conditions imposed on this project go further than those normally required for residential projects in the City of Oakland. This *is* due to the uniqueness of the project as it represents the conversion of existing structures as opposed to new construction. Additional landscaping conditions improve the existing plantings and extra fencing conditions improve the quality of the fencing material on site. Also, as the applicant proposes to work in phases; further conditions coordinate the development of the parking with each phase. All told, staff believes that the conditions of approval are adequate, enforceable, and will dramatically improve the existing site and the proposed development.

3. The City should deny a Conditional Use Permit based upon the applicants' past history of property abuse and current application.

Staff Response: Staff is aware of past building code and use violations concerning this property. However, previous violations are not necessarily a reason to deny a Conditional Use Permit for a new project as they are not accurate indicators of future illegal activity. Conditions can be written so as to ensure legal compliance. The Conditional Use Permit includes enforceable conditions to ensure that the property is maintained correctly. Specifically, there have been questions over certain Community Assembly activities taking place on the property over time. It seems the site was being leased to various groups for organized services, workshops, and weekend courses. Such activities are not permitted in the R-50 zoning district without a Conditional Use Permit. The applicants have stated that they were ignorant of the need to obtain permits to conduct such activities. The Conditional Use Permit incorporates a condition that the applicants cease all illegal activity or obtain required Conditional Use Permits to conduct such assembly activities.

4. The City should require more oversight due to the past history and nebulous information about the project.

Staff Response: Staff believes this has been accomplished. Additional conditions have been added to ensure that the property develops as proposed and is maintained in good and proper order (see responses to points #2 & #3 above). The Planning Commission has authorized that a status report be given within 6 months of the approval. Any deviations from the proposed drawings also would be subject to at minimum staff level review, and major alterations would require the project return to the Planning Commission.

SUSTAINABLE OPPORTUNITIES

This section describes the sustainable opportunities that are being addressed or will be implemented as part of the item, such as:

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- Economic: The project will expand the available housing inventory in the City of Oakland and returns an existing underutilized facility to a viable use.
- Environmental: The project has been found to be exempt under Section 15332 "In-Fill Development" of the State of California Environmental Quality Act (CEQA). Furthermore, the permit has been conditioned to require the applicant to use Best Management Practices (BMPs) during construction, divert 50% of the waste generated by construction to recycling, and provide for erosion control on the site during construction to prevent runoff.
- Social Equity: The project benefits the community and improves social equity by providing additional available housing to the City of Oakland as well as additional temporary jobs during the construction of the project.

DISABILITY AND SENIOR CITIZEN ACCESS

The Building Division of the Community and Economic Development Agency will require the project to conform to the Americans With Disability Act in all provisions to ensure equal access to this facility.

STAFF RECOMMENDATION AND RATIONALE

Staff recommends that the City Council uphold the Planning Commission approval and deny the appeal. 1) The Planning Commission's decision was based on its thorough review of all pertinent aspects of the project. 2) The approved Conditional Use Permit includes enforceable conditions of approval that address key neighborhood concerns raised and that require future compliance review by the Planning Commission.

ALTERNATIVE CITY COUNCIL ACTIONS

The City Council also has several other options in addition to the one provided in the recommendation above.

1. The City Council could uphold the appeal and reverse the Planning Commission decision, denying the project.
2. The appeal could be denied, but with additional conditions imposed.
3. The item could be continued pending new information or further clarification of conditions or property inspection.

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ACTION REQUESTED OF THE CITY COUNCIL

1. Affirm staffs environmental determination.
2. Uphold the Planning Commission approval and deny the appeal

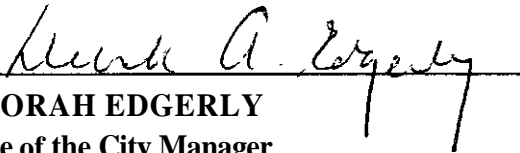
Respectfully submitted,



CLAUDIA CAPPIO
Development Director
Community & Economic Development Agency

Prepared by:
Robert D. Merkamp, Planner III
Planning & Zoning

Approved and Forwarded to the City Council:



DEBORAH EDGERLY
Office of the City Manager

ATTACHMENTS:

- A. Appellant's letter of August 11, 2003
- B. Planning Commission Staff Report of August 6, 2003
- C. Project Plans

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OAKLAND CITY COUNCIL

OFFICE OF THE CITY CLERK
2003 SEP 18 PM 1:50

RESOLUTION No. _____ C.M.S.

INTRODUCED BY COUNCILMEMBER _____

RESOLUTION DENYING THE APPEAL AND SUSTAINING THE DECISION OF THE CITY PLANNING COMMISSION IN APPROVING THE APPLICATION FOR A MAJOR CONDITIONAL USE PERMIT TO CONVERT AN EXISTING REST HOME FACILITY INTO A TWENTY-SEVEN UNIT RESIDENTIAL PROJECT LOCATED AT 4690 TOMPKINS AVENUE, OAKLAND

WHEREAS, the property owner, Walter and Alice Loo, filed an application on July 25, 2000 to convert an existing rest home facility into twenty-seven apartment units at the property located at 4690 Tompkins Avenue; and

WHEREAS, The City Planning Commission took testimony and considered the matter at its meeting held May 21, 2003. Action on the matter was referred to the Design Review Committee. The Design Review Committee took testimony and considered the matter at its meeting held on June 25, 2003. Action on the matter was referred back to the City Planning Commission for a decision. The City Planning Commission took testimony and considered the matter at its meeting held August 6, 2003. At the conclusion of the public hearing held for the matter, the commission deliberated the matter, and voted. The project was approved, 6-0-1; and

WHEREAS on August 11, 2003, an appeal of the Planning Commission's approval and a statement setting forth the basis of the appeal was received; and

WHEREAS, after giving due notice to the Appellant, the Applicant, all interested parties and the public, the Appeal came before the City Council for a public hearing on September 30, 2003; and

WHEREAS, the Appellant, the Applicant, supporters of the application, those opposed to the application and interested neutral parties were given ample opportunity to participate in the public hearing by submittal of oral and/or written comments; and

WHEREAS, the public hearing on the Appeal was closed by the City Council on September 30, 2003;

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Now, Therefore, Be It

RESOLVED: The requirements of the California Environmental Quality Act (CEQA) of 1970, as prescribed by the Secretary of Resources, and the City of Oakland's environmental review requirements, have been satisfied, and, in accordance the adoption of this resolution is exempt from CEQA under Section 15332 "In-Fill Development" of the State CEQA Guidelines.

FURTHER RESOLVED: That, the City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Application, the City Planning Commission's decision, and the Appeal, finds that the Appellant has not shown, by reliance on evidence already contained in the record before the City Planning Commission that the City Planning Commission's decision was made in error, that there was an abuse of discretion by the Commission or that the Commission's decision was not supported by substantial evidence in the record based on the August 6, 2003 Staff Report to the City Planning Commission (attached as Exhibit "A") and the September 30, 2003, City Council Agenda Report (attached as Exhibit "B") hereby incorporated by reference as if fully set forth herein. Accordingly, the Appeal is denied, the Planning Commission's CEQA findings and decision are upheld, and the Project is approved (the Major Conditional Use Permit), subject to the findings and conditions of approval contained in Exhibits "B" in the Staff Report for this item prepared for the City Council meeting of September 30, 2003.

FURTHER RESOLVED: That, in support of the City Council's decision to approve the Project, the City Council affirms and adopts the August 6, 2003 Staff Report to the City Planning Commission (including without limitation the discussion, findings, conclusions and conditions of approval) all attached as Exhibit "A", as well as the September 30, 2003, City Council Agenda Report, attached hereto as Exhibit "B," (including without limitation the discussion, findings, and conclusions) except where otherwise expressly stated in this Resolution.

FURTHER RESOLVED: That, the City Council finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Exemption with the appropriate agencies.

FURTHER RESOLVED: That, the record before this Council relating to this application and appeal includes, without limitation, the following:

1. the application, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. the notice of appeal and all accompanying statements and materials;
4. all final staff reports, final decision letters and other final documentation and information produced by or on behalf of the City; including without limitation and all related/supporting final materials, and all final notices relating to the application and attendant hearings;

5. all oral and written evidence received by the City Planning Commission and City Council during the public hearings on the application and appeal; and all written evidence received by relevant City Staff before and during the public hearings on the application and appeal;

6. all matters of common knowledge and all official enactments and acts of the City, including, without limitation (a) the General Plan; (b) Oakland Municipal Code (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations.

FURTHER RESOLVED: That, the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, 3rd Floor, Oakland CA.; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, CA.

FURTHER RESOLVED: That, the recitals contained in this Resolution are true and correct and are an integral part of the City Council's decision.

In Council, Oakland, California, _____, 2003

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, BRUNNER, CHANG, NADEL, QUAN, REID, WAN, AND
PRESIDENT DE LA FUENTE

NOES-

ABSENT-

ABSTENTION-

ATTEST: _____

CEDA FLOYD
City Clerk and Clerk of the
Council of the City of
Oakland, California

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Exhibit **A**

[August 6, 2003 Planning Commission Staff Report]

Exhibit B

[September 30,2003 City Council Agenda Report]



CITY OF OAKLAND
REQUEST FOR APPEAL OF DECISION TO
PLANNING COMMISSION OR CITY COUNCIL
(REVISED 8/14/02)

PROJECT INFORMATION

Case No. of Appealed Project: (EM 00-249, A03-377)
Project Address of Appealed Project: 4690 Tompkins

APPELLANT INFORMATION:

Printed Name: Jeff Doney Phone Number: (510)482-5383
Mailing Address: 4726 Fair Ave Alternate Contact Number: Keith H. Monahan
City/Zip Code Oakland, CA 94619 Representing: Neighbors + J. Doney - (510)433-0390

An appeal is hereby submitted on:

AN ADMINISTRATIVE DECISION (TO THE CITY PLANNING COMMISSION)

YOU MUST INDICATE ALL THAT APPLY:

- Approving an application for an Administrative Project
Denying an application for an Administrative Project
Administrative Determination or Interpretation by the Zoning Administrator
Other (please specify)

Pursuant to the Oakland Municipal and Planning Codes listed below:

- Administrative Determination or Interpretation (OPC Sec. 17.132.020)
Determination of General Plan Conformity (OPC Sec. 17.01.080)
Design Review (OPC Sec. 17.136.080)
Small Project Design Review (OPC Sec. 17.136.130)
Minor Conditional Use Permit (OPC Sec. 17.134.060)
Minor Variance (OPC Sec. 17.148.060)
Tentative Parcel Map (OMC Section 16.304.100)
Certain Environmental Determinations (OPC Sec. 17.158.220)
Creek Protection Permit (OMC Sec. 13.16.450)
Creek Determination (OMC Sec. 13.16.460)
Hearing Officer's revocation/impose or amend conditions (OPC Secs. 15.152.150 & 15.156.160)
Other (please specify)

A DECISION OF THE CITY PLANNING COMMISSION (TO THE CITY COUNCIL)

Granting an application to: OR Denying an application to:

build out 27 apartment units - Applicant sought a major conditional use permit.

(continued on reverse)

ATTACHMENT A

(Continued)

A DECISION OF THE CITY PLANNING COMMISSION (TO THE CITY COUNCIL)

YOU MUST INDICATE ALL THAT APPLY:

Pursuant to the Oakland Municipal and Planning Codes Listed below:

- Major Conditional Use Permit (OPC Sec. 17.134.070)
- Major Variance (OPC Sec. 17.148.070)
- Design Review (OPC Sec. 17.136.090)
- Tentative Map (OMC Sec. 16.32.090)
- Planned Unit Development (OPC Sec. 17.140.070)
- Environmental Impact Report Certification (OPC Sec. 17.158.220F) - *Exemption*
- Rezoning, Landmark Designation, Development Control Map, Law Change (OPC Sec. 17.144.070)
- Revocation/impose or amend conditions (OPC Sec. 17.152.160)
- Revocation of Deemed Approved Status (OPC Sec. 17.156.170)
- Other (please specify) _____

An appeal in accordance with the sections of the Oakland Municipal and Planning Codes listed above shall state specifically wherein it is claimed there was an error or abuse of discretion by the Zoning Administrator, other administrative decisionmaker or Commission (Advisory Agency) or wherein their/its decision is not supported by substantial evidence in the record, or in the case of Rezoning, Landmark Designation, Development Control Map, or Law Change by the Commission, shall state specifically wherein it is claimed the Commission erred in its decision.

You must raise each and every issue you wish to appeal on this Request for Appeal Form (or attached additional sheets). Failure to raise each and every issue you wish to challenge/appeal on this Request for Appeal Form (or attached additional sheets), and provide supporting documentation along with this Request for Appeal Form, may preclude you from raising such issues during your appeal and/or in court.

The appeal is based on the following: *(Attach additional sheets as needed.)*

- 1) The Planning Commission lacked sufficient information,
- 2) The City should require additional CUP conditions
- 3) The City should deny a use permit based upon the hoos' past history of property abuse and current application
- 4) The City should require more oversight due to the past history and nebulous information about the project.

Supporting Evidence or Documents Attached. *(The appellant must submit all supporting evidence along with this Appeal Form.)* The evidence and documents are already

in the City's file.

Jeffrey J. Rosney
Signature of Appellant or Representative of
Appealing Organization

Date

8/10/2003

Date/Time Received Stamp Below:

Below For Staff Use Only

Cashier's Receipt Stamp Below:

Location:	4690 Tompkins Avenue (See map on reverse)
Assessors Parcel Number:	APN 037 -2544-017-01
Proposal:	To convert an existing vacant, nursing home into 27 residential units.
Applicant:	Wilson Ng
Owner:	Walter & Alice Loo
Planning Permits Required:	Major Conditional Use Permit for 27 units in the R-50 Zone.
General Plan:	Detached Unit Residential
Zoning:	R-50 Medium Density Residential Zone
Environmental Determination:	Exempt, Section 15332, State CEQ Guidelines, urban infill
Historic Status:	Potential Designated Historic Property (PDHP); survey rating: B+3
Service Delivery District:	IV – Lower Hills
City Council District:	4
Action to be Taken:	Decision on application based on staff report
For further information:	Contact case planner Robert D. Merkamp at 510-238-6283 or by email at Rmerkamp@oaklandnet.com .

SUMMARY

This is a request by the applicant to convert the existing Beulah Rest Home into a 27 unit apartment complex. The main building was constructed in the 1928, with an addition added in 1948. Many of the cottages were constructed in the 1950s and the three unit building on Fair Avenue was built in 1963. The rest home has been unused since approximately 1997, and is currently vacant except for the property owner and family. The proposal involves the internal conversion of the 70-room main building into 17 residential units, the conversion of an old dormitory-style building fronting onto Fair Avenue into a 2-unit apartment building, as well as the reuse of the several existing cottages on the property for a total of 27 units. The project will be conducted in phases, with one wing of the main building being worked on at a time. The project proposes no external modifications to the project site. An existing Senior Assisted Living Facility is on-site (building two) but is not proposed for modification or change in use. The assisted living facility is licensed for 15 residents and has at most three employees on any one shift.

The main structure would include 17 residential units, including one occupied by the property owner. Rental unit sizes will vary from 1 bedroom efficiency units of approximately 630 square feet to 4 bedroom units of up to 2,600 square feet.

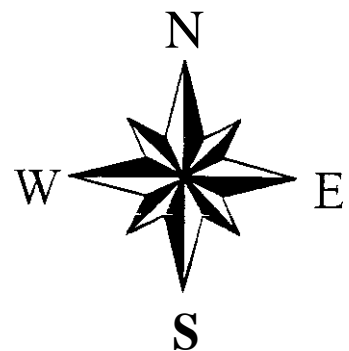
The project was previously heard at the Planning Commission but was continued and referred to the Design Review Committee and to allow the applicants to work with the neighbors. The applicant revised their plans, particularly with respect to the landscape and site plan. They also reduced the number of units they were asking for by two to 27. The project went before the Design Review Committee on June 25, 2003. The applicant was directed to provide as much on-site parking as possible and to meet with the neighbors prior to the item returning to the Planning Commission. The owners met with a representative group of property owners on July 18, 2003 to discuss a variety of issues including parking, design, and other events taking place on the property.

Staff believes the project is appropriate for the site. The reuse of the Beulah Rest Home complex as residential units should enhance the property and neighborhood and clean up a mostly vacant site that

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Case File: CM00-249
Applicant: Alice Liu
Address: 4690 Tompkins Avenue
Zone: R-50



otherwise could become a nuisance. As conditioned, staff believes the proposed use is appropriate and staff recommends approval of the project.

PROPERTY DESCRIPTION

The subject property is approximately 2.34 acres and is located near the 1-580 and State Highway 13 interchange. The project site itself is bounded by Tompkins Avenue on the west, Wilkie Street on the south, and Fair Avenue on the east. The project site is located within the R-50 Medium Density Residential Zone and contains several existing structures including a former rest home (now mostly vacant), a senior assisted living complex, seven small cottages, and a smaller apartment building fronting on Fair Avenue. The project site is surrounded by residential uses, including mainly single family uses to the north and east, and a mixture of single and multi-family residences to the south and west.

GENERAL PLAN ANALYSIS

The project site is designated as Detached Unit Residential on the General Plan Land Use Diagram dated March 24, 1998. The Detached Unit Residential classification is intended to create, maintain and enhance residential areas. The proposal is to reuse the project site and create 27 multi-family dwelling units on site. The project proposes approximately one dwelling unit per 3775 square feet of land area. According to the Guidelines for Determining Project Conformity with the General Plan and Zoning Regulations table 3; the minimum square feet of site area per principal unit in the Detached Residential classification is 2969 square feet per unit (which would allow up to 34 Dwelling Units on a property this size) and thus the project conforms to the General Plan density.

The project conforms to various General Plan policies including;

Policy N3.2: This policy encourages in-fill development in Oakland. In-fill development is encouraged in already developed urban areas to help reduce the pressure for outward expansion of urban zones, creating more compact and efficient cities. This project helps to satisfy this policy by reusing an existing site for residential housing. This specific project would not lead to new buildings going up or the demolition of any structures.

Policv N6.1: The City of Oakland has long sought to develop diversity in the types of housing it makes available to it's residents in both scale and economy. The project creates a 27-unit apartment community with apartments ranging in size from 600 to 2,600 square feet. This helps to meet the goals of this policy by creating a wide variety of housing available to a mixture of income types.

Policv N7.1: The goal of this policy is to ensure compatibility in residential neighborhoods. The City of Oakland encourages new development but desires that it blend into the existing neighborhood fabric, The project is compatible with the neighborhood in terms of density with the surrounding properties. The site could, with the buildings removed, accommodate a maximum of up to 34 dwelling units. At 27 units the proposal falls under this maximum density. The project also works with the neighborhood in that it preserves the structures as is, without new construction or substantial exterior modification. These two factors combined will help the residential use being proposed blend into the existing neighborhood.

Policv N9.9: This policy deals with the preservation of historic buildings and calls for respecting the architectural integrity of the historic elements. The project meets this policy in that it shall not significantly modify the exteriors of the structures on this site. The project site is a campus-like setting with a number of buildings on it, some of which have high historic ratings. By avoiding major changes to these buildings, the project will protect and preserve the architectural character of the site.

ZONING ANALYSIS

The project site is in the R-50 Medium Density Residential Zoning District, which is intended to create a neighborhood of mixed housing stock, allowing both apartments and single family residences. The R-50 zoning district would allow up to 68 residential units on a property of this size (although the General Plan limits this to a lower density). The project conforms to the standards of the R-50 in all respects (see the “Key Issues and Impacts” section for a more detailed analysis of zoning requirements. A Major Conditional Use Permit is required for all proposals for more than seven residential units in the R-50 zone.

HISTORIC STATUS

The main building was constructed in 1928, with an addition being accomplished in 1948. Many of the cottages were constructed in the 1950s and the three-unit building on Fair Avenue was built in 1963. The existing main building is a potential designated historic property (PDHP) rated B+3. The rating represents a superior example. The proposed alterations to the structure will preserve the historic characteristics of the building. All existing elements such as exterior materials, footprint of buildings, and site planning will remain.

ENVIRONMENTAL DETERMINATION

The project has been determined to be exempt from environmental review under Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines as it involves in-fill development on a property smaller than 5 acres in an urbanized area and there are no exterior alterations proposed to the historic residence.

KEY ISSUES AND IMPACTS:

New Housing for Oakland: The project furthers the General Plan goals and policies in it’s creation of 29 new housing units for the City of Oakland. The units will range between 600 and 2600 square feet, providing a range of sizes and providing housing for different income levels.

Access: The project is served in part by a private access road the runs through that site from Tompkins to Fair Avenue. This access road was a subject of discussion as the Fire Prevention Bureau was concerned that they would not be able to utilize this roadway in the event of an emergency. After several conversations with representatives of that agency, the Fire Prevention Bureau recommended several modifications to the proposal that have been incorporated into the plan. A fire apparatus turnaround area is located toward the middle of the property, allowing an emergency vehicle to turnaround within the site. Finally, much of the driveway will be striped as “no parking” to avoid any potential impediments to emergency vehicles trying to access the site.

Open Space: The R-50 zone requires the project to provide 200 square feet of open space per unit, which works out to 5400 square feet. As proposed, the project would have approximately 30,000 square feet of useable open space, well exceeding the requirements. Furthermore, the open space is located all over the site in a variety of functional pieces that are accessible to all of the units.

Parking: The R-50 zone requires one parking space per residential unit, which comes to 27 spaces. The assisted living use requires a minimum of three spaces per employee during the shift with the maximum

staffing. This use has 3 employees and is required to have 1 parking space (the ratio is set at 1 space per every 3 employees). At 40 proposed spaces, the project exceeds the total requirements of 28 spaces for the site. All parking spaces are appropriately dimensioned and parking is conveniently located around the site. Most of the parking is accessed through either an existing private driveway that crosses the property or an entry driveway accessible from the corner of Tompkins Avenue and Wilkie Street. Other parking will be found in existing parking areas off of both Wilkie Street and Fair Avenue.

The applicant has labeled the parking for the various units under construction at the zoning code's set ratio of one space per unit. The applicant is proposing to add the units in stages and will build the parking associated with each unit as the unit is constructed. Several of the spaces are listed as "V" for visitor. The R-50 section of the code does not require or make provision for visitor parking and this parking will be made available to anyone, including serving as extra parking for the residents. As a condition of approval, these spaces marked as "visitor" shall not be marked as such on the actual property site.

An alternative presented to the Design Review Committee was to increase number of the parking spaces to 43. This number was accomplished by crafting a formula that looked at the number of bedrooms in a unit and set a higher requirement for larger units. Since that time, further analysis by the applicant, the neighbor's architect, and staff have shown that adding this number of parking spaces may be impossible without modifying the site plan significantly and/or removing structures. As one of the goals of the applicant is to preserve the site plan as much as possible they have worked with an architect representing the neighbors and plan to provide 40 spaces. Staff recommends approval of this parking plan for 40 spaces contained within Attachment A.

Landscaping: The site is already heavily landscaped with a large variety of trees, shrubs, and landscaping. The applicant has retained a landscape architect who has proposed a redesigned site and landscape plan (please see sheet C-2A in Attachment A) that adds 14 trees to the site, including Japanese Maples and two species of Magnolia. The site already contains approximately 42 trees of various species and sizes. Each of the trees to be planted will be 24-inch box in size. The application also proposes a wide variety of shrubs, groundcover, annuals, and vines to be planted around the site, with particular emphasis being placed around the front entrance of the main building and along the Wilkie Street elevation. Landscaping is also placed to screen outdoor parking areas that would be otherwise visible from the street. All of the shrubs proposed are a minimum of 5-gallons in size. All the proposed planting shall be maintained by an automatic irrigation system. All in all, the landscaping palette represents a great improvement over the landscaping currently in place. With the addition of automated sprinklers to the property, this should help ensure that the new plantings will continue to look attractive in the future. From the appearance of the current site, irrigation and maintenance by the applicant will be the key to the long term positive appearance of the site. Staff recommends approval of the landscaping plan with the condition that the applicant submits a final landscape plan to Zoning for review and approval before applying for a building permit. The final landscape plan shall include irrigation and planting details.

Fencing: The applicant is proposing an attractive low wall along the Fair Avenue elevation and would remove the chain link fence on that street frontage. This wall will be made out of stucco and will be painted to match the main building. The wall will incorporate three landscape pockets in the wall to soften the design.

Staff is also concerned with the fencing along the northern edge of the property, abutting neighboring residences. The plans show a wall of only 3'6", but staff feels that 6' would be more appropriate as this fence will serve as a buffer between this property and the neighboring residents. Staff recommends that the applicants shall construct a 6' tall solid fence along this elevation.

Community Assembly Activity: There have been complaints from neighbors regarding the applicants allowing their building to be used for a variety of spiritual retreats, seminars, and educational classes. The

number of people attending and the frequency of these events are in dispute. However, it is clear that such activities are classified as Community Assembly uses under the Zoning regulations. Community Assembly in the R-50 zone is a conditionally permitted use and these activities have been conducted heretofore without the benefit of a permit. This use is not covered under this request and the owners have been advised that they cannot conduct this use in the future unless they first obtain the proper zoning permits.

Design: The property owner is proposing no exterior alterations or modifications to the buildings on the project. Staff does not recommend substantial external changes as the buildings are in generally good condition and form an attractive campus-like setting. An analysis of the site shows that some buildings may need some minor external renovation, including possibly new paint or sidings on some of the units. Staff recommends a condition of approval that the applicant will repair and repaint any of the buildings as necessary prior to the issuance of a building permit. Staff recommends that the color and treatments of the buildings be redone to be complimentary to each other. Staff has advised the applicant that any other external modifications on the site will be subject to design review and will need to be compatible with the historic nature of the buildings.

Internal Modification: The project will require a good deal of internal modification as the building will be sectioned off into different units. One-Hour rated firewalls will be required inside the structure and various small bedroom units will be combined to create larger units that preserve their functionality. The applicant has worked with the City of Oakland Building Services Division prior to this meeting to create units that will meet all the relevant codes and have incorporated many changes into their project based on those meetings. The applicant will be modifying the building in stages, working on one wing of the main building at a time. A tentative timetable outlining those phases of construction is found in the plans. The parking spaces have been labeled on the plans to indicate which space goes to which unit as the applicant has pledged to build the parking spaces for the units as the units are created.

Trash Enclosures: Three trash enclosures are to be provided for on site. The main collection facility will be located inside the community off of the internal driveway and will be a walled facility 7.5' tall. Waste collection vehicles will be able to access the site via this driveway and maneuver in the turnaround that will be constructed. Other waste collection areas on Tompkins and Fair Avenue will serve the various buildings on the site.

Assisted Living Facility: The House of Psalm assisted living facility occupies what is described as building two at the northeastern edge of the site. The facility is licensed for up to 15 residents and has a maximum of 3 employees on duty on their largest shift. The applicant does not propose to modify this use or the structure in any way. The proposal will not take away from the required parking for this facility.

Signage: No information regarding any potential signage has been submitted. Any signage will require a design review permit from the Zoning Division prior to construction or installation.

CONCLUSION

Staff believes that the proposed project meets all the required standards for development and that the findings to grant the Major Conditional Use Permit can be made. By meeting all the conditions of approval, the proposal will be further enhanced. The re-use of this significant and mostly vacant parcel for residential housing will serve as a critical improvement to the neighborhood and the site itself, which contains some historic buildings. The project has been extensively re-worked since it first came before the Planning Commission and staff considers this to be an improvement. Staff finds that this proposal will compliment and enhance the use of the property and surrounding uses and recommends approval.

- RECOMMENDATIONS:**
1. Affirm staffs environmental determination
 2. Approve the Conditional Use Permit subject to the attached findings and conditions.

Prepared by:

Robert D. Merkamp
Planner II

Approved by:

GARY V. PATTON
Deputy Director of Planning and Zoning

Approved for forwarding to the
City Planning Commission:

LESLIE GOULD
Director of Planning and Zoning

ATTACHMENTS:

- A. Plans
- B. Site Photographs (color photos available at hearing)
- C. Correspondence from Property Owner July 22,2003

CM00-249/RDM



FINDINGS FOR APPROVAL:

Section **17.134.050**(General Use Permit Findings) as set forth below. All required findings are shown in normal type; explanations as to why these findings can be made are in bold type.

Section **17.134.050**, General Use Permit Findings:

1. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development. The project would convert a mostly vacant rest home complex into a **27** unit residential facility. As it's last use, the building was a **94** bedroom rest home. The project site is large, approximately **2.34** acres and will remain essentially unmodified. Thus, it's impact should be limited in scope. It will not impose any additional light, privacy, or solar access constraints on the adjacent properties than it already does. The project is bounded by three streets with parking being accessed off of each of them. Thus, the automobiles using the site will not all use the same path in getting there. The project also provides more than the minimum required number of parking spaces as required by code, reducing the on street parking demand. The site is near the **I-580** and Highway **13** interchange, providing convenient access to other city and regional destinations. Finally, were the site to be redeveloped to it's full residential potential, the applicants could conceivably construct up to **34** residential units per the general plan density. This plan serves as a good compromise, preserving the architectural character of the site while still providing new housing to Oakland.

2. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant. The project would convert a mostly vacant rest home complex into a **29** unit residential facility. The property has several buildings that will be converted into residential units spread across the grounds. The project is bounded by three streets with parking being accessed off of each of them. Thus, the automobiles using the site will not all use the same path in getting to this location.

3. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region. The proposed units provide new quality housing with adequate living accommodations, fulfilling a basic community and regional need.

4. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.070. This finding is not applicable as the applicant does not propose exterior modifications.

5. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable plan or development control map which has been adopted by the City Council. The proposal conforms to the Detached Unit Residential land use classification. The maximum allowable density for this classification is one dwelling unit for every **2,969** sq. ft. of lot area. Based on this density ratio, a **2.34** acre site could support up to **34** dwelling units, where **27** are being proposed. The project conforms to various General Plan policies including **N3.2** which seeks to encourage in-fill development and **N3.5** which seeks to encourage new housing. This project would retain and preserve a significant architectural structure that has been basically vacant for some time, allowing the project site to positively contribute to the neighborhood. It is compatible in density and the existing character of the

FINDINGS

neighborhood (furthering general plan policy N7.1) through the preservation and reuse of an existing structure.

CONDITIONS OF APPROVAL

Modifications to the Conditions of Approval as directed by the City Planning Commission at the (meeting date) meeting are indicated in underlined type for additions and ~~cross-out type~~ for deletions.

STANDARD CONDITIONS:

1. Approved Use.
 - a. ***Ongoing.***

The project shall be constructed and operated in accordance with the authorized use as described in this staff report and the plans submitted on July 22, 2003 and as amended by the following conditions. Any additional uses other than those approved with this permit, as described in the project description, will require a separate application and approval
2. Effective Date, Expiration, and Extensions
 - a. ***Ongoing.***

This permit shall become effective upon satisfactory compliance with these conditions. This permit shall expire on August 6, 2004, unless actual construction or alteration, or actual commencement of the authorized activities in the case of a permit not involving construction or alteration, has begun under necessary permits by this date. Upon written request and payment of appropriate fees, the Zoning Administrator may grant a one-year extension of this date, with additional extensions subject to approval by the City Planning Commission.
3. Scope of This Approval; Major and Minor Changes
 - a. ***Ongoing.***

The project is approved pursuant to the Planning Code only and shall comply with all other applicable codes and requirements imposed by other affected departments, including but not limited to the Building Services Division and the Fire Marshal. Minor changes to approved plans may be approved administratively by the Zoning Administrator; major changes shall be subject to review and approval by the City Planning Commission.
4. Modification of Conditions or Revocation
 - a. ***Ongoing.***

The City Planning Commission reserves the right, after notice and public hearing, to alter Conditions of Approval or revoke this Conditional Use Permit if it is found that the approved facility is violating any of the Conditions of Approval or the provisions of the Zoning Regulations.
5. Recording of Conditions of Approval
 - a. ***Prior to issuance of building permit or commencement of activity.***

The applicant shall execute and record with the Alameda County Recorder's Office a copy of these conditions of approval on a form approved by the Zoning Administrator. Proof of recordation shall be provided to the Zoning Administrator.
6. Reproduction of Conditions on Building Plans
 - a. ***Prior to issuance of building permit.***

These conditions of approval shall be reproduced on page one of any plans submitted for a building permit for this project.
7. Indemnification
 - a. ***Ongoing.***

The applicant shall defend, indemnify, and hold harmless the City of Oakland, its agents, officers, and employees from any claim, action, or proceeding (including legal costs and attorney's fees) against the City of Oakland, its agents, officers or employees to attack, set aside, void or annul, an approval

CONDITIONS OF APPROVAL

by the City of Oakland, the Office of Planning and Building, Planning Commission, or City Council. The City shall promptly notify the applicant of any claim, action or proceeding and the City shall cooperate fully in such defense. The City may elect, in its sole discretion, to participate in the defense of said claim, action, or proceeding.

STANDARD CONDITIONS FOR NEW RESIDENTIAL CONSTRUCTION:

8. Waste Reduction and Recycling

a. Prior to issuance of a building permit

The applicant may be required to complete and submit a “Waste Reduction and Recycling Plan,” and a plan to divert 50 percent of the solid waste generated by the operation of the project, to the Public Works Agency for review and approval, pursuant to City of Oakland Ordinance No. 12253. Contact the City of Oakland Environmental Services Division of Public Works at (510) 238-7073 for information.

9. Hours of Construction

a. Ongoing.

Construction shall only take place between 8:00 a.m. and 7:00 p.m., Monday through Friday. No construction shall occur on Saturdays or Sundays.

PROJECT SPECIFIC CONDITIONS:

10. Access

a. Ongoing.

The access driveway will be kept clear of vehicles and other material at all times. The roadway will be clearly marked “no parking” where ever shown on the plans.

b. Ongoing.

The fire apparatus turnaround area will be kept clear of vehicles and other material at all times. The roadway will be clearly marked “no parking” where ever shown on the plans.

11. Landscaping

a. Prior to application for a building permit.

The applicant will submit a Final Landscape Plan review and approval by the Planning Department showing additional landscaping around the buildings and parking area. Plans shall be drawn up by a certified landscape architect.

b. Ongoing.

The applicant will ensure that the landscaping shall be fully irrigated and maintained in good health at all times.

12. Screening

a. Prior to application for a building permit.

The applicant will submit for review and approval by the Planning Department plans showing a new 6’ solid fence between their property and the adjacent properties to the north and east of their site.

13. Design Review

a. Prior to issuance of a certificate of occupancy

The applicant will submit for review and approval to the Planning Department plans showing any necessary repair and/or repainting of any of the structures as needed. All repairs and repainting shall be done in such a way as to match the exterior siding and to be compatible with the historic character of the buildings.

b. Ongoing.

The applicant will be responsible for securing any necessary design review permits from the City of Oakland Zoning division prior to making any external changes to any of the buildings on the project site. Dead landscaping shall be replaced by identical types of plantings.

CONDITIONS OF APPROVAL

14. Signage

- a.** Prior to application for a building permit.

The applicant will submit for design review architectural plans showing any proposed signage including the location(s), size, colors, materials, and lighting.

15. Parking

- a.** Ongoing.

The applicant shall construct each space that is dedicated for a particular unit as that unit is built.

- b.** Ongoing.

No parking spaces shall be labeled as "visitor" parking, all parking shall be open to residents and visitors of the site.

16. Community Assembly Activities

- a.** Ongoing.

The applicant shall not conduct any classes, seminars, retreats, or allow the property to be used for such or similar purposes (defined as Community Assembly in the City of Oakland Zoning Code) unless they have secured a Conditional Use Permit from the City of Oakland zoning division prior to such an activity. The continuation of these activities without first obtaining the necessary permits will be considered grounds for the revocation of this Conditional Use Permit.

17. Waste

- a.** Ongoing.

The applicant shall maintain full access to the designated waste facilities on the property and will ensure that those areas are kept clean and that trash is not visible from the street. The capacity of the waste facilities shall be adequate to serve the number of units on the property.

18. Planning Commission Review

- a. Ongoing.**

Planning staff shall return the project to the Planning Commission within 6 months of the approval date for a review of it's status.

19. Additional Building Improvements

- a. Ongoing.**

In the course of obtaining Building Permits for the work permitted by this permit. the applicant shall bring the balance of the property up to the current building codes.

APPROVED BY: City Planning Commission: _____(date)_____ (vote)
City Council: _____(date)_____ (vote)

~~13~~
~~ORAL COUNCIL~~
~~SEP 30 2003~~

EXISTING BUILDINGS ON SITE:

FORMER BEULAH MINE'S MAIN BUILDING (NO. 1), CONSTRUCTED IN 1928 AND AN ADDED ADDITION IN 1948, AND AN ANNEX WAS ADDED IN 1958. THE MAIN BUILDING (NO. 1) AND THE ANNEX) CONTAIN A TOTAL OF 94 BEDROOMS. 18 ROOMS WITH PRIVATE BATHS LOCATED IN THE NEW ANNEX, AND THE REST LOCATED IN THE OLDER PORTION OF THE MAIN BUILDING. 36 BEDROOMS HAVE CONNECTING BATHS. 29 BEDROOMS SHARE COMMUNITY BATHS OFF THE HALLWAYS, AND THERE ARE 9 BEDROOM SUITES WITH BATHS PLUS TWO PERSONAL CARE ROOM FULLY SPRINKLERED SYSTEM

MAIN BUILDING (BUILDING NO. 1)
BUILDING TYPE: CONGREGATE RESIDENCE HOME.
ROOM COUNT: 76 BEDROOMS, 1 EXTRA LARGE KITCHEN (3 KITCHENETTES), DINING ROOM, 2 LIVING ROOMS, CHAPEL, LIBRARY, INFIRMARY, 2 OFFICES OFF ENTRY, LOBBY, THREE GARAGES, LAUNDRY, AND STORAGE ROOMS IN BASEMENT, RECREATION ROOM.

BATH/LAVATORY: 26 SATHROOH ON THE 1ST FLOOR, 24 ON THE 2ND FLOOR; THERE BATHTUBS EACH ON THE 1ST AND 2ND FLOOR. THERE ARE 23 FIXTURES, STANDARD GRADE, AND 38 SHOWERS, TILE FINISHED.

OTHER AMENITIES: 15-PASSENGER ELEVATOR, 2500 POUND CAPACITY HYDRAULIC PLUNGER, AUTOMATIC DOORS, THREE STOPS, BUILDING IS ENTIRELY SPRINKLERED FOR FIRE PROTECTION. INSTITUTIONAL KITCHEN WITH VINYL TILE FLOOR, A DISHWASHING SECTION WITH STAINLESS STEEL DRAIN BOARDS, WOOD CUPBOARDS ABOVE, LARGE KITCHEN AREA FOR THREE GAS FIRED WOLF RANGES, AND BLDGGET OVENS WITH STAINLESS STEEL, EXHAUST FAN, DUCTS, AND EXHAUST HOODS, SEPARATE STAFF LUNCHROOM EMPLOYEES LOCKER ROOM IN OFFICE.

THERE ARE 7 COTTAGES. BUILDINGS NO. 1,2,3,4,5,6,17. NO. 12 & 3 WERE BUILT IN 1954 OR 1955, AND AN ADDITION ADDED TO NO. 1 IN 1980. COTTAGES NO. 4,5,6 & 7 WERE BUILT OVER TWO YEARS IN 1930'S. THE LODGE, OR BUILDING NO. 3 WAS BUILT IN 1963. AS WAS THE GILBERT HOUSE (BUILDING NO. 2).

SITE DESCRIPTION:

THE SUBJECT PROPERTY IS SLIGHTLY IRREGULAR, BASICALLY TRAPEZOIDAL IN SHAPE FRONTING TOMPKINS AVENUE 301', WILKIE AVENUE 379.07' AND FAIR AVENUE 419'. IT CONTAINS 2.34 ACRES OR 101,930 SQUARE FEET.

LOT SIZE: APPROXIMATELY 2.34 ACRES OR 101,930 SQUARE FEET.

ASSESSOR'S PARCEL NUMBER, 37-2544-17-1

ZONING: R-50 MEDIUM DENSITY RESIDENTIAL DISTRICT

LOCATION, 4690 TOMPKINS AVENUE, OAKLAND. LOCATED ABOVE INTERSTATE 580 NEAR THE CONFLUENCE OF HIGHTWAYS 580 AND 13 (WARREN FREEWAY).

WORK UNDER SEPARATE PERMITS

BUILDING CODES:

CBC 2001 EDITION

UPC 2001 EDITION

UMC 2001 EDITION

NEC 2001 EDITION

ALL APPLICABLE LOCAL

AND STATE REGULATIONS

THIS IS A DESIGN-BUILT PROJECT. THE FOLLOWING IS A LIST OF WORK UNDER SEPARATE PERMITS

- * MECHANICAL
- * ELECTRICAL
- * PLUMBING
- * SPRINKLER
- * ELEVATOR

BUILDING INFORMATION

PROPOSED RESIDENTIAL UNITS
TOMPKINS GARDEN (APARTMENTS)
BUILDING #1
WEST WING - 6 UNITS
CENTRAL WING - 3 UNITS
SOUTHWEST WING - 1 UNITS
SOUTHEAST WING - 3 UNITS
ANNEX - 3 UNITS
TOTAL 16 UNITS (PROPOSED)

HOUSE OF PSALM EXISTING
SENIOR ASSISTED LIVING FACILITY
4648 TOMPKINS AVE - BUILDING #2
NO CHANGE

PROPOSED RESIDENTIAL UNITS
4701 FAIR AVE. - BUILDING #3
TOTAL - 2 UNITS (PROPOSED)

EXISTING COTTAGES: NO CHANGE

COTTAGE # 1A/1B 1259 SF
1 BED/1 BA (1A) 1 BED/1 BA (1B)
COTTAGE #2 617 SF
1 BED/ 1 BA
COTTAGE #3 617 SF
1 BED/ 1 BA
COTTAGE #4 562 SF
1 BED/ 1 BA
COTTAGE #5 1,091 SF
1 BED/SUN RM/BATH/2 CAR
COTTAGE #6 562 SF
1 BED/ 1 BA
COTTAGE #7 1,262 SF
3 BED/SUN RM/1 BA

TOTAL - 8 UNITS (EXISTING)

TOTAL 8 UNITS (EXISTING)

TOTAL 19 UNITS (PROPOSED)

TOTAL 27 RESIDENTIAL UNITS
(PROPOSED AND EXISTING UNITS)

SEE SHEET C-6 FOR ADDITIONAL
BUILDING INFORMATION

TITLE SHEET

SHT. NO.	DESCRIPTIONS
T-1	COVER/TITLE SHEET
T-2	VICINITY MAP
T-3	UTILITY LEGEND, HANDICAPPED DETAILS AND NOTES
C-1	EXISTING SITE PLAN
C-2	EXISTING LANDSCAPE SITE PLAN
C-2A	PROPOSED LANDSCAPE SITE PLW
C-3	PROPOSED SITE PLAN
C-4	PROPOSED ACCESS AND PARKING (SITE) PLAN
C-5	PHOTOGRAPH VIEW PLAN
C-6	PROPOSED BUILDING DATA AND GENERAL NOTES
A-1	EXISTING PLAN- BUILDING XI BASEMENT FLR. PL.
A-2	EXISTING PLAN- BUILDING XI FIRST FLR. PL.
A-3	EXISTING PLAN- BUILDING #1 SECOND FLR. PL.
A-4	EXISTING PLAN- BUILDING #1 ANNEX WING FLR. PL.
A-5	EXISTING PLAN- BUILDING 02 (4648 TOMPKINS AVENUE)
A-6	EXISTING PLAN- BUILDING #3 (4701 FAIR AVE.) GROUND FLOOR PLAN
A-7	EXISTING PLAN- BUILDING #3 (4701 FAIR AVE.) BASEMENT FLOOR PL.
A-8	EXISTING PLANS- COTTAGES 1A & 1B, 2, 3, 4, 5, 6, & 7
A-9	PROPOSED PLAN- BLDG #1 BASEMENT FLR. PL.
A-10	PROPOSED PLAN- BLDG #1 FIRST FLR. PL.
A-11	PROPOSED PLAN- BLDG XI SECOND FLR. PL.
A-12	PROPOSED PLAN- BLOG #1 ANNEX WING 3RD FLOOR PLAN
A-13	PROPOSED PLAN- BUILDING #3 (4701 FAIR AVE.) GROUND FLR. PL.
A-14	PROPOSED PLAN- BUILDING #3 (4701 FAIR AVE.) BASEMENT FLR. PL.

BUILDING NO. 1	BUILDING NO. 2	BUILDING NO. 3
TOMPKINS GARDEN (APARTMENTS) FULLY SPRINKLER BUILDING 4678 TOMPKINS AVE. -WEST WING 4690 TOMPKINS AVE. - CENTRAL WING 4724 WILKIE ST. - SOUTHWEST WING 4728 WILKIE ST. -SOUTHEAST WING 4736 WILKIE ST. -ANNEX	HOUSE OF PSALM EXISTING SENIOR ASSISTED LIVING FACILITY 4648 TOMPKINS AVE - BUILDING #2 FULLY SPRINKLER BUILDING	4701 FAIR AVE. - BUILDING #3 FULLY SPRINKLER BUILDING

SPRINKLER NOTE

1. THIS BUILDING HAS EXISTING SPRINKLER SYSTEM, STANDPIPE & CONTROLS MODIFICATIONS OF SPRINKLERS WILL BE UNDER A SEPARATE PERMIT WITH SPRINKLER LAYOUT, SPECS. PLANS & FEES SUBMIT TO OAKLAND FIRE DEPT. - PRIOR TO INSTALLATION.
2. IF EXISTING FIRE SPRINKLER SYSTEM IS TO BE MODIFY. SPRINKLER CONTRACTOR SHALL PREPARE A REVISED SPRINKLER HEAD LAYOUT AS PER THE NEW FLOOR PLAN. CONTRACTOR SHALL SUBMIT DRAWING FOR BUILDING DEPT. APPROVAL AND TAKE OUT PERMITS NECESSARY, INCREASE MAIN SIZING FOR HEAD VOLUME. INSTALL DRY HEADS INSIDE EACH OF THE THE WALK IN BOXES, RUN PIPING ABOVE CEILING AND PROVIDE ALL NECESSARY HEADS, TRIM PIECES, PIPING, FITTINGS, VALVES, CONNECTIONS; TESTING FITTINGS, DRAINS, ETC. FOR A COMPLETE SYSTEM.

RECEIVED
JUN 10 2003

CITY PLANNING COMMISSION
ZONING DIVISION

COVER/TITLE SHEET (1/1)

ATTACHMENT C

AMPEAK DESIGN CONSTRUCTION CO.
 8255 SKYLINE BOULEVARD, Oakland, California 94611
 (510) 339-3233

DRAWINGS FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4690 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482-6230

NO.	DESCRIPTION	DATE

TITLE: COVER SHEET/DAT.
DESIGNER: WILSON NG
CONTRACTOR:

MATERIAL:
DRAWN BY: WJN
CHECKED: JWB
DATE: 3/3/03
JOB #:

SCALE: AS NOTED
SHEET NO. T-1

LEGEND-TYPICAL

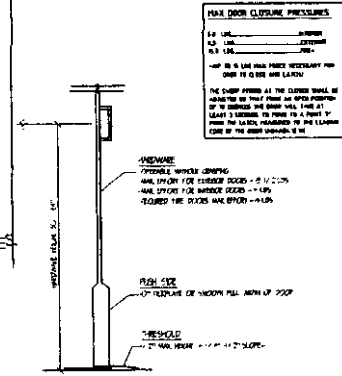
- NEW WALL - ONE HR. RATED 2X4 SNO. @ 16" O.C. WITH 5/8" SHEETROCK
- LIGHT FIXTURE
- DUPLEX O M
- LIGHT SWITCH
- CABLE/PHONE
- EXHAUST FAN/LIGHT/HEAT (FLOURESCENT LIGHT UNIT)
- ILLUMINATED EXIT SIGN W/ EMERGENCY LICITS
- EMERGENCY LIGHTS W/ BATTERY BACKUP
- HEAT REGISTER
- SMOKE DETECTOR (HARDWARE) W/ BATTERY BACK UP
- SKYLIGHT
- HOSE BIBB
- GAS SUPPLY UNE
- HOT WATER SUPPLY UNE
- COLD WATER SUPPLY LINE

UTILITY LEGEND 1/13

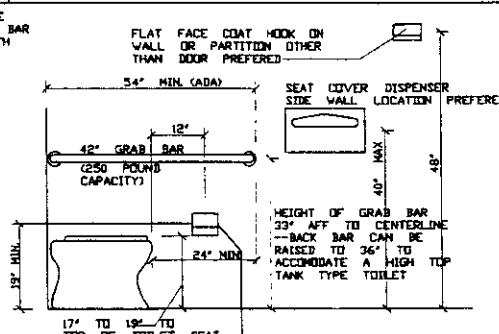
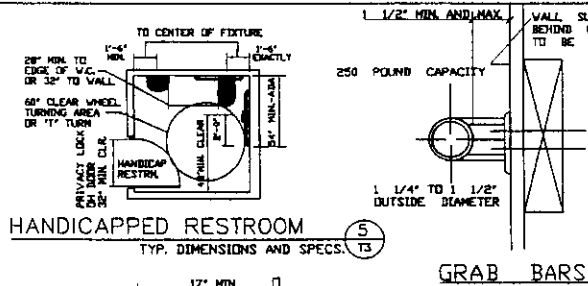
UTILITY NOTES:

7. SHOWER AND TUB-SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE VALVE
2. SHOWER HEADS SHAU NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.5 GAL PER MINUTE
- 3 MIN. 34"x34" SHOWER STALLS WITH 1024 SQ. IN. AND 30" OIA. CIRCLE TO BE PROVIDED AT BATHROOMS.
4. BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMPERE BRANCH CIRCUIT
5. PROHDE ONE FLOURESCENT LIGHT FIXNRE OF 40 LUMENS PER WATT OR GREATER FOR BATHROOMS. SWITCH TO BE AT THE ENTRANCE TO M/E BATHROOM. FLOURESCENT LIGHT AT KITMM.
6. A U NEW INSTALLED WINDOWS: TO BE DOUBLE PANE, VINYLE INSULATED WITH MIN. U-VALUE OF R.0.75
7. EXTERIOR LIGHTS AND HOUSE LIGHTS TO BE ON SEPARATE PANEL OR TIMED SWITCH OR MOTION DETECTED LIGHTS AND WEATHERPROOF
8. NEW 125 AMP ELECTRICAL SUB PANEL LOCATION AS SHOWN ON PLAN
9. ALL EXHAUST FAN AND DUCTWORK VENT PER CODE. ● O BATH FAN, 6" O KITCHEN EXHAUST FAN
10. GFI AT KITCHEN TO BE DEDICATED 20 AMPERE BRANCH CIRCUIT AS REQ. FOR APPLANCES GFI OUTLETS AT KITCHEN COUNTERTOPS
11. SUPPLY & INSTALL NEW TILE ENCLOSURE AT SHOWER STALL-70 IN. ABOM DRAIN INLET AND NEW TEMPERED GLASS SHOWER DOOR PER CODE, TYP. O SHOVERS
12. PRDHDE 1.6 GAL PER TANK PER WATER RUSH TOILET

UTILITY NOTES 2/13

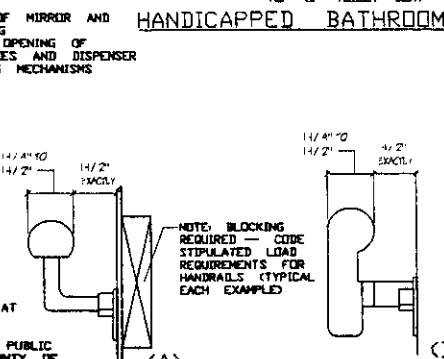
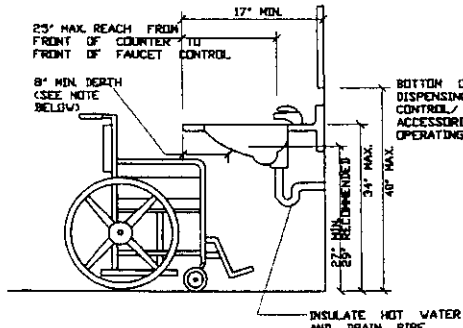


SECTION @ DOOR THRESHOLD 4/13
1/4" = 1'-0" HANDICAPPED



HANDICAPPED NOTE: ADA ACCESSIBILITY - COMPLY WITH CBC SECTION 1133B

1. CCR TITLE 24 SEC.3105A(e)8. ENTRANCE SIGNS -ALL BUILDING ENTRANCES ACCESSIBLE TO AND USABLE BY PERSONS W/ DISABILITIES SHALL BE IDENTIFIED W/ AT LEAST (1) STD. SIGN & W/ DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG PEDESTRIAN WAYS
2. HANDICAP. ACCESSIBILITY REQ. ENTRANCE SEC. 3304F DOOR SIZE:
3'-0" DOOR WIDTH
6'8" DOOR HEIGHT
32" CLEAR WIDTH
24" DOOR LATCH CLEARANCE (EXT)
18" DOOR LATCH CLEARANCE (INT)
3. COMPLY TO CBC SECTION 1115B BATHING AND TOILET FACILITIES FOR HANDICAPPED
- SEC. 3304(1.2) TYPE OF HARDWARE
MAX. EFFORT (EXT) 8.5 LBS.
MAX. EFFORT (INT) 5 LBS.
REQ. FIRE DOORS MAX. EFFORT 15 LBS. SEC. 3304(1.3)
10" KICKPLATE OR SMOOTH FULL WIDTH OF DOORS
4" FOR SOLID GLASS DOORS
- SEC. 3304I
1/2" MAX. THRESHOLD
1/4" /FT. MAX. SLOPE



- ADDITIONAL HANDICAP NOTES
1. FOR ALL REQUIRED CURB RAMPS AT FRONT OF ACCESSIBLE PARKING SPACES, THE MAXIMUM SLOPE IS 1:10 ON FLARED OR FANNED SIDES. THE SLOPE SHOULD NOT EXCEED A 2 INCH IN ANY DIRECTION.
 2. REFLECTORIZED PARKING SPACE IDENTIFICATION SIGNS ARE TO PERMANENTLY POSTED AT EACH ACCESSIBLE PARKING SPACE, 70-sq.in. IN AREA, MOUNTED 80" ABOVE PAVING 'VAN ACCESSIBLE' SIGNS TO BE POSTED AT APPROPRIATE PARKING SPACES.
 3. THE MAXIMUM PERMITTED SLOPE FOR ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION.
 4. AN INTERNATIONAL SYMBOL OF ACCESSIBILITY IS TO BE PLACED ON OR ADJACENT TO THE BUILDING ENTRANCE AT THE BOTH THE FRONT AND BACK OF THE BUILDING.
 5. ALL PARKING SPACES ARE TO BE EQUIPED WITH CURBS TO PREVENT INTERFERENCE WITH THE REQUIRED 48" WALKWAY. SEE UBC CODE 1129B.4.3
 6. ALL GLAZED DOORS TO HAVE 10" KICKPLATE AT BOTTOM. SEE DETAIL.
 7. (1) 1/4" THICK 12" MEN'S AND WOMEN'S GEOMETRIC SIGNS 60" ABOVE FLOOR ON RESTROOM ENTRANCE DOORS) AND (2) RAISED LETTER/BRILLE SIGNS ON LATCH-OUTSIDE OF RESTROOM ENTRANCE DOORS MOUNTED ON THE WALL, 60" ABOVE THE FLOOR, ALLOWING APPROACH TO WITHIN 3".
 8. 42" LONG-SIDE AND 36" LONG REAR-GRAB BARS AT 33" ABOVE THE FLOOR.
 9. TOP(S) OF ACCESSIBLE TOILETS ARE 17" TO 19" ABOVE THE FLOOR.
 10. ACCESSIBLE TOILET SIDE CLEARANCE OF 28" TO A FIXTURE OR 32" TO WALL.
 11. ACCESSIBLE TOILET IS CENTERED 18" FROM SIDEWALL.
 12. MIRRORS HAVE BOTTOM EDGE NO HIGHER THAN 40" ABOVE THE FLOOR.
 13. SWITCHES/CONTROLS/THERMOSTATS, ETC. ARE INSTALLED NOT MORE THAN THE MAXIMUM 48" ABOVE THE FLOOR.
 14. RECEPTACLE OUTLETS ARE INSTALLED AT LEAST 15" ABOVE THE FLOOR.
 15. PROVIDE STAIRWAY IDENTIFICATION SIGN AT BOTH TOP AND BOTTOM OF STAIR (FIRST FLOOR, SECOND FLOOR), PRESENTED USING ARABIC NUMERALS AND RAISED/BRILLE SYMBOLS. SIGNS ARE TO BE 5FT ABOVE THE FLOOR/LANDING IMMEDIATELY ADJACENT TO STAIR.

NOTE: 29" MIN. AFF TOO UNDERSIDE AT FRONT, 8" MIN. DEPTH AT 27" MIN. AFF (29" MIN. AFF RECOMMENDED) - SINCE FIXTURES WHICH MEET THE RECOMMENDED REQUIREMENT ARE READILY AVAILABLE, THIS CLEARANCE WILL BE REGULATED FOR ALL PUBLIC PROJECTS UNDER THE JURISDICTION OF THE CITY AND COUNTY OF ALAMEDA/OAKLAND

LAVATORIES

[SEC. 1115B.9.1] [PART 5 PLUMB. SEC. 1504.2]

HANDICAPPED DETAILS

TYP. DIMENSIONS AND SPECS. 6/13

HANDICAPPED NOTES 7/13

AMPEAK DESIGN CONSTRUCTION CO.

DRAWINGS FOR APARTMENTS

9255 SKYLINE BOULEVARD, Oakland, California 94811
(510) 399-3233

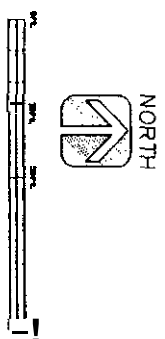
4680 TOMPKINS STREET OAKLAND, CALIFORNIA
(510) 482.8230

REVISIONS		
NO.	DESCRIPTION	DATE

TITLE: GENERAL NOTES
DESIGNER: WILSON NG
CONTRACTOR:

DRAWN BY	DATE
WJN	1/20/03
CHECKED	JOB #

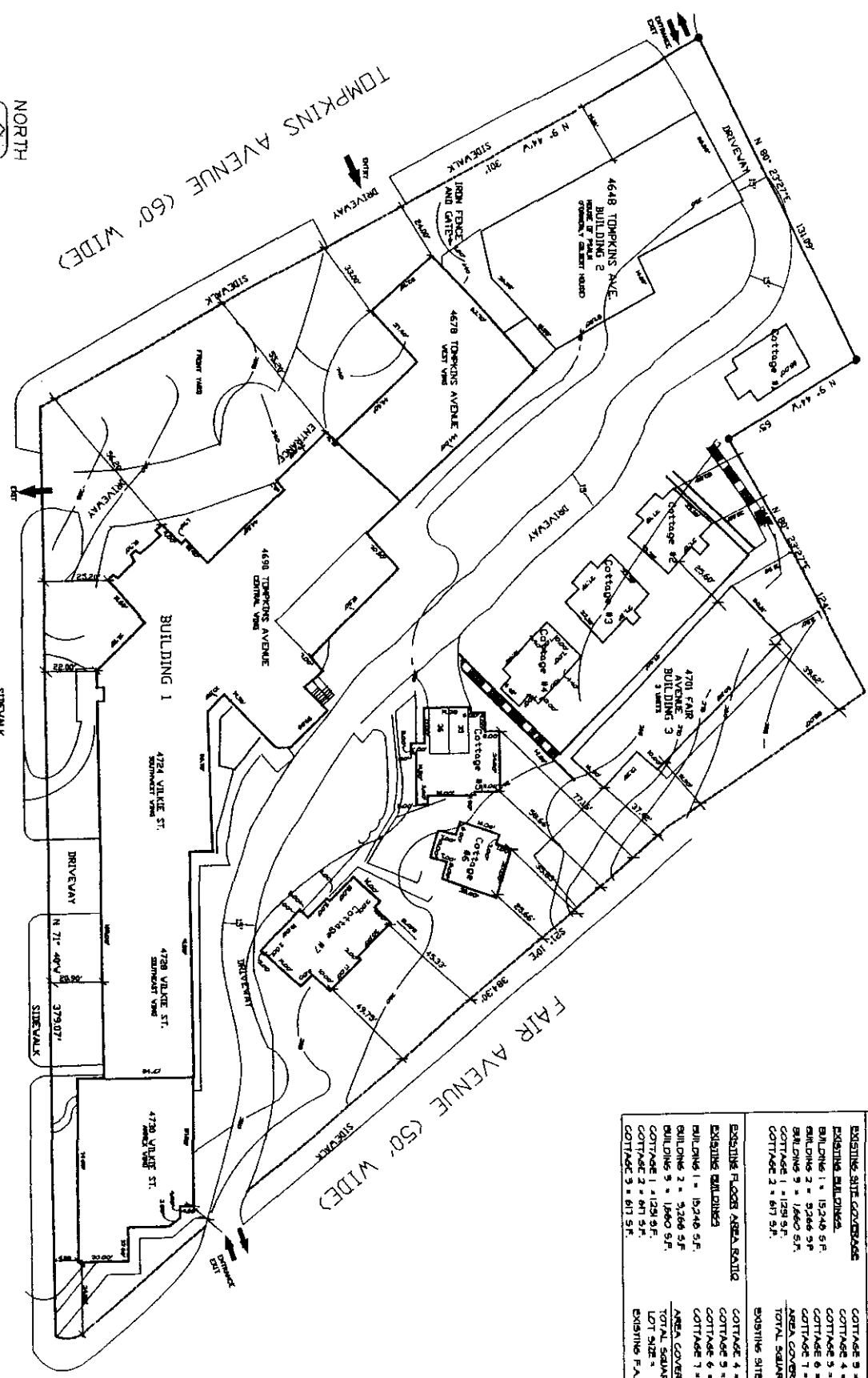
SCALE: AS NOTED
SHEET NO. T-3



EXISTING SITE PLAN

1
CI

WILKIE STREET (40' WIDE)



SHEET NOTES

EXISTING SITE COVERAGE	
EXISTING BUILDINGS	
BUILDING 1 = 15,246 S.F.	
BUILDING 2 = 3,266 S.F.	
BUILDING 3 = 1,261 S.F.	
BUILDING 4 = 2,623 S.F.	
BUILDING 5 = 1,091 S.F.	
BUILDING 6 = 2,623 S.F.	
BUILDING 7 = 1,282 S.F.	
BUILDING 8 = 1,261 S.F.	
BUILDING 9 = 1,261 S.F.	
TOTAL SQUARE FT. = 38,126 S.F.	
COTTAGE 1 = 1,261 S.F.	
COTTAGE 2 = 617 S.F.	
COTTAGE 3 = 617 S.F.	
COTTAGE 4 = 617 S.F.	
COTTAGE 5 = 617 S.F.	
COTTAGE 6 = 617 S.F.	
COTTAGE 7 = 617 S.F.	
COTTAGE 8 = 617 S.F.	
COTTAGE 9 = 617 S.F.	
TOTAL SQUARE FT. = 5,484 S.F.	
TOTAL SQUARE FT. = 43,610 S.F.	
LOT SIZE = [0.11905 AC.]	
EXISTING P.A.R. = .34	

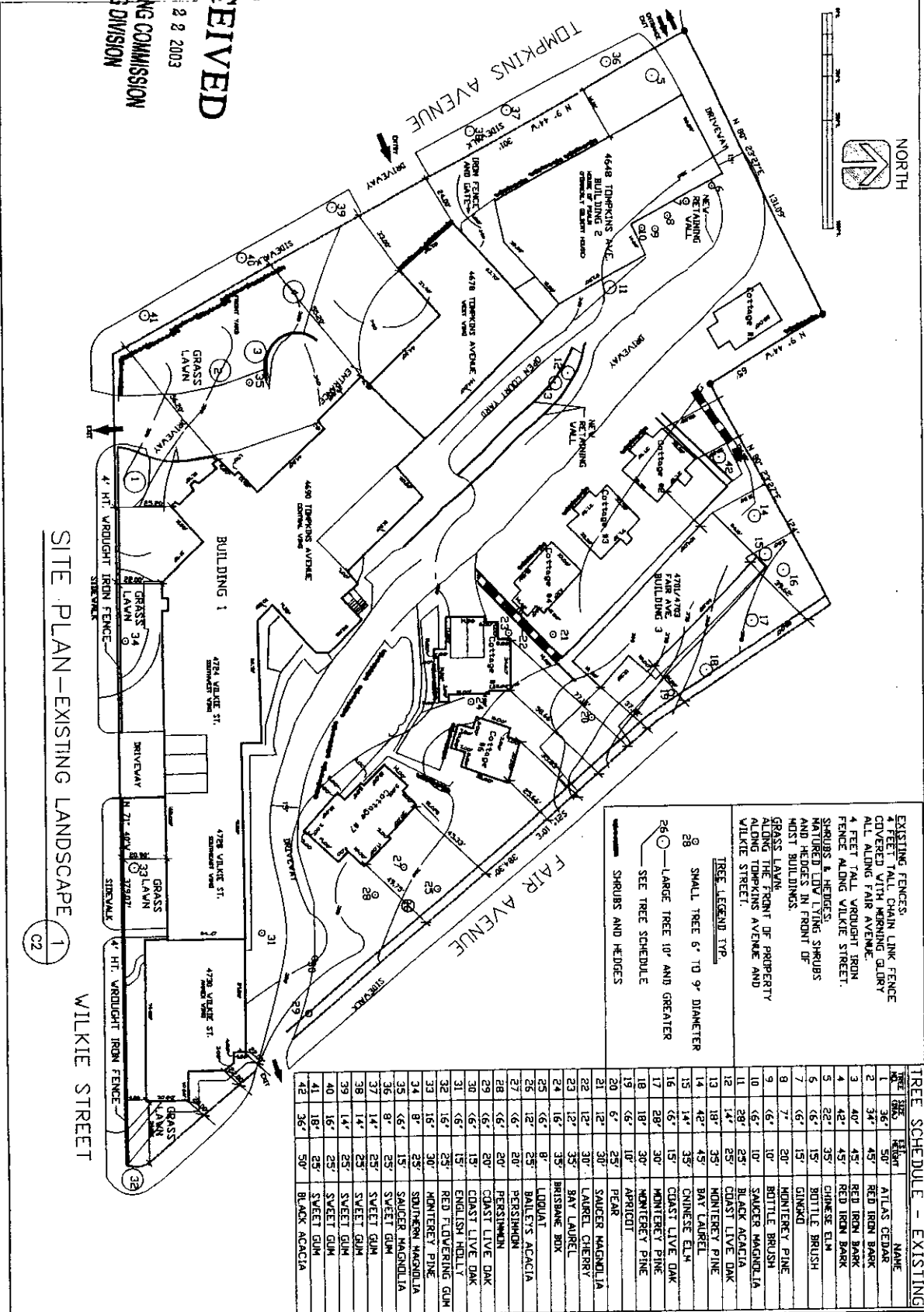
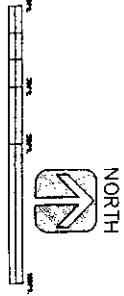
DRAWINGS FOR
TOMPKINS GARDEN
[APARTMENTS]
 4890 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION CO.

8255 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233

REVISIONS	
NO.	DATE
1	5/23/03
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RECEIVED
 JUL 2 2 2003
 CITY PLANNING COMMISSION
 ZONING DIVISION



SITE PLAN - EXISTING LANDSCAPE 1

- EXISTING FENCES:**
 4 FEET TALL CHAIN LINK FENCE COVERED WITH MERRING GLORY ALL ALONG FAIR AVENUE.
 4 FEET TALL WROUGHT IRON FENCE ALONG WILKIE STREET.
 SHRUBS & HEDGES, NATURED UP LAYING SHRUBS AND HEDGES IN FRONT OF MOST BUILDINGS.
 GRASS LAWN ALONG THE FRONT OF PROPERTY ALONG TOMPKINS AVENUE AND WILKIE STREET.
- TREE LEGEND TYP.**
 28 SMALL TREE 6' TO 9' DIAMETER
 26 () LARGE TREE 10' AND GREATER
 SEE TREE SCHEDULE
 SHRUBS AND HEDGES

TREE NO.	HEIGHT	NAME
1	36'	ATLAS CEDAR
2	34'	RED IRON BARK
3	40'	RED IRON BARK
4	42'	RED IRON BARK
5	42'	CHINESE ELM
6	66'	BOTTLE BRUSH
7	64'	SHRUB
8	77'	MONTEREY PINE
9	64'	BOTTLE BRUSH
10	64'	SAUGER MAGNOLIA
11	28'	BLACK ACACIA
12	14'	COAST LIVE OAK
13	18'	MONTEREY PINE
14	42'	BAY LAUREL
15	14'	CHINESE ELM
16	66'	COAST LIVE OAK
17	28'	MONTEREY PINE
18	18'	MONTEREY PINE
19	66'	APRICOT
20	64'	PEAR
21	12'	SAUGER MAGNOLIA
22	12'	LARREL CHERRY
23	12'	BAY LAUREL
24	16'	BRISBANE BOX
25	12'	LOQUAT
26	12'	BAILEY'S ACACIA
27	16'	PERSTIMMON
28	16'	COAST LIVE OAK
29	16'	COAST LIVE OAK
30	16'	ENGLISH HOLLY
31	16'	ENGLISH HOLLY
32	16'	RED FLOWERING GUM
33	16'	MONTEREY PINE
34	8'	SOUTHERN MAGNOLIA
35	66'	SAUGER MAGNOLIA
36	9'	SWEET GUM
37	14'	SWEET GUM
38	14'	SWEET GUM
39	14'	SWEET GUM
40	16'	SWEET GUM
41	18'	SWEET GUM
42	36'	BLACK ACACIA

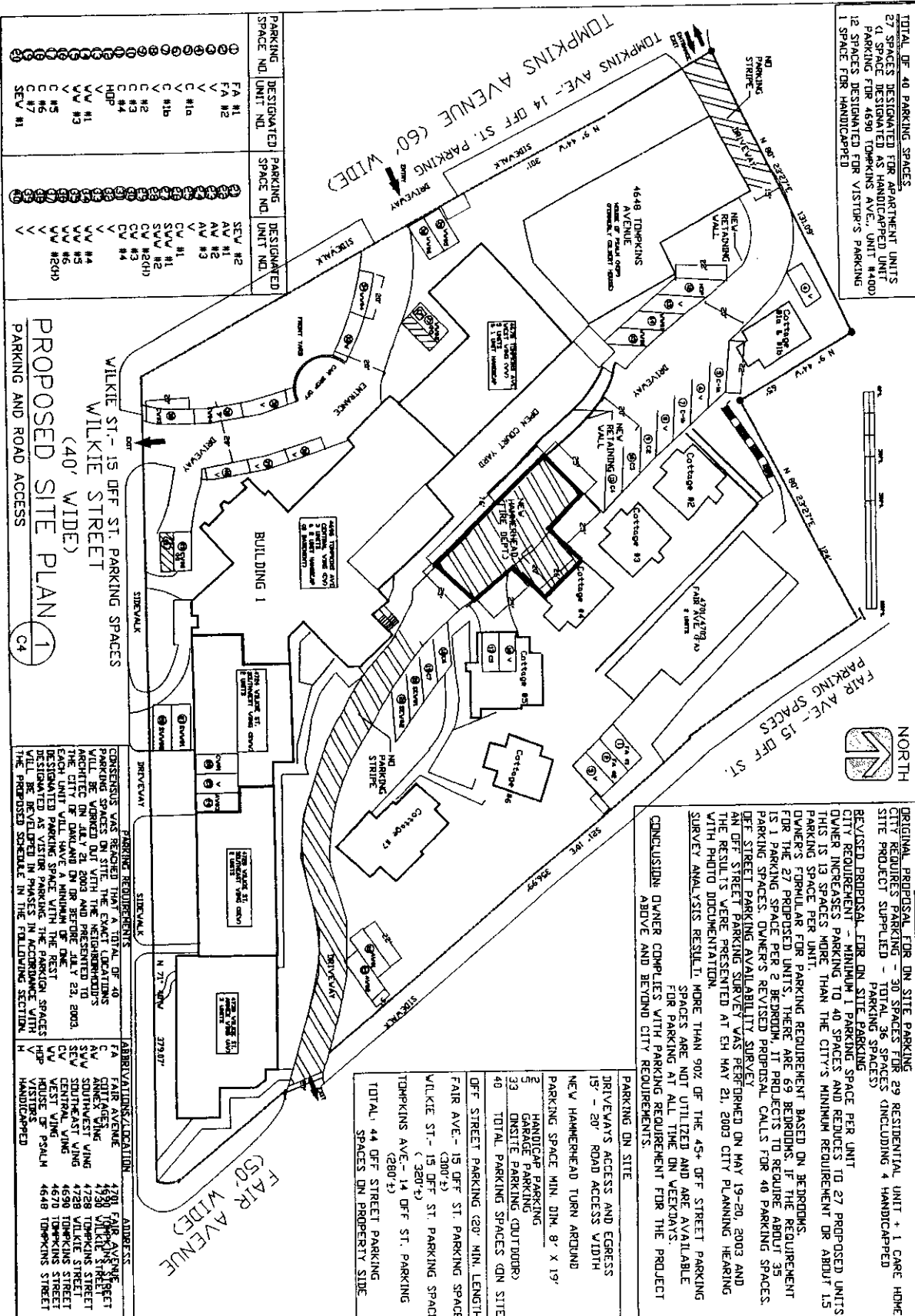
DRAWINGS FOR
 TOMPKINS GARDEN [APARTMENTS]
 4890 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION CO.
 8256 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION	6/9/03
2	REVISION	7/21/03

TITLE: EXISTING SITE PL.
 DESIGNER: WILSON NG
 DATE: 5/23/03
 SHEET NO.: C-2



TOTAL OF 40 PARKING SPACES
 27 SPACES DESIGNATED FOR APARTMENT UNITS
 12 SPACES DESIGNATED AS HANDICAPPED UNITS
 12 SPACES DESIGNATED FOR VISITOR'S PARKING
 1 SPACE FOR HANDICAPPED

PARKING SPACE NO.	DESIGNATED UNIT NO.	DESIGNATED UNIT NO.
1	FA #1	AV #1
2	FA #2	AV #2
3	V	AV #3
4	C #1a	CV #1
5	C #1b	CV #2
6	C #2	CV #3
7	C #3	CV #4
8	C #4	CV #5
9	C #5	CV #6
10	C #6	CV #7
11	C #7	CV #8
12	SEV #1	CV #9

PROPOSED SITE PLAN 1
 (40' WIDE)
 WILKIE STREET
 WILKIE ST - 15 OFF ST. PARKING SPACES
 FAIR AVENUE
 FAIR AVENUE - 15 OFF ST. PARKING SPACES

ABREVIATIONS/LOCATION	ADDRESS
FA	FAIR AVENUE
AV	ADAMS AVENUE
CV	CENTRAL VING
SEV	SOUTH-EAST VING
HP	HANDICAPPED

PARKING REQUIREMENTS ANALYSIS
 ORIGINAL PROPOSAL FOR ON SITE PARKING CITY REQUIRES PARKING - TOTAL 36 SPACES (INCLUDING 4 HANDICAPPED SPACES)
 REVISED PROPOSAL FOR ON SITE PARKING CITY REQUIREMENT - MINIMUM 1 PARKING SPACE PER UNIT
 DIVER INCREASES PARKING TO 40 SPACES AND REDUCES TO 27 PROPOSED UNITS, THIS IS 13 SPACES MORE THAN THE CITY'S MINIMUM REQUIREMENT OR ABOUT 15 PARKING SPACE PER UNIT.
 DIVER'S FORMAL FOR PARKING REQUIREMENT BASED ON BEDROOMS. IF THE REQUIREMENT FOR THE 27 PROPOSED UNITS, THERE ARE 69 BEDROOMS. IF THE REQUIREMENT IS 1 PARKING SPACE PER 2 BEDROOM, IT PROJECTS TO REQUIRE ABOUT 35 PARKING SPACES. DIVER'S REVISED PROPOSAL CALLS FOR 40 PARKING SPACES.
 AN OFF STREET PARKING SURVEY WAS PERFORMED ON MAY 19-20, 2003 AND THE RESULT IS WERE PRESENTED AT CH MAY 21, 2003 CITY PLANNING HEARING WITH PHOTO DOCUMENTATION.
 SURVEY ANALYSIS RESULT: MORE THAN 90% OF THE 45+ OFF STREET PARKING SPACES ARE NOT UTILIZED AND ARE AVAILABLE FOR PARKING AT ALL THE ON WEEKDAYS.
 CONCLUSION: DIVER COMPLETES WITH PARKING REQUIREMENT FOR THE PROJECT ABOVE AND BEYOND CITY REQUIREMENTS.

PARKING ON SITE	DRIVEWAYS ACCESS AND EGRESS
2	19' - 20' ROAD ACCESS WIDTH
3	NEW HAMMERHEAD TURN AROUND
3	PARKING SPACE MIN. DIM. 8' X 19'
2	HANDICAP PARKING
2	DENSE PARKING (OUTDOOR)
40	TOTAL PARKING SPACES (ON SITE)
2	OFF STREET PARKING (20' MIN. LENGTH)
4	FAIR AVE. - 15 OFF ST. PARKING SPACES (300' X 3)
2	WILKIE ST. - 15 OFF ST. PARKING SPACES (320' X 3)
1	TOMPKINS AVE. - 14 OFF ST. PARKING SPACES (280' X 3)
1	TOTAL 44 OFF STREET PARKING SPACES ON PROPERTY SIDE

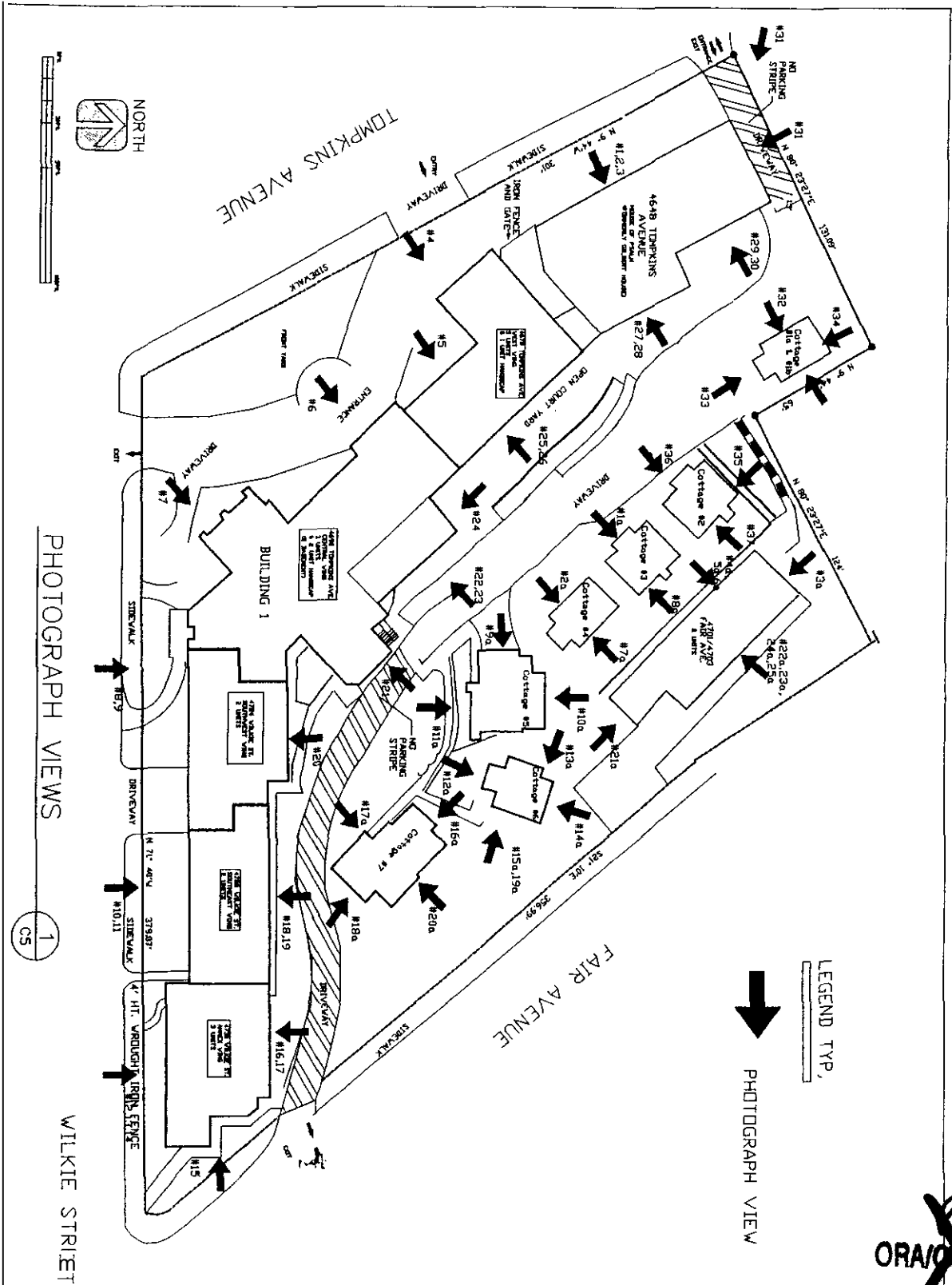
CONSENSUS WAS REACHED THAT A TOTAL OF 40 PARKING SPACES ON SITE, THE EXACT LOCATIONS WILL BE WORKED OUT WITH THE NEIGHBORHOOD ARCHITECT ON JULY 21, 2003 AND THE CITY ARCHITECT ON JULY 22, 2003. EACH UNIT WILL HAVE A MINIMUM OF ONE DESIGNATED PARKING SPACE WITH THE REST DESIGNATED AS VISITOR PARKING IN ACCORDANCE WITH THE PERMITTED SCHEDULE IN THE FOLLOWING SECTION.

REVISIONS	DATE
1	5/29/03
2	7/21/03

TITLE: ACCESS & PARKING CONSTRUCTION
 DATE: 5/29/03
 SCALE: AS NOTED
 SHEET NO. C-4

DRAWINGS FOR
 TOMPKINS GARDEN
 (APARTMENTS)
 4890 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION CO.
 8255 SKYLINE BOULEVARD, Oakland, California 94611
 (510) 339-3233



PHOTOGRAPH VIEWS

1
CS

LEGEND TYP.
 ↓
 PHOTOGRAPH VIEW

~~31~~
 ORA/COUNCIL
 SF 8 0 903

REVISIONS	
NO.	DESCRIPTION
1	REVISIONS
2	REVISIONS

DRAWINGS FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4690 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION

8255 SKYLINE BOULEVARD; Oakland, California
 (510) 339-3233

DATE: 5/29/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS NOTED

BUILDING NO. 1

4678 TOMPKINS AVE. - WEST WING
(6 UNITS- 3 UNITS(ABC) 1ST FL. & 3 UNITS (ABC) 2ND FL.)

FIRST FLOOR	BEDROOMS	BATHS	SQ. FT.
UNIT 1A UNIT 1B (HANDICAPPED) UNIT 1C	3	2	1,460
SECOND FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 2A	3	1	1,000
UNIT 2B	1	1	630
UNIT 2C	3	2	1,300

4690 TOMPKINS AVE. - CENTRAL WING
(4 UNITS- A, B, C, AND OVNL'R'S UNIT)

BASEMENT FLOOR	BEDROOMS	BATHS	SQ. FT.
UNIT B1 (HANDICAP)	1	1	750
UNIT B2 (HANDICAP)	1	1	820
FIRST FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 1A	2	1	1,100
SECOND FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 2A	3	2	1,441
OWNER'S UNIT,	BEDROOMS	BATHS	SQ. FT.
UNIT(1ST/2ND FL.)	7	6	11,630

4724 WILKIE ST. - SOUTHWEST WING
(3 UNITS)
(1 UNIT BASEMENT & RECREATION RM, 1 UNIT FIRST FL. & 1 UNIT 2ND FL.)

RECREATION ROOM	710		
FIRST FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 1A	4	3	3,600
SECOND FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 2A	4	3	2,100

4728 WILKIE ST. - SOUTHEAST WING
(2 UNITS: 1 UNIT FIRST FL. & 1 UNIT 2ND FL.)

FIRST FLOOR:	BEDROOMS	BATHS	SQ. FT.
UNIT 1A	4	3	1,900
SECOND FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 2A	3	3	1,900

4730 WILKIE ST. - ANNEX
(3 UNITS: 1 UNIT FIRST FL., 1 UNIT 2ND FL. & 1 UNIT 3RD FL.)

FIRST FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 1A	1	1	650
SECOND FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 2A	4	5	2,600
THIRD FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 3A	4	5	2,600

TOTAL OF PROPOSED UNITS
TOMPKINS GARDEN (APARTMENTS)

UNITS	BEDROOMS	BATHS	SQ. FT.
2	6	5	2,738

BUILDING NO. 2

BUILDING NO. 2 - HOUSE OF PSALM
4648 TOMPKINS AVE.

FIRST FLOOR,	EXISTING SENIOR ASSISTED LIVING FACILITY (NO CHANGE)
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BUILDING NO. 3

BUILDING NO. 3 (FORMERLY 'THE LODGE')
AVENUE - 2 UNITS

FIRST FLOOR,	BEDROOMS	BATHS	SQ. FT.
UNIT 1A	3	2	1,440
UNIT 1B	3	3	1,298
TOTAL OF PROPOSED UNITS 4701 FAIR AVENUE			
UNITS	BEDROOMS	BATHS	SQ. FT.
2	6	5	2,738

BUILDING INFORMATION (1)

GENERAL NOTES

- ALL DESIGNS AND MATERIALS SHALL BE IN ACCORDANCE WITH 2001 CALIFORNIA BUILDING CODE, 2001 NATIONAL ELECTRICAL CODE, 2001 THE UNIFORM PLUMBING CODE, 2001 UNIFORM MECHANICAL CODE, 2001 UNIFORM FIRE CODE AND ALL OTHER CODES, CITY AND ORDINANCES WHICH APPLY.
- PORTLAND CEMENT PLASTER-EXTERIOR STUCCO SHALL CONFORM TO SECTION 2506A AND TABLE 25-F AND 25-I, UBC. THE MINIMUM NAIL SIZE FOR FASTEN WOVEN OR WELDED WIRE LATH TO WOODFRAME SHALL BE NO. 11 GAUGE, 1-1/2" LONG WITH 7/16" DIAMETER HEAD NAIL OR NO. 16 GAUGE STAPLES HAVING 7/8" LONG LEGS AND MAXIMUM NAIL SPACING 6 INCHES AT STUDS AND TOP AND BOTTOM PLATES.
- GYPSUM WALLBOARD SHALL CONFORM TO CHAPTER 25 AND TABLES 25A-G, 25A-H AND 25A-I. CBC. THE MINIMUM NAIL SIZE SHALL BE 5d COOLER NAIL (OR WALLBOARD NAIL) AND MAXIMUM NAIL SPACING 7 INCHES AT PANEL EDGES AND INTERMEDIATE SUPPORTS (UNBLOCKED), UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH STRUCTURAL CALCULATIONS, INCLUDING ANY AND ALL ADDENDA PREPARED BY ENGINEER AND APPROVED BY OAKLAND BUILDING DEPARTMENT.
- ALL EXCAVATIONS SHALL BE NEAT, CLEAN AND TRUE AND SHALL BE FREE OF ALL LOOSE MATERIAL PRIOR TO PLACING CONCRETE.
- CONTRACTOR OR SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING ALL TEMPORARY BRACING, SHORING, RAILING, ETC., NECESSARY TO ENSURE SAFETY OF PERSONS AND PROPERTY.
- CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN UP DEBRIS AS THE WORK PROGRESSES. CONTRACTOR AND SUB-CONTRACTORS SHALL PROVIDE FOR TRASH REMOVAL FROM SITE. FINAL CLEANING, AFTER SUBSTANTIAL COMPLETION, BUT PRIOR TO FINAL INSPECTION, SHALL INCLUDE A THOROUGH CLEANING OF ALL SURFACES INSTALLED, INCLUDING COUNTERTOPS, GLASS, LIGHT FIXTURES, FLOOR COVERING, ETC. ALL TEMPORARY FACILITIES, EXCESS MATERIALS, DEBRIS, TRASH, EQUIPMENT, ETC., SHALL BE REMOVED FROM THE SITE.
- PRIOR TO COMMERCING CONSTRUCTION, CONTRACTOR AND SUB-CONTRACTORS SHALL REVIEW ALL DRAWINGS SUPPLIED BY ARCHITECT OR DESIGNER AND ENGINEER. VERIFY ALL SITE AND EXISTING JOB CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT OR DESIGNER AND ENGINEER OF ANY ERRORS IN DIMENSIONS, DETAILS OR CODE COMPLIANCE. SUCH ERRORS SHALL BE RESOLVED BY DESIGNER, ENGINEER AND CONTRACTOR BEFORE CONTINUING WITH ANY WORK.
- ALL WORK SHOULD BE PLUMB, LEVEL AND SQUARE. ALL MATERIALS, APPLIANCES, FIXTURES, EQUIPMENTS, ETC., SHALL BE NEW AND CONFORM WITH ALL APPLICABLE CODES, WORKMANSHIP SHALL MEET THE BEST PROFESSIONAL STANDARDS OF THE TRADE.
- FLASHING AND PROTECTION FOR ALL PENETRATIONS AND OPENINGS AS REQUIRED PER CODE.
- SUPPLY NEW DRAINAGE SYSTEM & PIPING @ 20' INTERVALS (MIN.) WITH 1/4" MESH SCREEN (CONTINUOUS) SUPPLY MIN. 5 YEARS WARRANTY ON ALL ROOF WORK. ROOF TO BE BUILT UP - BITUMEN TORCH DOWN W/ COATING ROOF PARAPET TO HAVE GALVANIZED FLASHING CAP ALL AROUND, PER CODE.
- ELECTRICAL, UTILITY SERVICES LATERALS AND SEWERAGE SHALL BE UNDERGROUND. SEWERAGE TO BE HOOKED UP WITH EXISTING MAIN INFORM LOCAL UTILITY DEPT.
- COLORS OF INTERIOR AND EXTERIOR FINISHES AND PAINTS ARE TO BE CHOSEN BY OWNER.
- INSULATION SCHEDULE AS FOLLOWS: WALL - R-13; ROOF - R-30; FLOOR/CEILING - R-19 PER TITLE 24
- PROVIDE FIRE EXTINGUISHER SYSTEM AND TYPE PER OAKLAND FIRE DEPARTMENT REQUIREMENTS AND LOCATION PER CODE

GENERAL NOTES (2)

AMPEAK DESIGN CONSTRUCTION CO

DRAWINGS FOR APARTMENTS

8255 SKYLINE BOULEVARD; Oakland, California 94611
(510) 339-3233

4690 TOMPKINS STREET
OAKLAND, CALIFORNIA

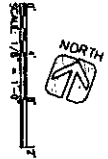
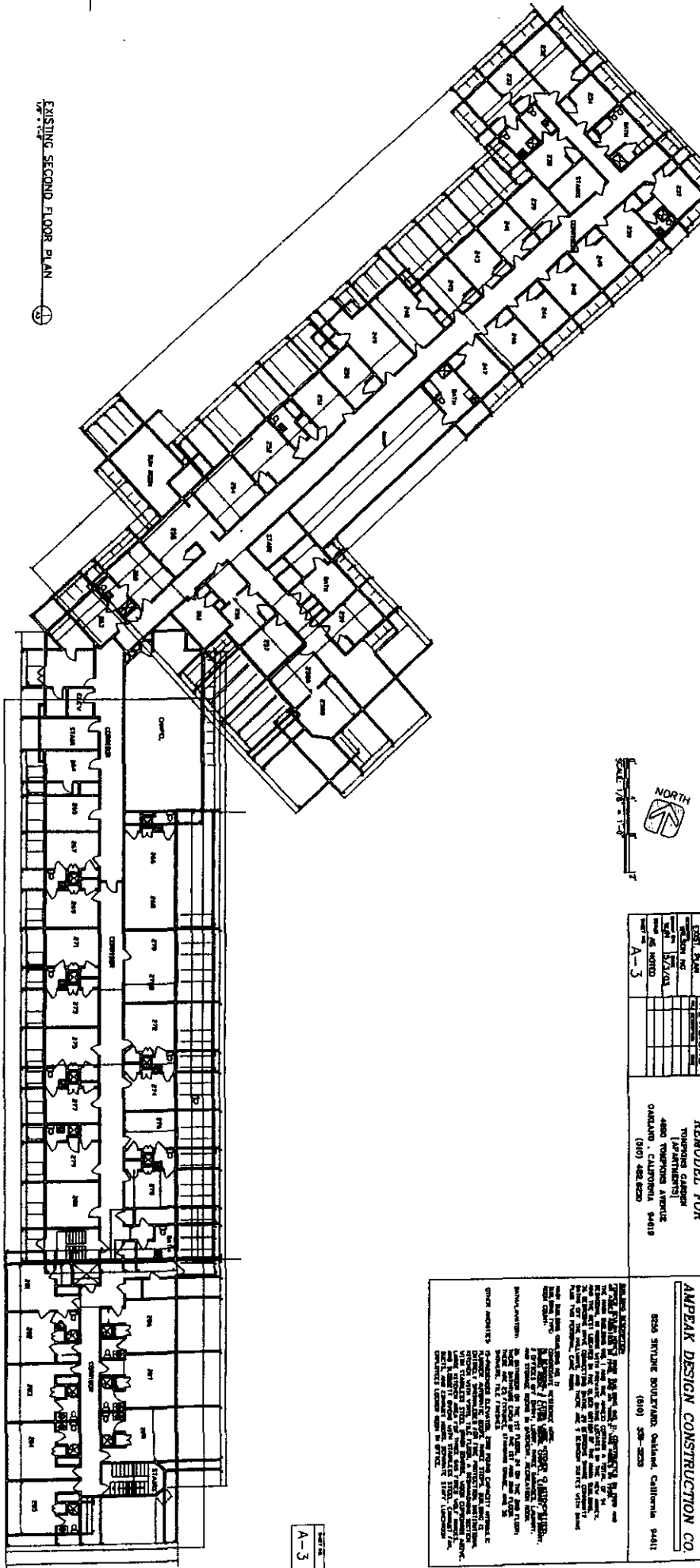
NO.	DESCRIPTION	DATE

TITLE: BUILDING INFOR
DESIGNER: WILSON NG
CONTRACTOR:

WJN BY:	DATE
WJN	5/3/0
CHECKED:	JON A

SCALE: AS NOTED
SHEET NO. C-6

EXISTING SECOND FLOOR PLAN



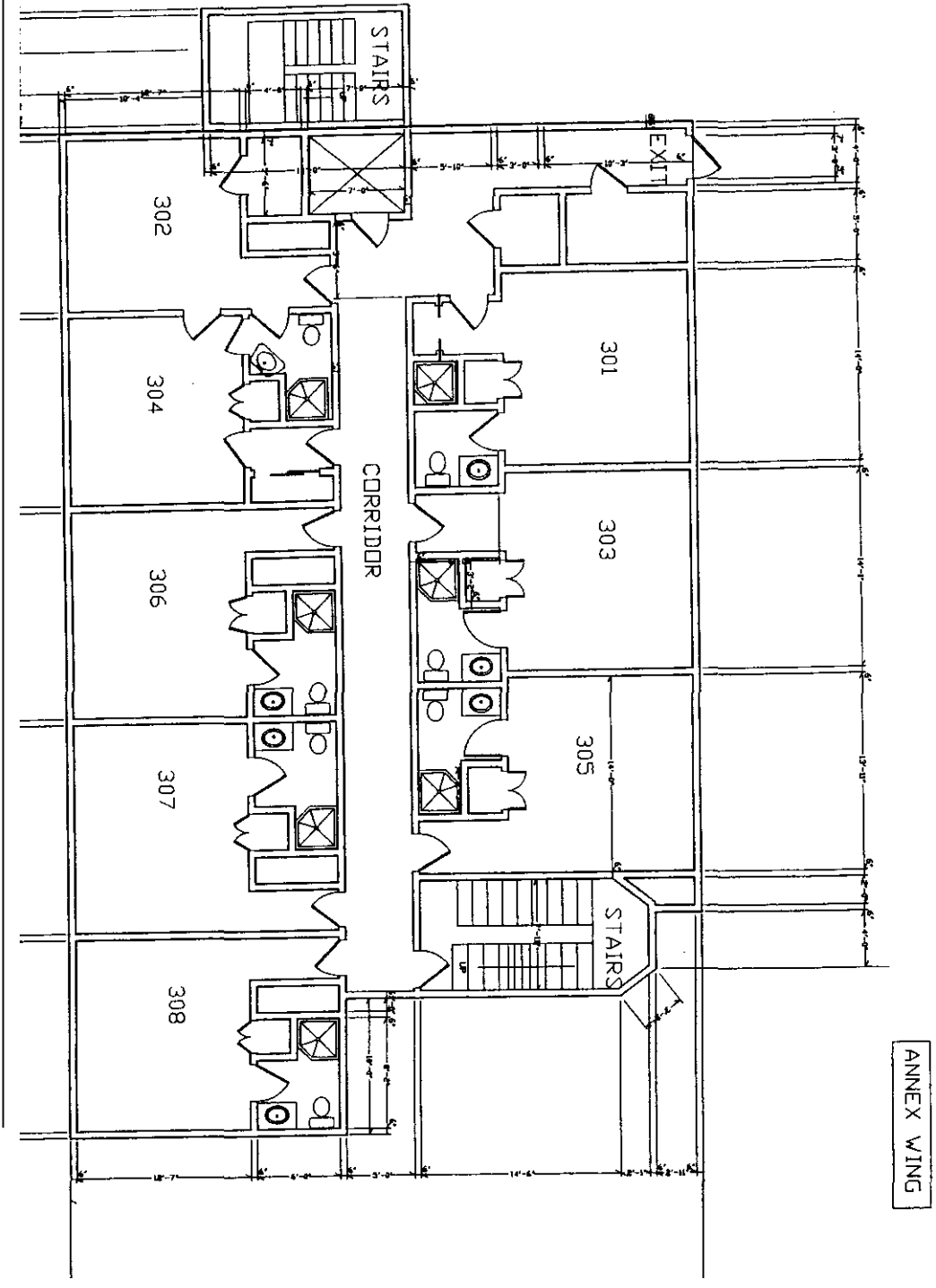
EXIST. PLAN	DATE	SCALE
1/2" = 1'-0"	1/2" = 1'-0"	1/2" = 1'-0"
NO. OF SHEETS	NO. OF SHEETS	NO. OF SHEETS
1	1	1
A-3	A-3	A-3

TECHNICAL FILE
 TORRENS GARDEN
 (APARTMENTS)
 4800 TORRENS AVENUE
 OAKLAND, CALIFORNIA 94618
 (510) 486-8200

AMPEAK DESIGN CONSTRUCTION CO.
 8508 STRIKE BOULEVARD, Oakland, California 94611
 (510) 528-2233

THIS PLAN IS THE PROPERTY OF AMPEAK DESIGN CONSTRUCTION CO. AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF AMPEAK DESIGN CONSTRUCTION CO. THE USER OF THIS PLAN AGREES TO HOLD AMPEAK DESIGN CONSTRUCTION CO. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY AMPEAK DESIGN CONSTRUCTION CO. AS A RESULT OF THE USER'S USE OF THIS PLAN. THE USER OF THIS PLAN AGREES TO INDEMNIFY AND HOLD AMPEAK DESIGN CONSTRUCTION CO. HARMLESS FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES, AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES, THAT MAY BE ASSERTED AGAINST OR INCURRED BY AMPEAK DESIGN CONSTRUCTION CO. AS A RESULT OF THE USER'S USE OF THIS PLAN.

A-3



BUILDING NO. 1 EXIST. ANNEX - 3RD FLOOR PL. 1
 1/8" = 1'-0" ANNEX WING



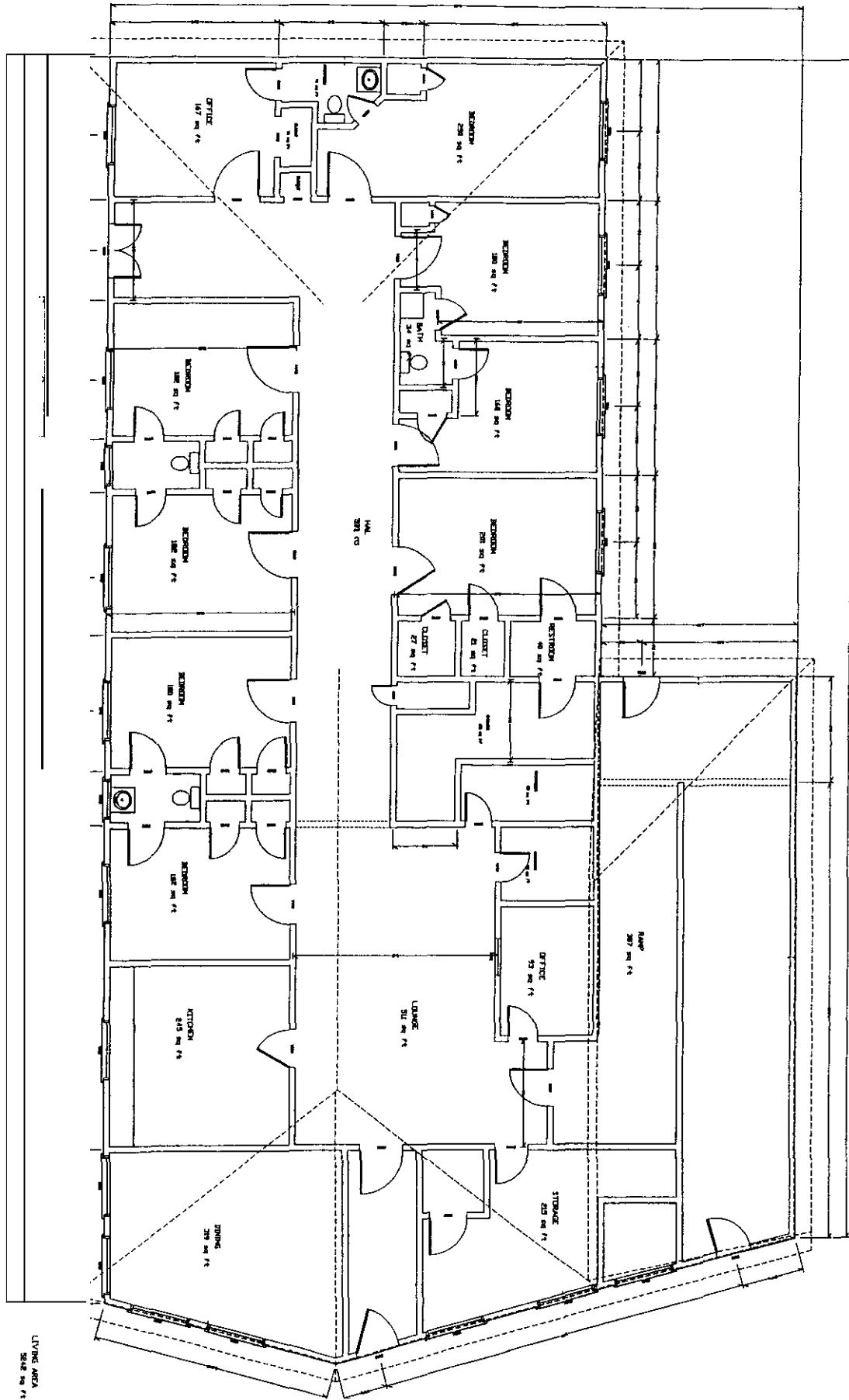
ANNEX WING

NO.	REVISION	DATE

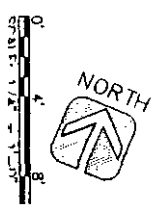
TITLE: EXISTING PLAN
 DESIGNED BY: WILSON NG
 CONTRACTOR:
 DATE:
 DRAWN BY: S/T/S
 CHECKED BY:
 SCALE: A.C. NOTED

TOMPKINS GARDEN
 [APARTMENTS]
 4890 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482-8290

AMPEAK DESIGN CONSTRUCTION CC
 8255 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233



BUILDING NO. 2
 EXISTING 4648 TOMPKINS AVE. FLOOR PLAN
 1/4" = 1'-0"
 ASSISTED LIVING



LIVING AREA
 314 sq ft

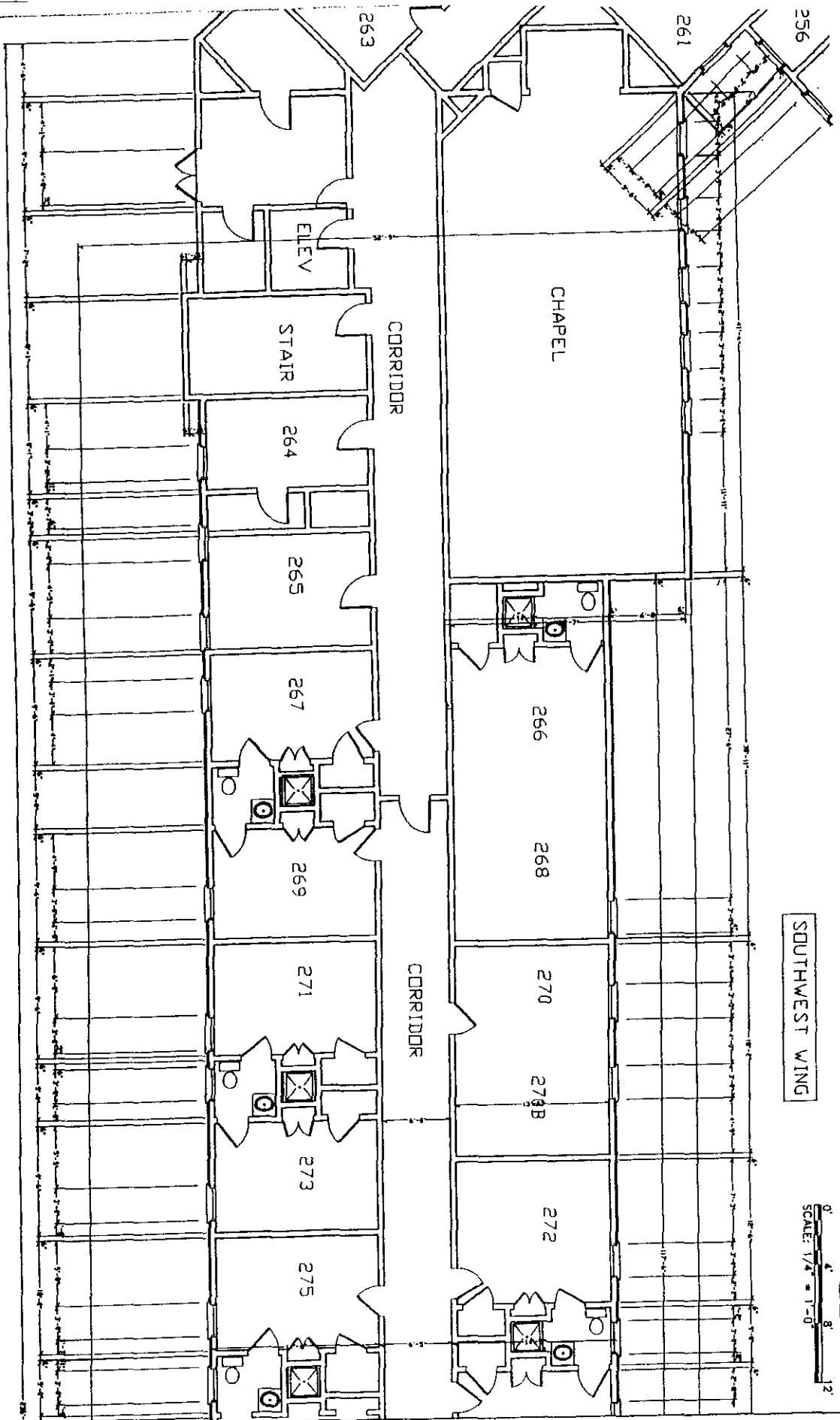
DATE	5/3/03
DESIGNED BY	MIN
CHECKED BY	OSBORNE
SCALE	AS NOTED
SHEET NO.	V 15

FOR
 TOMPKINS GARDEN
 (APARTMENTS)
 HOUSE OF PASLM
 4848 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482.0230

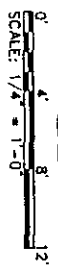
AMPEAK DESIGN CONSTRUCTION CO.

8255 SKYLINE BOULEVARD: Oakland, California 94611
 (510) 339-3233

CENTRAL WING



SOUTHWEST WING



WEST SOUTHWEST WING 2ND FLOOR PLAN

NO.	REVISIONS	DATE

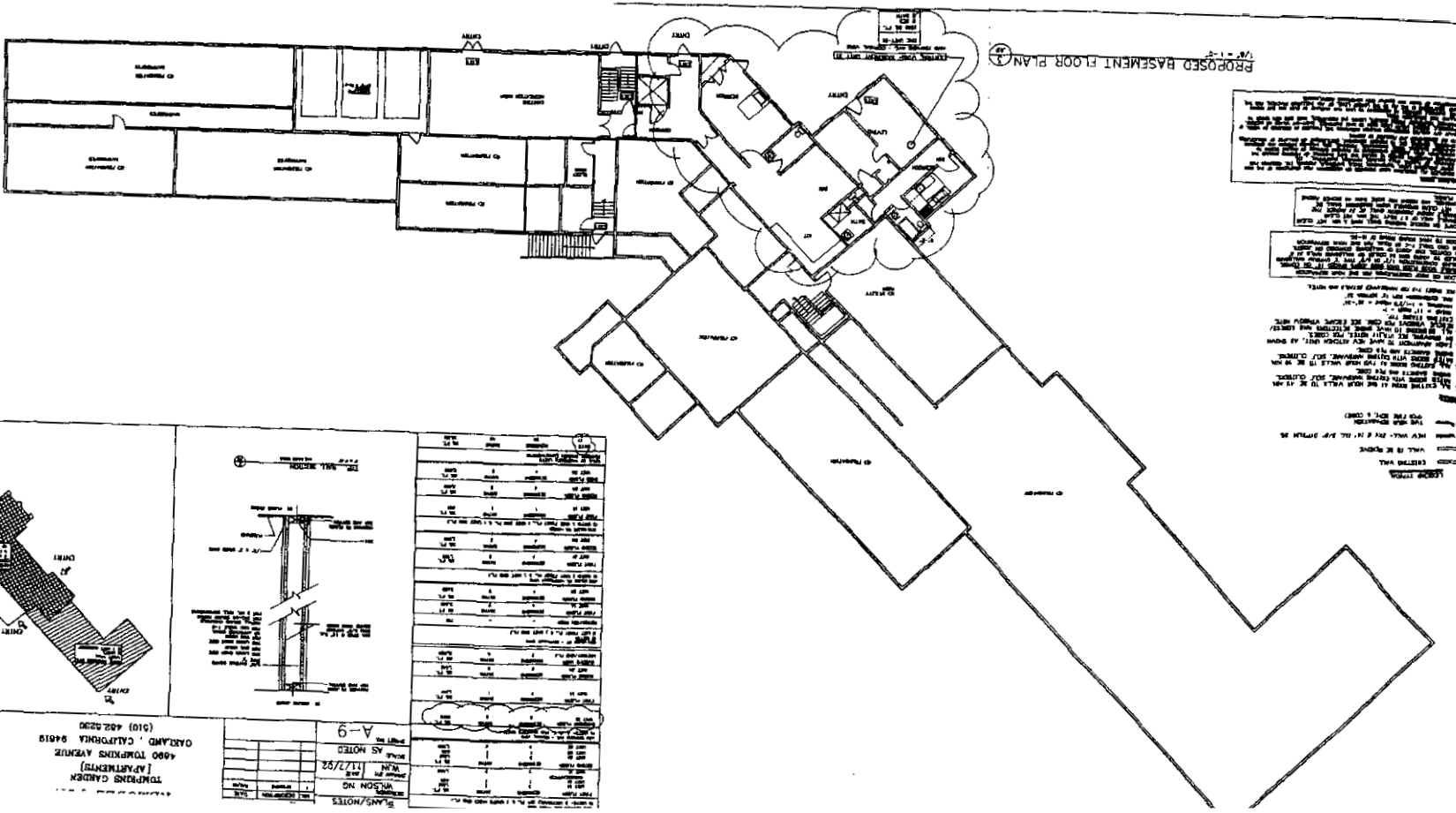
TITLE: EXISTING PLAN
 DESIGNER: WILSON INC
 CONTRACTOR:

DATE: 11/7/02
 DRAWN BY: M/JN
 CHECKED BY: JMB

SCALE: AS NOTED

REMDEL FOR
TOMPKINS GARDEN
[APARTMENTS]
 4690 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION C.
 8255 SKYLINE BOULEVARD; Oakland, California 94612
 (510) 338-3233



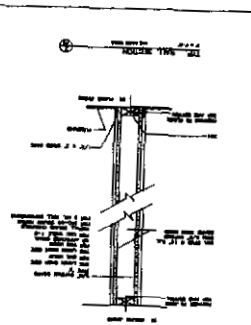
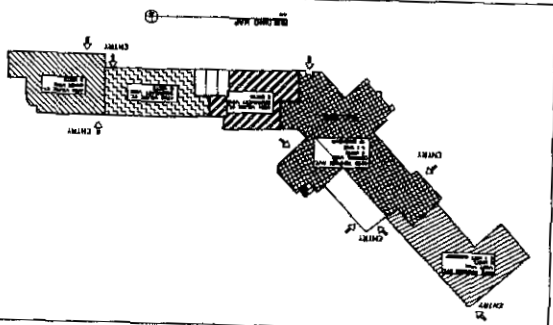
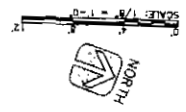
PROPOSED BASEMENT FLOOR PLAN

THIS PLAN IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT HIS WRITTEN CONSENT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. ANY OTHER USE IS STRICTLY PROHIBITED.

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND THE CITY OF OAKLAND BUILDING DEPARTMENT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE ABOVE MENTIONED REQUIREMENTS.

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND THE CITY OF OAKLAND BUILDING DEPARTMENT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE ABOVE MENTIONED REQUIREMENTS.

THESE PLANS HAVE BEEN PREPARED BY THE ARCHITECT IN ACCORDANCE WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND THE CITY OF OAKLAND BUILDING DEPARTMENT. THE ARCHITECT HAS CONDUCTED VISUAL GENERAL VERIFICATION OF THE PLANS AND HAS FOUND THEM TO BE IN ACCORDANCE WITH THE ABOVE MENTIONED REQUIREMENTS.



NO.	DESCRIPTION	QTY	UNIT	REMARKS
1	CONCRETE	100	CU YD	FOR SLAB AND WALLS
2	STEEL	50	TONS	FOR REINFORCEMENT
3	FORMWORK	200	SQ YD	FOR CONCRETE
4	PAINT	50	GAL	FOR INTERIOR
5	MECHANICAL	10	UNITS	FOR VENTILATION
6	ELECTRICAL	20	POINTS	FOR LIGHTING
7	PLUMBING	15	POINTS	FOR SANITATION
8	FINISHES	300	SQ YD	FOR FLOORING
9	FIXTURES	50	UNITS	FOR BATHS
10	STAIRS	1	UNIT	FOR ACCESS
11	ELEVATOR	1	UNIT	FOR TRANSPORT
12	MATERIALS	100	TONS	FOR CONSTRUCTION
13	LABOR	1000	HOURS	FOR INSTALLATION
14	PERMITS	1	SET	FOR CONSTRUCTION
15	INSURANCE	1	POLICY	FOR PROTECTION
16	UTILITIES	10	POINTS	FOR CONNECTION
17	LANDSCAPE	50	SQ YD	FOR EXTERIOR
18	SEWER	10	FEET	FOR DRAINAGE
19	WATER	10	FEET	FOR SUPPLY
20	VENTILATION	10	POINTS	FOR AIR FLOW
21	HEATING	10	POINTS	FOR WARMTH
22	Cooling	10	POINTS	FOR COMFORT
23	Lighting	10	POINTS	FOR ILLUMINATION
24	Security	10	POINTS	FOR PROTECTION
25	Accessibility	10	POINTS	FOR COMPLIANCE

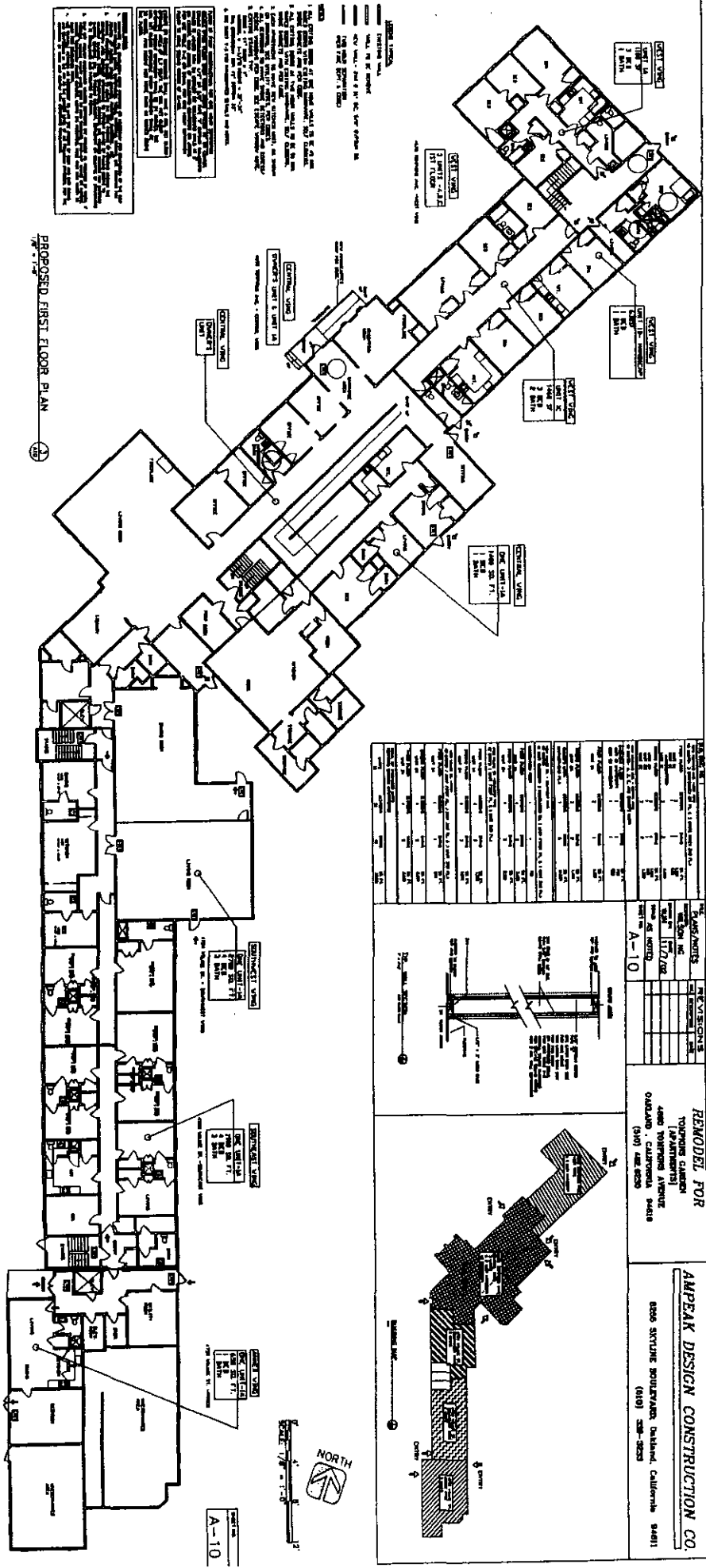
AMPEAK DESIGN CONSTRUCTION CO.
 8265 SKYLINE BOULEVARD, OAKLAND, CALIFORNIA 94611
 (510) 339-2933

4690 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482-8230

REVISIONS
 NO. DATE DESCRIPTION
 1 11/7/52
 2 11/7/52

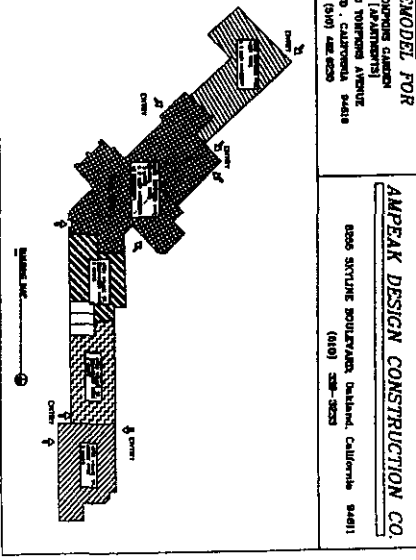
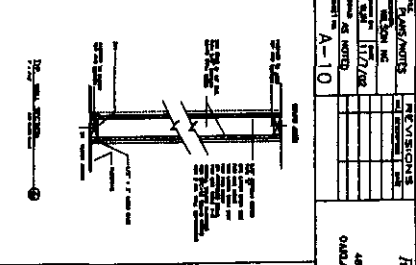
DATE: 11/7/52
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 TITLE: [Title]

PROPOSED FIRST FLOOR PLAN



- 1. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE IN FEET AND INCHES.
- 2. ALL DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED.
- 3. ALL WALLS SHALL BE 12" THICK UNLESS OTHERWISE NOTED.
- 4. ALL DOORS SHALL BE 36" WIDE UNLESS OTHERWISE NOTED.
- 5. ALL WINDOWS SHALL BE 60" WIDE UNLESS OTHERWISE NOTED.
- 6. ALL CEILING SHALL BE 8' HIGH UNLESS OTHERWISE NOTED.
- 7. ALL FLOORS SHALL BE 4" CONCRETE ON 8" GRAVEL UNLESS OTHERWISE NOTED.
- 8. ALL ROOFS SHALL BE 2" POLYSTYRENE INSULATION ON 4" CONCRETE UNLESS OTHERWISE NOTED.
- 9. ALL EXTERIOR WALLS SHALL BE 12" THICK CONCRETE BLOCK UNLESS OTHERWISE NOTED.
- 10. ALL EXTERIOR DOORS SHALL BE 36" WIDE UNLESS OTHERWISE NOTED.
- 11. ALL EXTERIOR WINDOWS SHALL BE 60" WIDE UNLESS OTHERWISE NOTED.
- 12. ALL EXTERIOR WALLS SHALL BE FINISHED WITH STUCCO UNLESS OTHERWISE NOTED.
- 13. ALL EXTERIOR ROOFS SHALL BE FINISHED WITH ASPHALT/FLY ASH UNLESS OTHERWISE NOTED.
- 14. ALL EXTERIOR STAIRS SHALL BE FINISHED WITH TERRAZZO UNLESS OTHERWISE NOTED.
- 15. ALL EXTERIOR PATIOS SHALL BE FINISHED WITH TERRAZZO UNLESS OTHERWISE NOTED.
- 16. ALL EXTERIOR DRIVEWAYS SHALL BE FINISHED WITH ASPHALT UNLESS OTHERWISE NOTED.
- 17. ALL EXTERIOR SIDEWALKS SHALL BE FINISHED WITH CONCRETE UNLESS OTHERWISE NOTED.
- 18. ALL EXTERIOR LIGHT FIXTURES SHALL BE FINISHED WITH BRASS UNLESS OTHERWISE NOTED.
- 19. ALL EXTERIOR VENTILATORS SHALL BE FINISHED WITH GALVANNEZ UNLESS OTHERWISE NOTED.
- 20. ALL EXTERIOR DOWNSPUTTERS SHALL BE FINISHED WITH GALVANNEZ UNLESS OTHERWISE NOTED.

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	CONCRETE	100	CU YD	120.00	12000.00
2	STEEL	50	TON	200.00	10000.00
3	BRICK	200	1000	10.00	2000.00
4	CEMENT	50	TON	100.00	5000.00
5	INSULATION	100	CU YD	20.00	2000.00
6	GLASS	100	SQ FT	10.00	1000.00
7	PAINT	100	GAL	10.00	1000.00
8	ROOFING	100	SQ FT	10.00	1000.00
9	PLASTER	100	SQ FT	10.00	1000.00
10	STUCCO	100	SQ FT	10.00	1000.00
11	TERRAZZO	100	SQ FT	10.00	1000.00
12	ASPHALT	100	SQ FT	10.00	1000.00
13	CONCRETE	100	SQ FT	10.00	1000.00
14	BRICK	100	1000	10.00	1000.00
15	CEMENT	100	TON	100.00	10000.00
16	INSULATION	100	CU YD	20.00	2000.00
17	GLASS	100	SQ FT	10.00	1000.00
18	PAINT	100	GAL	10.00	1000.00
19	ROOFING	100	SQ FT	10.00	1000.00
20	PLASTER	100	SQ FT	10.00	1000.00
21	STUCCO	100	SQ FT	10.00	1000.00
22	TERRAZZO	100	SQ FT	10.00	1000.00
23	ASPHALT	100	SQ FT	10.00	1000.00
24	CONCRETE	100	SQ FT	10.00	1000.00
25	BRICK	100	1000	10.00	1000.00



REMODEL FOR
 TOWNHOMES CLUSTER
 4800 TOWNHOMES AVENUE
 OAKLAND, CALIFORNIA 94612
 (510) 861-8200

ANPEAK DESIGN CONSTRUCTION CO.
 8300 SYLTUNE BOULEVARD, Oakland, California 94611
 (510) 338-3223

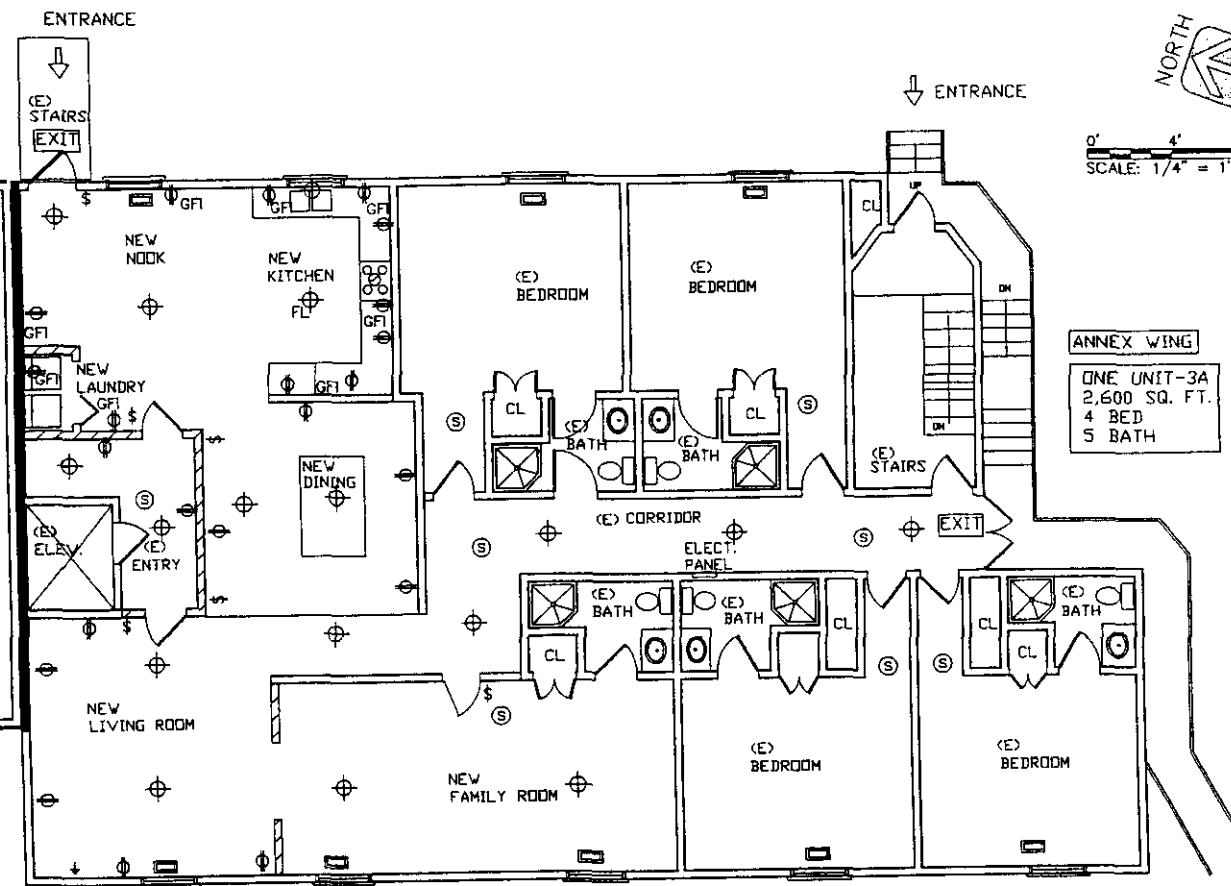
NOTES:

1. ALL EXITING DOORS AT ONE HOUR WALLS TO BE 45 MIN. RATED DOORS WITH EXITING HARDWARE, SELF CLOSERS, SMOKE GASKETS AND PER CODE.
2. ALL EXITING DOORS AT TWO HOUR WALLS TO BE 90 MIN. RATED DOORS WITH EXITING HARDWARE, SELF CLOSERS, SMOKE GASKETS AND PER CODE.
3. EACH APARTMENT TO HAVE NEW KITCHEN UNIT, AS SHOWN ON DRAWING, SEE UTILITY NOTES, PER CODES.
4. ALL BEDROOMS TO HAVE SMOKE DETECTORS AND EGRESS/ RESCUE WINDOWS PER CODE. SEE ESCAPE WINDOW NOTE.
5. EXITING STAIRS TYP.
TREAD = 11" RISER = 7"
HANDRAIL = 1-1/2"D HEIGHT = 32"-34"
RAIL EXTENSION = TOP: 12" BOTTOM: 23"

FLOOR OR ROOF CONSTRUCTION: FOR ONE HOUR SEPARATION
DOUBLE WOOD FLOOR OVER WOOD JOISTS SPACED 16" ON CENTER.
CEILING CONSTRUCTION: 1/2" OR 5/8" TYPE 'X' GYPSUM WALLBOARD
NAILED TO JOISTS WITH 5d COOLER OR WALLBOARD NAILS AT 6"
ON CENTER. END JOISTS OF WALLBOARD CENTERED ON JOISTS.
PER CBC TABLE 7-C OR EQUAL FOR ONE HOUR SEPARATION
FLOOR TO HAVE SOUND RATING OF IC-50.

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR
OPENABLE AREA OF 5.7 SQ.FT. THE MIN. NET CLEAR
OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE
MIN. NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE
20 INCHES, AND HEIGHT NOT MORE THAN 44 INCHES ABOVE
THE FLOOR.

ANNEX (4730 WILKIE ST., 3 UNITS) (1 UNIT FIRST FL., 1 UNIT 2ND FL. & 1 UNIT 3RD FL.)			
THIRD FLOOR:	BEDROOMS	BATHS	SQ. FT.
UNIT 3A	4	5	2,600



BUILDING #1 - 4730 WILKIE STREET
PROPOSED THIRD FLOOR PLAN - ANNEX WING
1/4" = 1'-0"

LEGEND TYPICAL

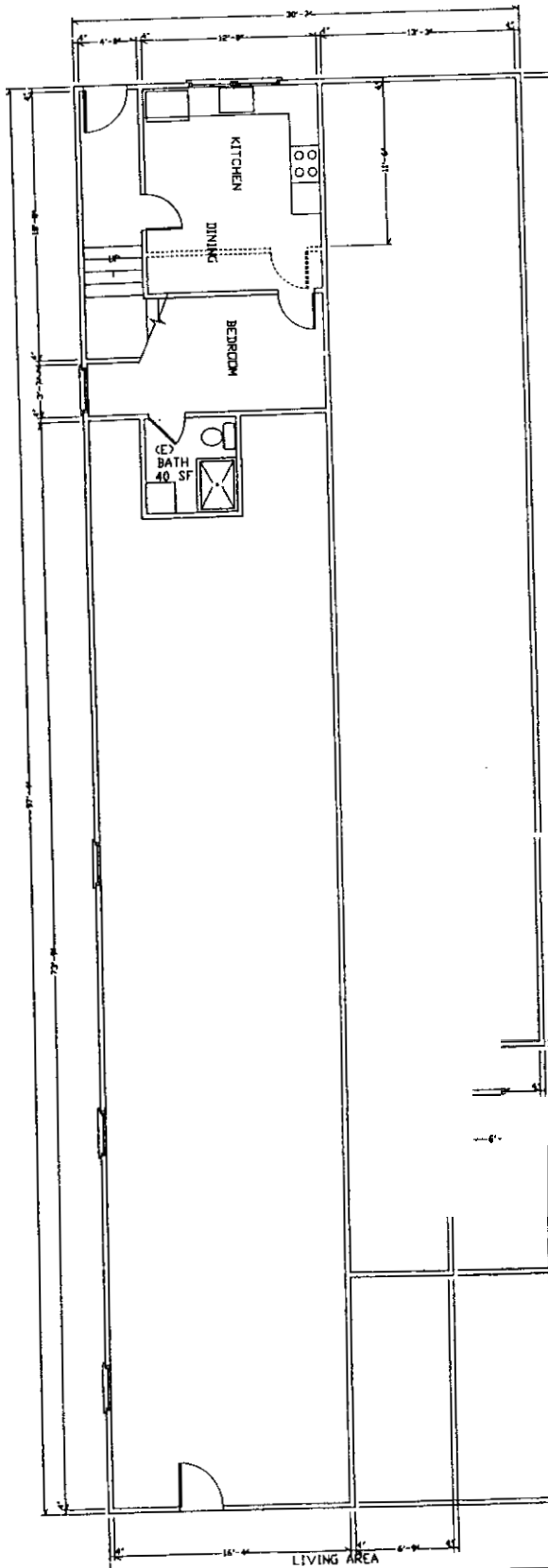
- WALL TO BE REMOVE
- NEW WALL- 2X4 @ 16' O.C. 5/8' GYPSUM BD
- TWO HOUR SEPARATION (PER FIRE DEPT. & CODE)

REMDEL FOR
TOMPkins GARDEN
[APARTMENTS]
4730 WILKIE STREET

AMPEAK DESIGN CONSTRUCTION CO.
8255 SKYLINE BOULEVARD; Oakland, California 94611

TITLE PLANS/NOTES		REVISIONS	
DESIGNER	DATE	NO.	DESCRIPTION
WILSON NG			
DRAWN BY: WJN	DATE: 5/3/03		

SHEET NO.
A-12



BUILDING NO. 3 - 4701 FAIR AVE.
 PROPOSED BASEMENT FLOOR PLAN
 1/4" = 1'-0"



0 4 8 12
 SCALE: 1/4" = 1'-0"



14.2
 ORA/COUNCIL

NOV 18 2003

~~ORA/COUNCIL~~

~~SEP 30 2003~~

REVISIONS	
NO.	DATE

REMODEL FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4701 FAIR AVENUE
 OAKLAND, CALIFORNIA 94819
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION CO.

8255 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233