

FILED
OFFICE OF THE CITY CLERK

**REDEVELOPMENT AGENCY AND
CITY OF OAKLAND
AGENDA REPORT**

2009 FEB 11 PM 4: 18

TO: Office of the City/Agency Administrator
ATTN: Dan Lindheim
FROM: Community and Economic Development Agency
DATE: February 24, 2009

RE: Joint City and Agency Public Hearing and Action on the Lion Creek Crossing Phase IV Residential Project (Located on the Block Bounded by 70th Avenue to the Southeast, Snell Street to the Southwest, 69th Avenue to the Northwest, and the Future Continuation of Lion Way to the Northeast), Including Adopting:

- 1) City Resolution Affirming and Sustaining the Planning Commission Decision to Approve the Development Permits (Design Review, Conditional Use Permit, and Variances) for the Project;**
- 2) City Resolution Amending the General Plan Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use";**
- 3) Agency Resolution Approving and Recommending Adoption of an Amendment to the Coliseum Area Redevelopment Plan Revising the Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use";**
- 4) City Ordinance Adopting an Amendment to the Coliseum Area Redevelopment Plan Revising the Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use"; and**
- 5) City Ordinance Rezoning the Project Site from R-36 Small Lot Residential, R-50 Medium Density Residential, and M-30 General Industrial districts to the C-25 Office Commercial district.**

SUMMARY

Lion Creek Crossings Phase IV is the fourth phase of the Coliseum Gardens Master Plan (Master Plan and now referred to as Lion Creek Crossings) that includes phased redevelopment of a public housing complex and City park in East Oakland. The Master Plan, approved by the Planning Commission on January 7, 2004, encompasses a 16-acre site and allows construction of up to 398 residential units and associated parking and open space, 15,000 square feet of social service uses, reconfiguration of Coliseum Gardens Park and extensive site planning and streetscape improvements. Final development permits were previously approved for Phases I, II, and III, and construction of the earlier phases is complete. The applicant is currently requesting

Item: _____

Community and Economic Development Committee
February 24, 2009

consideration of a Conditional Use Permit (CUP), Redevelopment Plan Amendment (RPA), General Plan Amendment (GPA) and Rezone for development of Phase IV of the Master Plan, as well as related permits noted above. Phase IV includes development of 72 residential units in a 1.1-acre area located in the eastern portion of the Master Plan area, specifically fronting 69th Avenue. Phase IV also includes off-street parking and residential open space to serve the residential uses. In addition, Phase IV includes the dedication of a street that would be the continuation of Lion Way from the west. Staff recommends approval of the CUP and variances, and support of the additional land use entitlements to be considered by the City Council. The Tentative Parcel Map (TPM9847 will be considered separately).

On February 4, 2009, the Planning Commission held a public hearing on the proposed project and took the following actions: 1) Acceptance of the previously adopted Mitigated Negative Declaration in accordance with the requirements of the California Environmental Quality Act (CEQA) and Oakland Environmental Review Regulations; 2) Approval of the development permits for the project, with changes to the Conditions of Approval (as shown in *Attachment D* to this report); 3) Recommendation of approval of the proposed General Plan amendment to the City Council; 4) Recommendation of approval of the proposed Redevelopment Plan amendment to the City Council and Redevelopment Agency; and 5) Recommendation of approval of the proposed rezoning to the City Council.

Staff recommends that the City Council and Redevelopment Agency take the necessary actions to affirm the Planning Commission's decision and approve the project.

FISCAL IMPACT

In July 2008, the Oakland Redevelopment Agency was awarded a State Proposition 1C Transit-Oriented Development (TOD) grant of \$8.5 million to fund streetscape and plaza improvements in the Coliseum BART Station Area. The Lion Creek Crossings Phase IV project is anticipated as a beneficiary of the proposed grant which is pending the resolution of the State of California budget. In addition, the Lion Creek Crossing Phase IV partnership has also been awarded a \$7.25 M Prop 1C TOD multifamily housing loan as a related part of the City of Oakland Coliseum BART Station Area Transit Village TOD application. As a consequence of the State of California budget delay, the proposed Prop 1C infrastructure grant and loan agreements have not been issued as of this writing. In addition, \$6.4 million is committed to the project through the City of Oakland affordable housing Notice of Funding Availability (NOFA) process to assist with predevelopment and construction expenses: of that total, \$2.9 million is provided in Redevelopment Agency funds, and \$3.5 million is provided in City HOME funds.

The actions currently under consideration by the City Council and Redevelopment Agency concerning the land use approvals for the project will not result in any direct fiscal impacts to the City of Oakland. Staff costs related to the review of the project and the amendments, as well as

future planning entitlements for the project area, are cost covered. These entitlements are subject to the applicable fees established in the Master Fee Schedule.

Land use conversions, such as the proposed project, have the potential for indirect positive and negative fiscal impacts to the City's budget through the effect of the conversion on the tax revenue generated by the site and the cost of providing City services to the project. The project would increase demand for City services (e.g., fire and police protection services, park and recreation services, libraries) although this increase is expected to be minimal due to the relatively small size of the project. The project would generate additional tax revenue for the City (e.g., property taxes, sales and use taxes, motor vehicle in-lieu fees, utility consumption taxes, real estate transfer taxes, fines and penalties) to offset the cost of providing City services.

BACKGROUND

Property Description

The Master Plan site is located in East Oakland within vicinity of the Coliseum BART station, Oakland International Airport, the Coliseum, and Interstate 880 (I-880). The Master Plan area includes the first three phases of Lion Creek Crossings and Lion Creek Park, and additional properties to the east and west. The 16-acre site is bounded by 66th Avenue to the north, Oakland Fire Station 29 and Acts Full Gospel Church to the east, 69th Avenue to the south, and the Union Pacific railroad tracks (and BART overhead tracks) to the west. Phase IV is located immediately east of the Master Plan site, on a 1.1-acre block bounded by Snell Street, 69th Avenue, the continuation of Lion Way and 70th Avenue, as shown in *Attachment A* to this report.

The area surrounding the Phase IV site contains a mix of land uses. The area north of Lion Way is primarily single-family residential. Land to the east and southeast of the site consists of the BART parking lot, BART station and tracks (with the Union Pacific tracks below the BART tracks). To the south of the site, the majority of the area is occupied by industrial and commercial properties, railroad rights-of-way, and the Coliseum BART station and associated parking lot. To the west of the site are the completed phases of Lion Creek Crossings and the new park.

Project Description

Lion Creek Crossings Phase IV would replace 10 existing, vacant single-family homes with a four-building townhouse complex with 72 residential units, 2,000 square feet of social service space, 73 parking spaces, usable open space, and the dedication of a new street. This project is a rental product with one-, two- and three-bedroom units. All units will be affordable to low-income households. The maximum building height is 54.5 feet, and the project includes three- and four-story buildings. Phase IV plans are included in *Attachment B* to this report.

The elements of Phase IV are described in detail below:

Phase IV is a medium- to high-density residential project designed to complement the urban, townhouse-like and apartment-like setting focused around the reconfigured Lion Creek Park to the west. The area surrounding the site is a mixture of single-family and multi-family residences along with a large church, fire station and schools that co-exist with large and small industrial businesses. Based on the close proximity of the project site to the Coliseum BART station, and the efforts of the City and BART to encourage transit-oriented development near transit hubs, the area around the BART station will likely continue to transition into a medium- to high- density residential and mixed-use area. Phase IV is the only portion of the Master Plan to be considered in this review. The Master Plan and earlier phases of development were previously reviewed during consideration of the PUD and related land use entitlements.

Phase IV covers half of an existing block, and with the proposed street dedication, will ultimately occupy an entire city block. This phase includes development of 72 residential units in four buildings on 1.1 acres. The buildings range from three- to four-stories and include townhouses that are, for the most part, accessible from the street side of the project. Parking is provided in a podium garage wrapped by residential units. Open space is provided in some private balconies and porches, and mostly in a generous courtyard at the interior of the project.

Each project component is summarized, as follows:

- Site planning: The project is designed to be a part of the larger Lion Creek Crossings complex and to carry out the vision of the Coliseum Area Concept Plan.
 - New Street: The project includes a new street that would align with and continue Lion Way south-east from 69th to 70th Avenue. The extension of Lion Way was envisioned in the Coliseum Area Concept Plan and provides a connection to the BART parking lot, also envisioned for redevelopment in the future. The street is designed to have two travel lanes, one in each direction, and two parking lanes and sidewalks, all designed to meet City codes for street design. The project includes a remainder lot on the north side of Lion Way at 69th Street. There are no plans for the remainder lot at this time.
 - 70th Avenue Improvements: The project includes an expansion of the 70th Avenue Right-of-Way (ROW) in the spirit of complying with City and State requirements for minimum street widths in front of new development. The 70th Avenue ROW is currently 30 feet, and the applicant's proposal is to widen the ROW by 6.5 feet to 36.5 feet and to grant a Public Access Easement (PAE) for an additional 3.5 feet to the building footprint facing 70th Avenue. This proposed improvement is discussed in detail below in the Key Issues and Impacts section.
 - Building Grouping: The project design includes four buildings, all three stories, with the exception of a four-story building facing Lion Way. The garage is "wrapped" by residential units and is not visible from the public right-of-way.

Item: _____

- Vehicular Access: Vehicular access to the garage is provided from Lion Way, next to the project lobby.
- Social Service Space: The 2,000 square-foot social service space is located on the ground floor at the corner of 69th and Lion Way. This corner is the focal point of the Lion Creek Crossings complex.
- Unit Access: The residential units are designed, for the most part, as townhouses with primary access from the public right-of-way. Units located on the second floor wrapping the garage have entries that are internal to the project (from the garage and residential lobby on Lion Way).
- Open Space: Open space is provided in some private courts and balconies. However, the major open space feature is a tiered courtyard that provides group usable open space at the interior of the project site. The courtyard includes two areas: an unprogrammed space above the parking podium; and an at-grade area that includes a tot-lot and a community room. The two areas are separated by a stairway.
- Building design:
 - Snell Street Building: The Snell Street building is three stories and includes six townhouse units.
 - 69th and 70th Avenue Building: The 69th And 70th Avenue buildings (both adjacent to the Snell Street building) each include four townhouse units.
 - Lion Way Building: The Lion Way building includes 58 residential units, social service space, the 73-parking space parking garage, and the residential lobby. This building is four stories fronting Lion Way, and three stories fronting 69th and 70th Avenues. Although ground-floor units can be accessed from the public right-of-way, this building includes above-ground floor units as well.
- Setbacks, Open Space and Landscaping: The project includes landscaped setbacks and streetscapes. On Snell Street and 69th and 70th Avenues, all landscaping is provided in the setback area back of sidewalk. The setbacks are planted with street trees and ground cover. Lion Way is designed to include a parking strip and special paving areas to carry over the design of Lion Way to the northwest of the site.

KEY ISSUES AND IMPACTS

Below is a discussion of the key issues and impacts related to the project.

Environmental Analysis

A Mitigated Negative Declaration/Finding of No Significant Impact (MND/FONSI) for the Master Plan, which includes Phase III, was certified by the Planning Commission in June 2003. The MND/FONSI identified potentially significant impacts of the project related to hydrology,

Item: _____

Community and Economic Development Committee
February 24, 2009

air quality, cultural resources, hazardous materials, utilities and service systems, aesthetics, and noise. Each of these impacts can be mitigated to a less-than-significant level with the incorporation of mitigation measures identified in the MND/FONSI. Staff has determined through review of an addendum to the MND/FONSI that no new information about the site, changes to the project or circumstances under which the project will be undertaken have occurred that would require subsequent or supplemental environmental review. The addendum and the MND/FONSI are included in *Attachment D* to this report.

General Plan Analysis

Land Use and Transportation Element

The earlier phases of Lion Creek Crossings were subject to General Plan Amendment to allow the proposed residential, park and social service land uses and densities, and to provide uniform designations across land uses throughout the site. The earlier phases of the project are now located in the Neighborhood Center Mixed Use land designation of the General Plan Land Use and Transportation Element (LUTE). Consistent with the previous phases of Lion Creek Crossings, the applicant is seeking a General Plan Amendment from Mixed Housing Type Residential and Urban Residential to the Neighborhood Center Mixed Use land use designation of the General Plan, as shown in *Attachment C* to this report. The maximum intensity allowed by this General Plan designation is a residential density of 166.67 units per net acre, and a nonresidential floor area ratio (FAR) of 4.0. Phase IV includes 97,400 square feet of development, including 72 residential units on a 1.1-acre site resulting in a residential density of 66 units per net acre and a FAR of 1.79, which is within the allowable intensity for the site. In addition, the proposed social service use on the corner of 69th Avenue and Lion Way is allowed in the proposed land use designation.

The proposed project is consistent with the General Plan including, among others, the following policies of the LUTE:

- Policy T2.1 Encouraging Transit-Oriented Development: Transit-oriented development should be encouraged at existing or proposed transit nodes, defined by the convergence of two or more modes of public transit such as BART, bus, shuttle service, light rail or electric trolley, ferry, and inter-city or commuter rail. (LUTE, p. 51) *Phase IV would provide residential development that would take advantage of close proximity to the Coliseum BART station, AC Transit bus stops, the Amtrak Capitol Corridor train station, and the future Oakland Airport Connector high-speed connection to the Oakland*

International Airport. Residents of the new development would be conveniently served by mass transit for the purposes of employment, shopping and entertainment, and for travel.

- Policy N3.1, Facilitating Housing Construction: Facilitating the construction of housing units should be considered a high priority for the City of Oakland. *This project is related to the Coliseum Gardens Master Plan, which entails replacing a vacant public housing project with up to 283 new housing units, a reconfigured and renovated City park, and improved circulation.*
- Policy N3.2, Encouraging Infill Development: In order to facilitate the construction of needed housing units, infill development that is consistent with the General Plan should take place throughout the City of Oakland. *The project is an infill development utilizing an underutilized site located within one-quarter mile of the Coliseum BART station with adequate public infrastructure to serve the development.*
- Policy N6.1, Mixed Housing Types: The City will generally be supportive of a mix of projects that provide a variety of housing types, unit sizes, and lot sizes which are available to households with a range of incomes. *Unit types range from one bedroom to three-bedroom units. The project will provide rental opportunities for very low- to low-income households.*

Redevelopment Plan Analysis

The project site is located within the Coliseum Redevelopment Project Area. The land use designations in the Coliseum Area Redevelopment Plan correspond to the land use designations contained in the General Plan. If the General Plan land use designation is changed for the project, the land use designation in the Coliseum Redevelopment Plan must also be changed to maintain consistency between the two plans.

Staff believes the proposed amendment to the Coliseum Area Redevelopment Plan best serves the public interest by meeting the following goals of the Redevelopment Plan:

- A. The elimination of blighting influences and the correction of environmental deficiencies in the Project Area, including, among others, small and irregular lots, faulty exterior spacing, obsolete and aged building types, mixed character or shifting uses or variances, incompatible and uneconomic land uses, substandard alleys and inadequate or deteriorated public improvements, facilities and utilities (Goal A).** The proposal redevelops an existing underutilized and blighted site with a well-designed residential development that includes new public infrastructure.

Item: _____

Community and Economic Development Committee
February 24, 2009

- B. The assembly of land into parcels suitable for modern, integrated development with improved pedestrian and vehicular circulation in the Project Area (Goal B).** The proposed development would be integrated into the adjacent Lion Creek Crossing Phases I, II and III residential project on 69th Avenue with the continuation of Lion Way, a new street, and the widening of 70th Avenue, currently a narrow and substandard street.
- C. The replanning, redesign and development of undeveloped areas which are stagnant or improperly utilized (Goal C).** The proposal redevelops an existing underutilized blighted site with a well-designed residential development.
- D. Providing opportunities for participation by owners and tenants in the revitalization of their properties (Goal D).** The project would be implemented by the current owner of the site, the Oakland Housing Authority.
- E. The strengthening of retail and other commercial functions in the Project Area. The improvement of transportation access to industrial and commercial areas and the improvements of safety within the Project Area (Goal E).** The proposal would encourage economic revitalization of nearby commercial districts in East Oakland by increasing the population in the immediate area thereby expanding the consumer base for neighborhood businesses. The new residents of the development would enhance safety in the neighborhood by providing supervision of public spaces.
- F. The establishment and implementation of performance criteria to assure high site design standards and environmental quality and other design elements which provide unity and integrity to the entire Project (Goal H).** The proposal is well-designed with high-quality materials and well-executed architectural design which will provide for an attractive development that will enhance the visual environment of the Project Area.
- G. The expansion and improvement of the community's supply of low- and moderate-income housing (Goal I).** The proposal would provide housing affordable to low-income households.

Zoning Analysis

Consistent with the previous phases of Lion Creek Crossings, and as shown in *Attachment C* to this report, the applicant is seeking to rezone from the R-36 Small Lot Residential, R-50 Medium Density Residential and M-30 General Industrial zoning districts to the C-25 Office Commercial district, which is the district applied to the other residential and social services land use areas of the Lion Creek Crossings project. The project is generally consistent with the C-25 district, similar to the earlier phases of the Lion Creek Crossings.

The following table compares the proposed project with the development standards:

Zoning Criteria	C-25 Development Standards (Proposed Rezone)	Phase Four Proposal	Comments
Land Use	Includes permanent residential and Community Education Civic	Permanent Residential; Community Education Civic	Complies
Density	1 unit /450 s.f. lot area = 121 units/54,389 sf lot area	72 res. units; 2,000 sf social service space (Community Education Civic)	Complies
Front Yard	10'	Ranges from 0'to 13'-6"	Minor variance required
Street Side Yard	10'	Ranges from 0'to 13'-6"	Minor variance required
Interior Side Yard	0' unless if opposite living room window, then 8' plus 2' additional for each story above ground level	NA	NA
Courts	Required opposite legally required windows	All courts are >40' width	Complies
Rear Yard	10'	NA	
Building Height	40' unless height above 40' is set back from rear yard 1' for each 2' of height above 40'	Up to 54.5'	Minor variance required
Open Space	150 s.f. group/unit (private space reduces requirement by 50%) = 10,800 sf	17,173 sf	Complies
Parking	1 space/residential unit = 72 spaces	73 spaces	Complies
Loading	1 residential loading berth	0 loading berths	Minor variance required

Zoning Criteria	C-25 Development Standards (Proposed Rezone)	Phase Four Proposal	Comments
Bicycle Parking	Long-term: 1 per 4 units Short-term: 1 per 20 units	None shown	Condition of Approval to ensure provision of adequate bicycle parking
Recycling Space	2 cubic feet of space per unit	Not specifically indicated on plans; internal trash room located adjacent to residential lobby and garage entry on Lion Way.	Condition of Approval to ensure provision of adequate recycling space

Land Use and Project Design Issues

- Tentative Parcel Map/70th Avenue Street Width: Lion Creek Crossings Phase IV is subject to a Tentative Parcel Map (TPM) to merge eleven existing parcels. The TPM application is not complete at this time and will be processed administratively following consideration of the project by the Planning Commission. However, based on the project design and ongoing discussions with the applicant, staff is aware of an anticipated exception to the Subdivision regulations to allow a non-standard narrow street width for 70th Avenue in front of the project.

Lion Creek Crossings Phase IV is located adjacent to 70th Avenue, currently a substandard right-of-way with a substandard street width. The existing street includes a 30-foot ROW and a 20-foot street width; the ROW includes sidewalks on both sides of the street, one west-bound drive lane and one lane of parking. The five blocks of 70th Avenue between International Boulevard to the east (where the intersection is not signalized) and Snell Street (the western terminus of 70th Avenue) is consistently narrow and functions as a one-way street the entire length.

According to Oakland Municipal Code (OMC) Title 16: Subdivisions, a minimum 50-foot ROW is required for local-serving streets (16.16.020(c)) as is a minimum 30-foot roadway width (OMC 16.16.080). In addition, the California Streets and Highways Code Section 1805 requires that the “width of all city streets, except state highways, bridges, alleys, and trails, shall be at least 40 feet, except that the governing body of any city may, by a resolution passed by a four-fifths vote of its membership, determine that the public convenience and necessity demand the acquisition, construction and maintenance of a street of less than 40 feet and, after such determination, proceed with the acquisition, construction or maintenance of any such street. The width of all private highways and by-roads, except bridges, shall be at least 20 feet. This section does not require that the

width of city streets established or used as such prior to September 15, 1935, be increased or diminished.”

Staff anticipates that the applicant will request an exception to OMC 16.16.080 to allow for a 36.5-foot wide ROW on 70th Avenue fronting the project site. The applicant proposes a ROW that is narrower than the minimum requirement of 50 feet but greater than the current 30-foot ROW. Widening the street in this location by 20 feet is onerous to the affected landowner, significantly reducing the number of units that could be built, potentially resulting in an infeasible project and the loss of 72 potential units of affordable housing in an underserved neighborhood of Oakland. In addition, the ROW and street widening would create a street width out of character with the continuation of 70th Avenue and would result in an awkward street offset from the block of 70th Avenue north of Lion Way.

In concept, staff supports granting the exception, under OMC Title 16, to the street width requirements. Specifically, the exception would allow a 36.5-foot ROW (where a 50-foot ROW is otherwise required). Staff expects this exception would be subject to a condition of approval requiring the applicant to provide a 3.5-foot PAE, which, together with the 36.5 foot ROW, would effectively provide 40 feet of public access, consistent with the intent of state law. Staff believes that this approach is reasonable and fair, and will ultimately satisfy outstanding concerns at such time as a wider ROW and street section is needed. This issue will be fully addressed in the Tentative Parcel Map for this project, to be considered at a later date by the Community and Economic Development Agency.

In addition to the street width issue on 70th Avenue, the Lion Creek Crossings Phase IV site includes a remainder parcel located on the northeast side of the new section of Lion Way. This parcel is a remnant of a larger parcel most of which will be dedicated as part of Lion Way. The remainder parcel is a substandard lot that is not currently proposed or contemplated for development, and only would be developable subject to major exceptions to the City of Oakland subdivision regulations and major variances from the Planning Code. There is no specific proposal for the remainder parcel at this time. The TPM can be approved with the remainder lot and there is no requirement that the lot be entitled or otherwise made legal at this time.

- California Fire Code Requirements: The proposed project includes buildings taller than 30 feet facing 70th Avenue, a 20-foot wide street (discussed above). Appendix D of the 2007 California Fire Code requires fire apparatus access roads to have an unobstructed width of 26 feet. The current project design includes a 25-foot street width, which would not comply with the Fire Code requirements. As a result, staff recommends provision of a 26-foot street width (curb to curb), which would comply with the Fire Code requirements. See “70th Avenue ROW” discussion above for full analysis of street

Item: _____

Community and Economic Development Committee
February 24, 2009

widths and effects of project redesign. On-street parking would be removed from 70th Avenue. This would result in a loss of 11 on-street parking spaces. However, the project would also include a gain of 9 on-street parking spaces on Lion Way. Overall, the project would include a net loss of two on-street parking spaces.

- Site Planning: Lion Creek Crossings Phase IV is planned to complement the work previously undertaken on the opposite side of 69th Avenue. Phase IV includes a continuation of the new street, Lion Way, a major piece of the envisioned Coliseum Area Concept Plan. In addition, the site is oriented toward Lion Way, with the greatest building height and density and social services located on this new street that provides a connection between BART and an entirely reenvisioned neighborhood and park. Phase IV is designed as smaller buildings than the earlier phases of Lion Creek Crossings, in response to the closer proximity to the existing scale of single-family homes located immediately adjacent to the site.
 - *Staff supports the site planning for Lion Creek Crossings Phase IV and has no recommendations for revisions except as discussed above (i.e., street width requirements).*
- Project Layout and Massing: Lion Creek Crossings Phase IV is designed as four separate buildings that occupy an entire city block. The building located on Lion Way (the central passage through this reenvisioned neighborhood) is the tallest, at four stories, and includes a prominent corner design at the corner of 69th Avenue and Lion Way that marks the importance of that corner and draws the public to the social service space located on the ground floor. The buildings facing 70th Avenue, Snell Street and 69th Avenue are three stories. These three buildings appear distinct from one another in terms of design details, rhythm and pattern, providing a smaller scale and variety appropriate to the surrounding mix of land uses.

As noted above, the project is designed to draw public access and use to Lion Way, the heart of the Lion Creek Crossings complex. The tallest building, the social service use, and the main project access and egress points (lobby and garage) are located on the extension of Lion Way. The project includes a more open and prominent corner treatment on Lion Way at 69th Avenue to architecturally make this statement, and includes a distinctive lobby feature mid-block to provide visual clues to the use.

The dwelling units are designed as townhouses and, for the most part, include primary entrances facing the public right-of-way. The project incorporates vertical features and patterns designed to distinguish individual units from one another while maintaining the cohesive design of each building.

- *Staff generally supports the project layout and massing for Lion Creek Crossings Phase IV. The project proponent has made great progress in unifying the design*

Item: _____

of each building while expressing individual units. In addition, the project proponent has improved the design of the corner element at Lion Way and 69th Avenue, providing a clear vertical element that gives a sense of openness from the ground floor to the top of the building.

- Exterior Details: Exterior details, including windows, trim, railings, gates and fences should be of high quality and reflect the style of the architectural design. The project proponent has revised the project to increase the variety of window types and window arrangements, and to include trellises and railings as unifying features of the project.
 - *Staff recommends inclusion of a condition of approval requiring staff review and approval of these details prior to issuance of building permits.*

- Color scheme: Staff believes that the color scheme should be warm yet muted to emphasize the residential use and character of the project, and to complement the surrounding neighborhood.
 - *Staff recommends inclusion of a condition of approval requiring staff review and approval of the exterior colors.*

- Exterior Materials: Exterior materials and connections should be of high quality and reflect the style of the building design.
 - *Staff recommends inclusion of a condition of approval requiring the review and approval of appropriately-sized mock-ups of final exterior materials, including corner applications and transitions between materials, prior to issuance of building permits.*

- Open Space: The courtyard includes two areas separated by grade. The lower area is programmed space and includes a tot lot and community space. The upper area is not programmed. There is a stairway connecting the two areas.
 - *Staff recommends inclusion of a condition of approval requiring revision of the landscaping plans to include landscaping or otherwise aesthetically improving the view of the podium wall separating the two courtyard areas. Staff also recommends further study of the stair design to ensure that it provides maximum connectivity between the upper and lower levels of the courtyard. Finally, staff recommends inclusion of a condition of approval requiring the review and approval of the final landscape design for the project.*

Item: _____

SUSTAINABLE OPPORTUNITIES

Economic: The project would encourage economic revitalization of nearby commercial districts in East Oakland by increasing the population in the immediate area thereby expanding the consumer base for neighborhood businesses. The project would also create temporary construction-related work in the short-term which would create both immediate and secondary benefits for the local economy and workforce.

Environmental: The project is a compact, infill development in an already urbanized area thereby reducing the need for development in environmentally sensitive areas located at the edge of the city.

Social Equity: The project would provide additional housing opportunities for low-income households.

DISABILITY AND SENIOR CITIZEN ACCESS

The proposed development would be required to comply with all applicable regulations concerning accessibility.

RECOMMENDATION AND RATIONALE

Staff recommends that the City Council and Redevelopment Agency affirm the Planning Commission's decision and take the necessary actions to approve the project for the following reasons:

- A. Advancing Goals of Oakland General Plan.** The project, including the proposed amendment to the General Plan land use map, advances and conforms with the Oakland General Plan's goals, policies, and objectives. The proposed project furthers the goals of the Land Use and Transportation Element and Housing Element by facilitating new housing construction on an infill site. The project would result in the creation of 72 new affordable housing units thereby increasing affordability in the city for a range of incomes as encouraged by the General Plan.
- B. Remediation and Redevelopment of Underutilized Parcel.** The project would redevelop an underutilized site with a development that is well-designed and attractive.

- C. Neighborhood Improvement.** The project would improve the quality of life of the residents of the existing residential neighborhood located immediately to the west of the site by replacing the existing vacant and underutilized site with a development that is more compatible with the residential neighborhood. The project would also provide new residents in the area. This would enhance safety in the neighborhood by providing additional supervision of public spaces.
- D. Economic Benefits.** The project would encourage economic revitalization of nearby commercial districts in East Oakland by increasing the population in the immediate area thereby expanding the consumer base for neighborhood businesses. The project would also create temporary construction-related work in the short-term which would create both immediate and secondary benefits for the local economy and workforce.
- E. Advancing State and Regional Policy of Providing In-fill Housing.** Pursuant to California Government Code Section 65589.5(c), this development is consistent with the State Legislature's policy of discouraging the premature and unnecessary conversion of prime agricultural lands to urban uses and by in-filling existing urban areas with residential development. The proposed infill development is located within an urbanized area of Oakland where existing public utilities, public transit, and other necessary services are available to meet the needs of the project. Thus, this project fulfills State, regional, and City goals of reducing urban sprawl and promoting clean air policies by approving residential projects which are located near public transit.

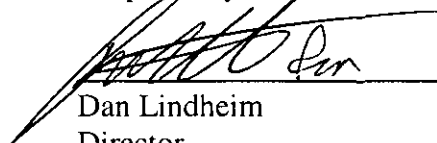
ACTION REQUESTED OF THE CITY COUNCIL AND REDEVELOPMENT AGENCY

Staff recommends that the City Council and Redevelopment Agency take the following actions to approve the project:

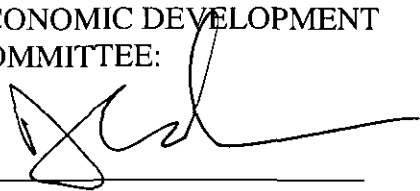
- 1) Adopt a City Resolution Amending the General Plan Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use";
- 2) Adopt an Agency Resolution Approving and Recommending Adoption of an Amendment to the Coliseum Area Redevelopment Plan Revising the Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use";
- 3) Adopt a City Ordinance Adopting an Amendment to the Coliseum Area Redevelopment Plan Revising the Land Use Designation for the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use"; and

- 4) Adopt a City Ordinance Rezoning the Project Site from R-36 Small Lot Residential, R-50 Medium Density Residential, and M-30 General Industrial districts to the C-25 Office Commercial district; and
- 5) Adopt a City Resolution Affirming and Sustaining the Planning Commission Decision to Approve the Development Permits (Design Review, Conditional Use Permit, and Variances) for the Project.

Respectfully submitted,



Dan Lindheim
Director
Community and Economic Development Agency

APPROVED AND FORWARDED
TO THE COMMUNITY AND
ECONOMIC DEVELOPMENT
COMMITTEE:


Office of the City/Agency
Administrator

Reviewed by:
Gary Patton
Deputy Director of Planning and Zoning
Planning & Zoning Division

Prepared by:
Catherine Payne
Planner IV
Planning & Zoning Division

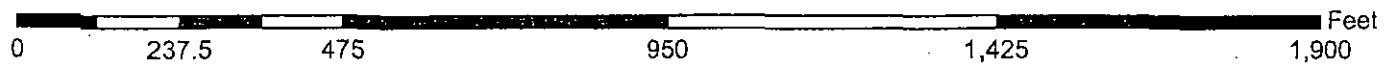
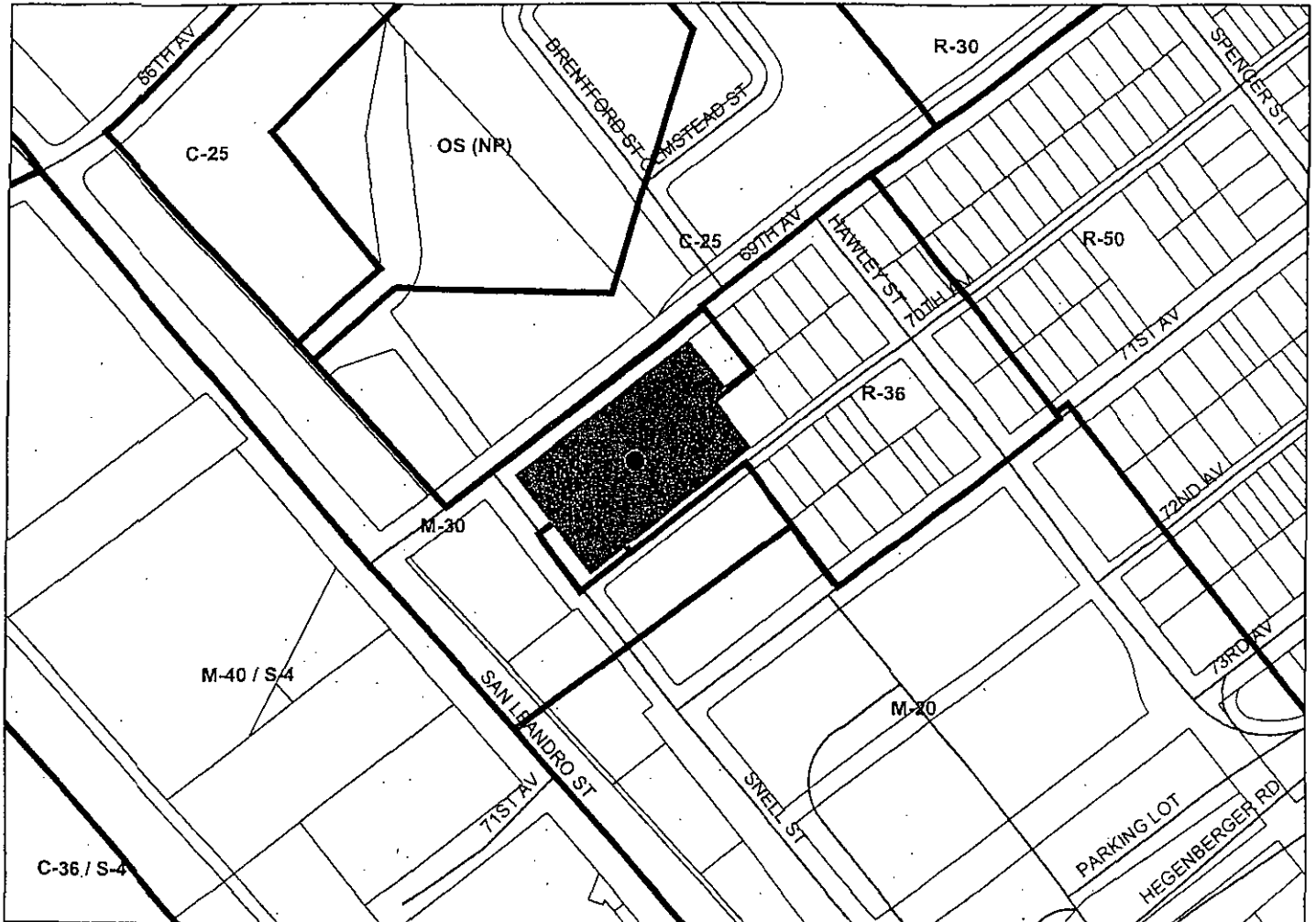
ATTACHMENTS

- A. Vicinity Map
- B. Project Drawings
- C. General Plan and Zoning Map
- D. February 4, 2009, Planning Commission Report including attachments, with changes approved by the Commission at that meeting:
 - a. Attachment A: Project Plans
 - b. Attachment B: MND/FONSI and Addendum
 - c. Attachment C: Design Review Committee Report and attachments dated October 22, 2008

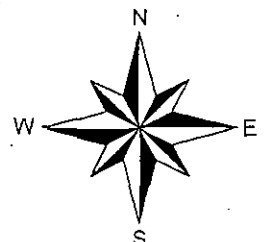
Item: _____

Community and Economic Development Committee
February 24, 2009

CITY OF OAKLAND PLANNING COMMISSION



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: M-30 / R-36



BUILDING CODE SUMMARY

Building Code Summary

1. Applicable Codes:
 2007 California Building Code
 2007 California Electrical Code
 2007 California Mechanical Code
 2007 California Plumbing Code
 2007 California Fire Code

2. Building Summary:

Building A	
Participate Occupancy	S-2
Construction Type	Type V-A 1-HR
Sprinkled	yes, NFPA 13
Ventilation	Mechanical
Occupant Load	7
Number of Exits Required	2
Number of Exits Provided	2
Residential Units	
Occupancy	R-2
Construction Type	Type V-A 1-HR
Sprinkled	yes, NFPA 13
Office	
Occupancy	B
Construction Type	Type V-A 1-HR
Sprinkled	yes, NFPA 13
Allowable Area and Height	
Based on main occupancy as accordance with Section 503.1, main occupancy is R-2	508.3.1.2
Number of Stories Allowed	3 Stories (Table 503)
Automatic Sprinkler Increase	4 Stories (504.2)
Add 1 Story and 20' feet to exceed 60'	49'
Number of Stories Proposed	4 Stories
Maximum Allowable Height	60' (504.2)
Maximum Proposed Height	49'
Base Allowable Area	12,000 sf (Table 503)
Frontage Increase	2,796 (506.2)
Sprinkler Increase	24,000 (506.2 & 506.5)
Area for Additional Floors	116,388 (506.4)
Total Allowable Area	155,184 sf
Proposed Area	
Building B	
Occupancy	R-2
Construction Type	Type V-A 1-HR
Number of Stories Allowed	3 Stories (Table 503)
Number of Stories Proposed	3 Stories
Maximum Allowable Height	50' (Table 503)
Maximum Proposed Height	33'
Base Allowable Area	12,000 sf (Table 503)
Frontage Increase	3,800 (506.2)
Area for Additional Floors	30,000 (506.4)
Total Allowable Area	45,800 sf
Proposed Area	
Sprinkled	yes, NFPA 13R (No increase for sprinkler w/ used)
Building C	
Occupancy	R-2
Construction Type	Type V-A 1-HR
Number of Stories Allowed	3 Stories (Table 503)
Number of Stories Proposed	3 Stories
Maximum Allowable Height	50' (Table 503)
Maximum Proposed Height	33'
Base Allowable Area	12,000 sf (Table 503)
Frontage Increase	1,716 (506.2)
Area for Additional Floors	27,432 (506.4)
Total Allowable Area	41,148 sf
Proposed Area	
Sprinkled	yes, NFPA 13R (No increase for sprinkler w/ used)
Building D	
Occupancy	R-2
Construction Type	Type V-A 1-HR
Number of Stories Allowed	3 Stories (Table 503)
Number of Stories Proposed	3 Stories
Maximum Allowable Height	50' (Table 503)
Maximum Proposed Height	33'
Base Allowable Area	12,000 sf (Table 503)
Frontage Increase	None Taken
Area for Additional Floors	24,000 (506.4)
Total Allowable Area	36,000 sf
Proposed Area	
Sprinkled	yes, NFPA 13R (No increase for sprinkler w/ used)

3. Occupancy Separation Table 508.3.3

S-2/R-2	1 Hour
S-2/B	1 Hour
R-2/B	1 Hour

4. Shaft Enclosures 707.4

Shaft enclosures shall have a fire resistance rating of not less than two hours when connecting two stories or more, and not less than one hour when connecting less than two stories.

Shaft 1 - Garage Exhaust
 Shaft 2 - Trash Chute
 Shaft 3 - Elevator Shaft

Shaft enclosures shall have a fire resistance rating of not less than two hours when connecting two stories or more, and not less than one hour when connecting less than two stories. Shaft enclosures shall be provided from garage ceiling to underside of roof deck above.

5. Refuse and Laundry Chutes 707.13

Access openings for refuse chutes shall be in rooms with a fire resistance rating of one hour. Openings into the access rooms shall have a fire protection rating of not less than 3/4 hours. Doors shall be self-closing upon the detection of smoke.

Termination rooms for refuse chutes shall have a fire resistance rating of one hour. Openings into the termination rooms shall have a fire protection rating of not less than 3/4 hours. Doors shall be self-closing upon the detection of smoke.

6. Standpipe Systems 905

Class 1 standpipes are allowed in buildings equipped with an automatic sprinkler system. A hose connection is provided in every required stair, on each floor above grade. The outlet is provided at the roof level of Building A (roof slope < 4:12).

7. Fire Alarm and Detection Systems 907

Smoke alarm provided on the ceiling or wall outside of each separate sleeping area, in each room used for sleeping, in each story within a dwelling unit, and in enclosed common stairwells.

8. Egress Width 1005

Building A
 Occupant load 1
 Required 1 x 2 (Table 1005.1)
 Provided 44" min. stairwells

9. Exit Stairways 1007.3

Per Exception 3.41" exit is not required in buildings with an automatic sprinkler system, stairways shall not be less than 44" wide per Section 1009.1.

10. Stairway to Roof 1009.11

One stairway extending to the roof level is provided in Building A.

11. Fall and Fall Arrest Doorways 1013

Exit doors shall be placed a distance apart not less than one third the length of the overall diagonal distance of the area served in a building with automatic sprinkler system (Section 1015.2.1 Exception #2).

12. Fall Arrest Travel Distances 1014

Maximum allowable travel distance in R-2 occupancy with an automatic sprinkler system is 250'; maximum allowable travel distance in B occupancy with an automatic sprinkler system is 300'; maximum allowable travel distance in S-2 occupancy with an automatic sprinkler system is 400'.

ZONING CODE SUMMARY

Zoning Code Summary:

Assessor's Parcel Number: 081-4166-7 through 15-1

Zoning and General Plan Amendments: R, M, R-70 & M-30
 Existing Zoning: Housing and Business Mix
 Planned Zoning: C-28
 Proposed Zoning: Neighborhood Center Mixed Use

Height and Setbacks:

Maximum Height Allowed for Proposed Zoning: 40' Maximum
 Maximum Height Allowed for Existing Zoning: 25'-4" to top of highest parapet
 Required Front Setback for Proposed Zoning: 18' Minimum
 Required Side Setback for Proposed Zoning: 18' Minimum
 Required Rear Setback for Proposed Zoning: 18' Minimum
 Lot Area: 8' to 5'
 60' x 70' Avenues: 8' to 2'-4"
 70' Avenues: 2'-4"
 Side Setback: 8'

Residential Density:

Maximum Density for Proposed Zoning: See Area Requested Per Unit 450 sf
 Number of Units Allowed: 54,399 / 430 = 121 Units Maximum
 Number of Units Proposed: 73 Units

Proposed Unit Mix:

1 st Floor	2 nd Floor	3 rd Floor	4 th Floor	Attic/Balk
13R Flat A	2	5	6	916 SF
13R Flat B	2	5	6	731 SF
23R Flat A	1	1	1	940 SF
23R Flat B	1	1	1	906 SF
23R Flat C	2	2	2	912 SF
23R Flat D	1	1	1	883 SF
23R Flat E	1	1	1	883 SF
23R TH A**	10	2	2	961 SF
23R TH B**	1	1	1	1274 SF
33R TH A**	14	1	1	1264 SF
33R TH B**	4	1	1	1228 SF
33R TH C	10	1	1	1514 SF
Subtotal:	29	19	13	73 Units

*Indicates non-elevator served multi-story units of which 10% are required to have accessible first floor levels.

**Indicates elevator served multi-story units of which 100% are required to have accessible first floor levels.

Parking:

Off-Street Parking Required for Proposed Zoning: C-28
 Based on R-70 requirements: 1.5 spaces per unit = 108
 Based on C-28 requirements: 1 space per unit = 73 Spaces Minimum

Off-Street Parking Provided:

Handicapped	1
Regular (Including 36 in Parking Stacks)	41
Compact	24
Total Off-Street:	72 Spaces
Street Parking Provided:	41 Spaces

10 on 60' Avenue
 5 on Small Street
 12 on 70' Avenue
 10 on Lion Way

Total Parking Provided (on- and off- street): 114 Spaces

Open Space:

Open Space Required for Proposed Zoning: C-28
 Based on R-70 requirements: 150 sf per Unit = 18,000 SF Minimum
 Based on PUD requirements: 270 sf per Unit = 14,400 SF

Open Space Provided:

Group Open Space:	7,089 SF
Group Open Space at Grade:	2,403 SF
Group Open Space at Grades:	4,400 SF
Total Group Open Space:	13,892 SF
Private Open Space:	20,375 SF
Private Open Space at Street Side Porches:	20,25 SF
Private Open Space at Internal Porches:	6,020 SF
Private Open Space at Balconies:	15,960 SF
Total Private Open Space:	10,175 SF
Double per Zoning Regulations:	20,375 SF
Total Open Space Provided:	27,259 SF

Indoor Common Spaces:

Condition Room at Lower Court:	871 SF
Condition Room at Upper Court:	1,061 SF
Laundry Rooms (2 area):	511 SF
Total Indoor Common Space Provided:	2,443 SF



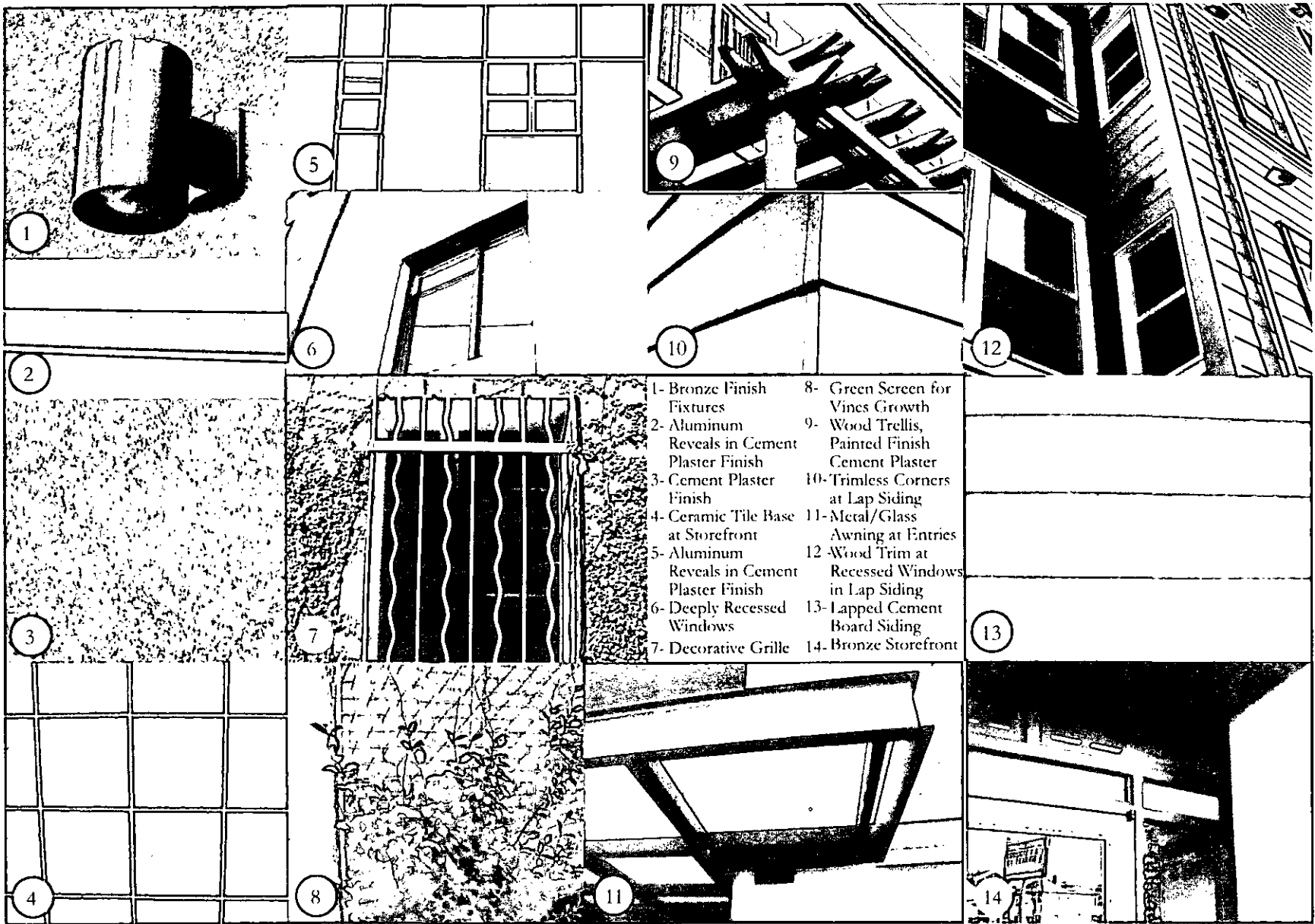
OWNERS
EAST BAY ASIAN LOCAL DEVELOPMENT CORPORATION
 WITH RELATED CALIFORNIA
 310 8th STREET
 SUITE 200
 OAKLAND, CA 94607
 510.287.5353 PH.
 510.763.4143 FAX

LION CREEK CROSSINGS
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

BUILDING CODE AND ZONING SUMMARIES

DATE	DESCRIPTION	DATE
	FORM SUBMITTAL	02.25.07
	SCHEMATIC DESIGN	07.02.08
	PLANNING SUBMITTAL	08.04.08
	REV. PLANNING SUBMITTAL	08.08.08
	DESIGN DEVELOPMENT	02.07.09

DATE: 02.25.09
 JOB NO.: 07-10
 DRAWN:
 DESIGN NO.: **G0.02**



- 1- Bronze Finish Fixtures
- 2- Aluminum Reveals in Cement Plaster Finish
- 3- Cement Plaster Finish
- 4- Ceramic Tile Base at Storefront
- 5- Aluminum Reveals in Cement Plaster Finish
- 6- Deeply Recessed Windows
- 7- Decorative Grille
- 8- Green Screen for Vines Growth
- 9- Wood Trellis, Painted Finish Cement Plaster
- 10- Trimless Corners at Lap Siding
- 11- Metal/Glass Awning at Entries Recessed Windows in Lap Siding
- 12- Wood Trim at Recessed Windows in Lap Siding
- 13- Lapped Cement Board Siding
- 14- Bronze Storefront

TDA Thomas Dolan Architects
 1000 14th Street
 Oakland, CA 94612
 Tel: 510.434.7200
 Fax: 510.434.7201
 www.tda.com

OWNER
 EAST BAY ASIAN LOCAL DEVELOPMENT CORPORATION
 9711
 RELATED CALIFORNIA

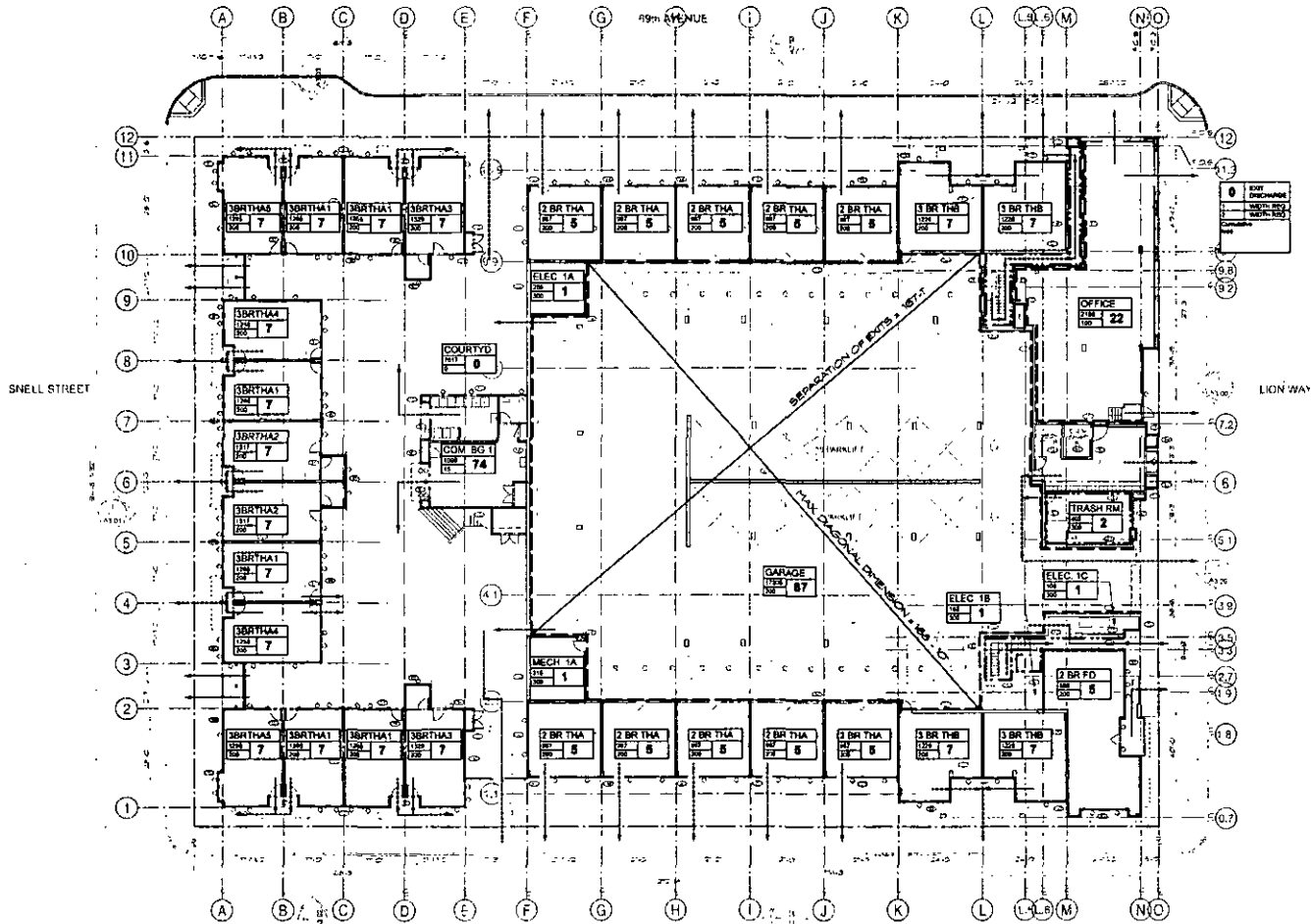
1100 S STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 PH
 510.287.4143 FAX

LION CREEK CROSSINGS
 CUSTOM GARDENS
 PHASE IV
 OAKLAND, CA

MATERIALS BOARD

DATE	DESCRIPTION	DATE
02/01/06	NO. 0000000000	02/01/06
07/01/06	SUMMARY DESIGN	07/01/06
07/01/06	PRELIMINARY MATERIALS BOARD	07/01/06
07/01/06	REV. 0000000000	07/01/06

DATE: 07/01/06
 PDS NO: 07/01/06
 DRAWN:



TDA Thomas Dolan Architects
 Architects
 Urban Design
 Planning and
 Construction
 Consultants
 415 438 6372 FAX
 415 438 6378
 415 438 6379
 www.thomasdolan.com
 Encinitas, CA
 175 Filbert Street
 Encinitas, California
 94607 U.S.A.

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA
 310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 PH.
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA
 CODE ANALYSIS -
 GROUND FLOOR

1 CODE ANALYSIS - GROUND FLOOR
 SCALE: 1/16" = 1'-0"

LEGEND

2 HOUR SEPERATION

1 HOUR SEPERATION

EXIT PATH AND DIRECTION
 CUMULATIVE OCCUPANT
 LOAD AT THIS LOCATION

TOTAL
 UNIT/
 ROOM
 AREA

OCCUPANT
 LOAD
 FACTOR

OCCUPANT
 LOAD AT
 EXIT

MIN. EGRESS
 WIDTH:
 CL. < 0.15 OF
 OCCUPANT
 PROVIDED EGRESS
 WIDTH
 COMMENT

UNIT/ROOM
 TYPE

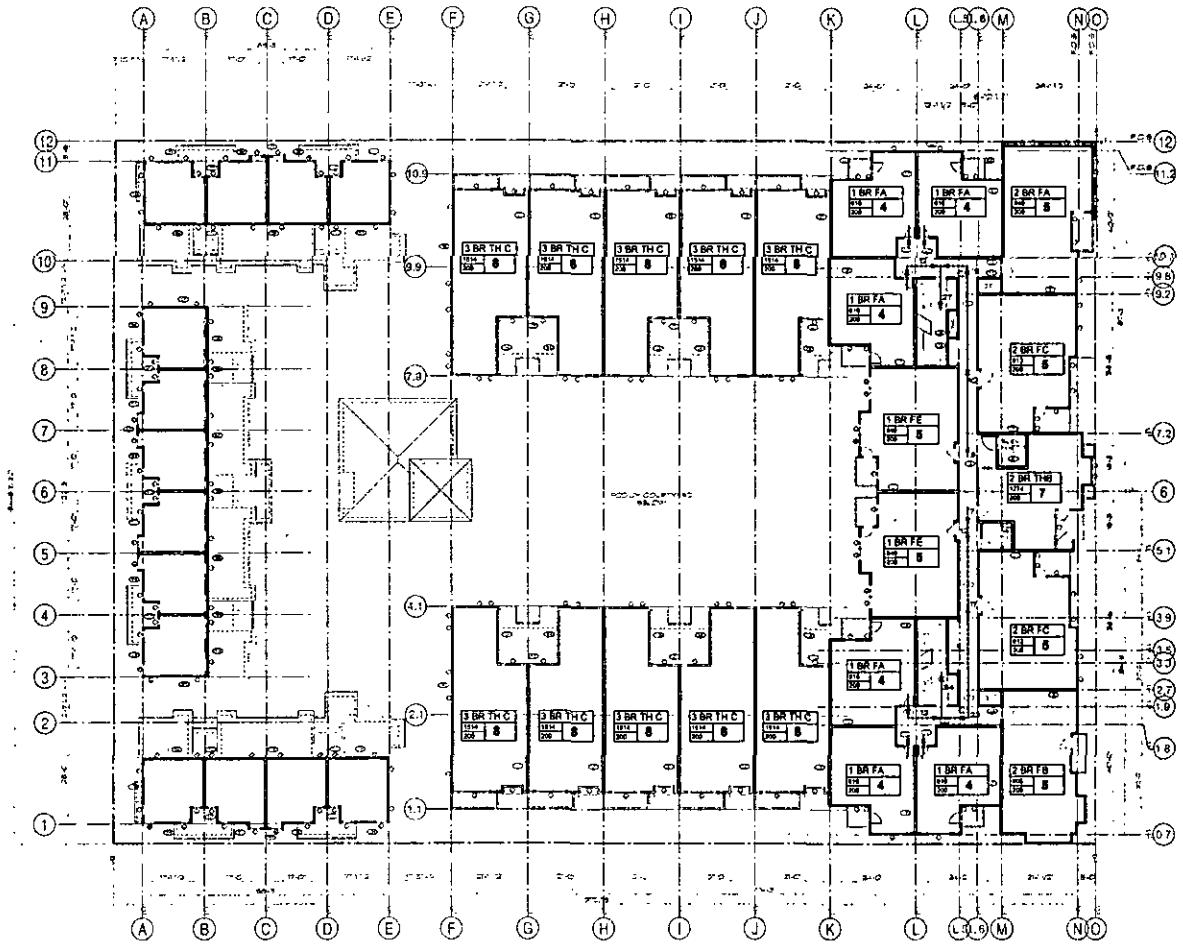
OCCUPANT
 LOAD
 (AREA x OLF)

3 BR
 THA
 7

REV	DESCRIPTION	DATE
01	ISSUE FOR PERMIT	08.23.07
02	SCHEMATIC DESIGN	07.02.08
03	PLANNING PERMIT	09.01.08
04	KEY PLANNING PERMIT	08.01.08
05	DESIGN DEVELOPMENT	08.07.08

DATE: 08.07.08
 JOB NO: 07.128
 DRAWN:

EXIST NO. **G1.0**



1 CODE ANALYSIS - THIRD FLOOR
SCALE: 1/16" = 1'-0"

LEGEND

2 HOUR SEPERATION

1 HOUR SEPERATION

EXIT PATH AND DIRECTION
CUMULATIVE OCCUPANT
LOAD AT THIS LOCATION

TOTAL
UNITS
ROOM
AREA

OCCUPANT
LOAD
FACTOR

OCCUPANT
LOAD AT
EXIT

MIN. EGRESS
WIDTH
Q.L. x Q.L.S. OF
CORRIDORS
PROVIDED EGRESS
WITH
COMMENT

UNROOM
TYPE

OCCUPANT
LOAD
(AREA x QLF)

TDA Thomas Dolan
Architects
Architect
Urban Design
Planning and
Development
Consultants
440 CLAY ST. 2ND
FL. OAKLAND, CA 94612
WWW.TDA-ARCH.COM

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 14th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PH.
510.763.4143 FAX

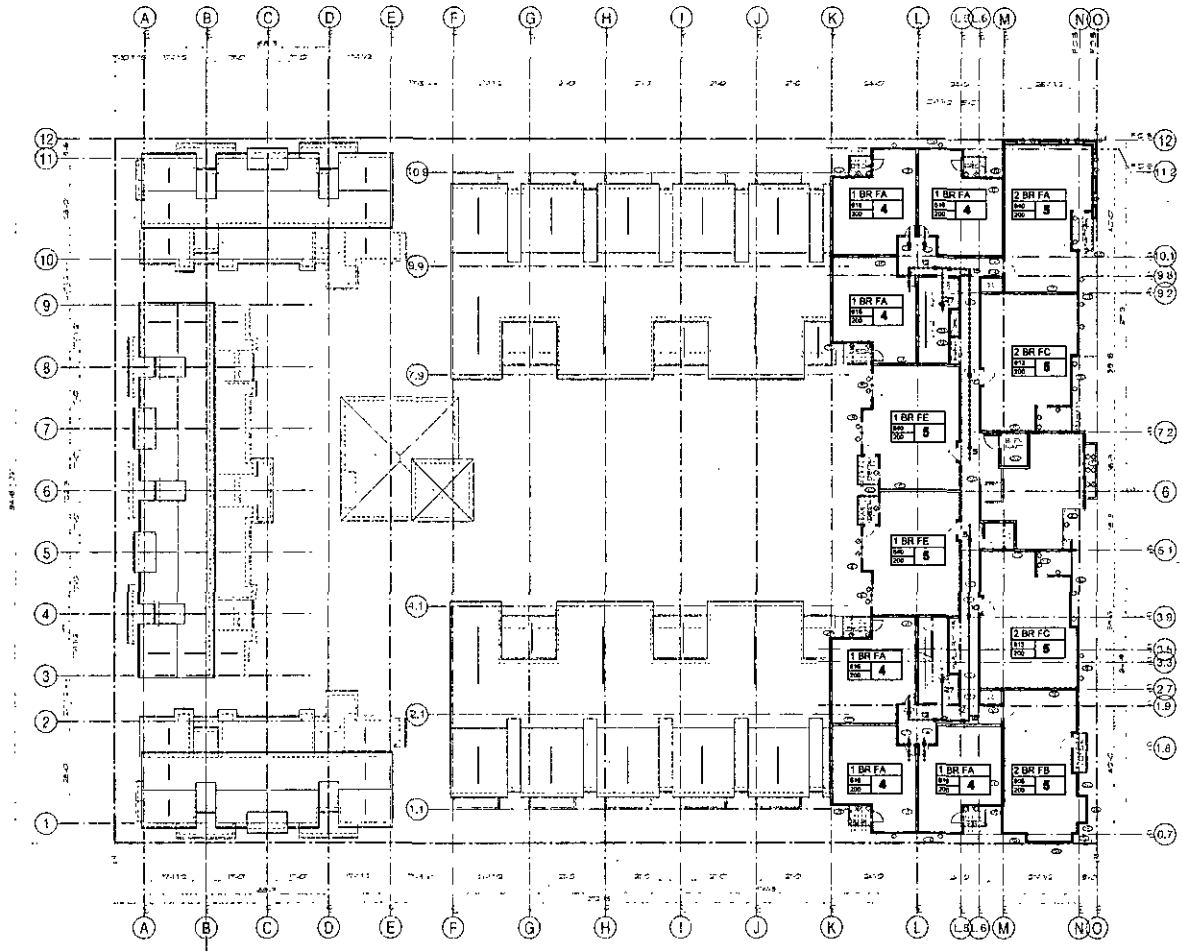
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

CODE ANALYSIS -
THIRD FLOOR

DATE	DESCRIPTION	DATE
	WORK SUBMITTAL	03.25.07
	SCHEMATIC DESIGN	07.25.06
	PLANNING SUBMITTAL	09.04.06
	KEY PLANNING SUBMITTAL	10.02.06
	DESIGN DEVELOPMENT	01.07.07

DATE: 01.07.07
JOB NO. 07.128
DRAWN

SHEET NO. **G3.0**



1 CODE ANALYSIS - FOURTH FLOOR
SCALE: 1/16" = 1'-0"

LEGEND

2 HOUR SEPERATION

1 HOUR SEPERATION

EXIT PATH AND DIRECTION
CUMULATIVE OCCUPANT
LOAD AT THIS LOCATION

TOTAL
UNITY
ROOM
AREA

OCCUPANT
LOAD
FACTOR

OCCUPANT
LOAD AT
EXIT

MIN. EGRESS
WIDTH
O.L. x 0.15
PROVIDED EGRESS
WIDTH
COMMENT

UNROOM
TYPE

OCCUPANT
LOAD
(AREA x OLF)

5 BR
7

TDA Thomas Daley
Architecture
Urban Design
Planning and
Development
Consultants
1510 8th Street
San Francisco, CA 94103
www.thomasdaley.com
San Francisco, CA
1775 Fillmore Street
Oakland, California
94612 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310 9th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5553 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA
CODE ANALYSIS -
FOURTH FLOOR

DATE	DESCRIPTION	DATE
08.28.07	NOVA SUBMITTAL	08.28.07
07.02.08	SCHEMATIC DESIGN	07.02.08
09.04.08	PLANNING SUBMITTAL	09.04.08
10.21.08	REV PLANNING SUBMITTAL	10.21.08
01.07.09	DESIGN DEVELOPMENT	01.07.09

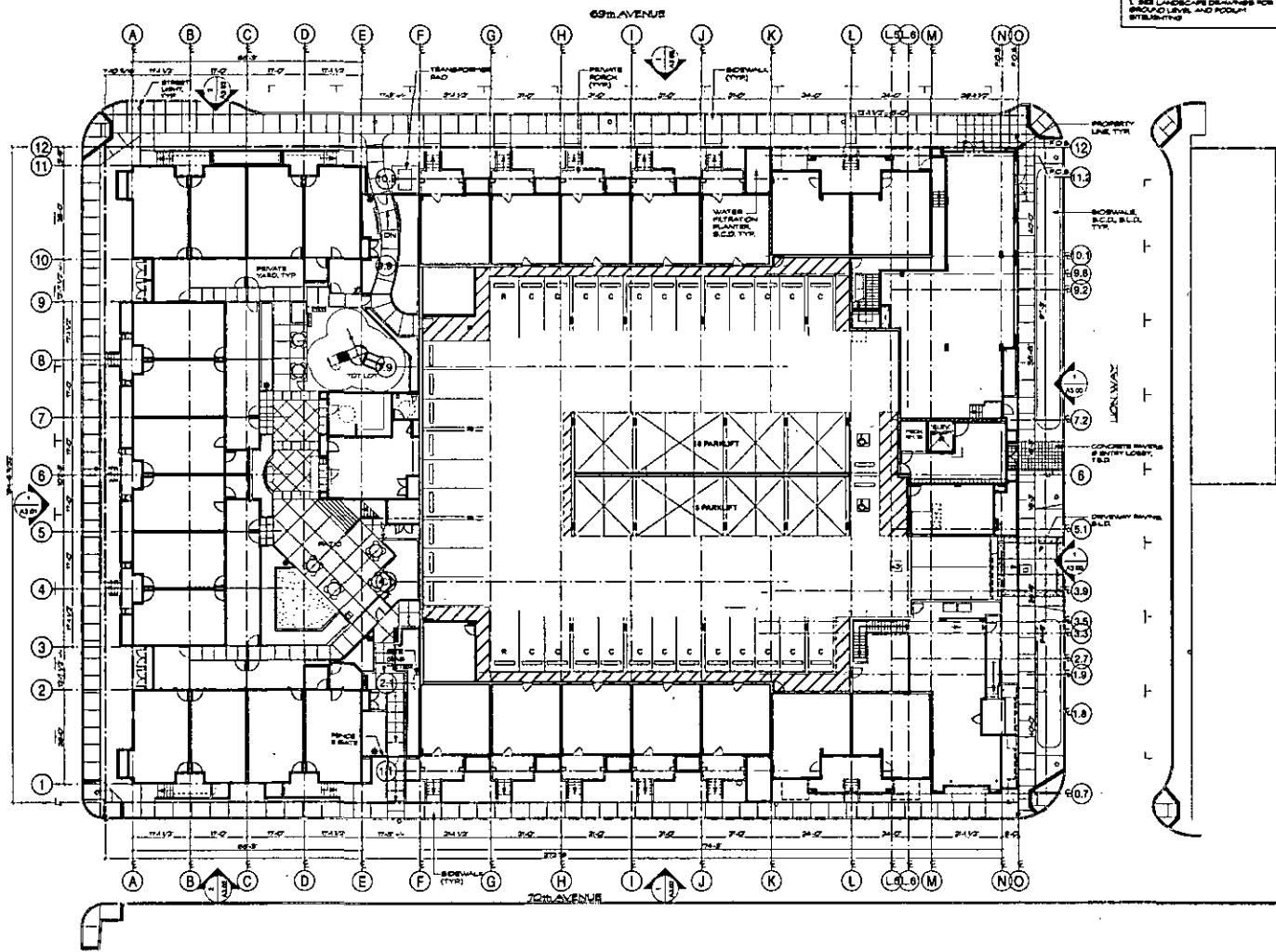
DATE: 01.07.09
JOB NO.: 07.128
DRAWN:

8HEET NO. **G4.0**



TDA Thomas Dolan
Architects
Architecture
Urban Design
Planning and
Development
Consultants
440 16th Street
Oakland, CA 94612
Tel: 415.778.7200
Fax: 415.778.7201
www.tda-arch.com
Established 1966
111 Mission Street
Oakland, California
94607 U.S.A.

NOTES
1. SEE LANDSCAPE DRAWINGS FOR
GROUND LEVELS AND PODIUM
STRENGTHING



1 GROUND SITE PLAN
Scale: 1/16" = 1'-0"

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 9th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PH
510.763.4143 FAX

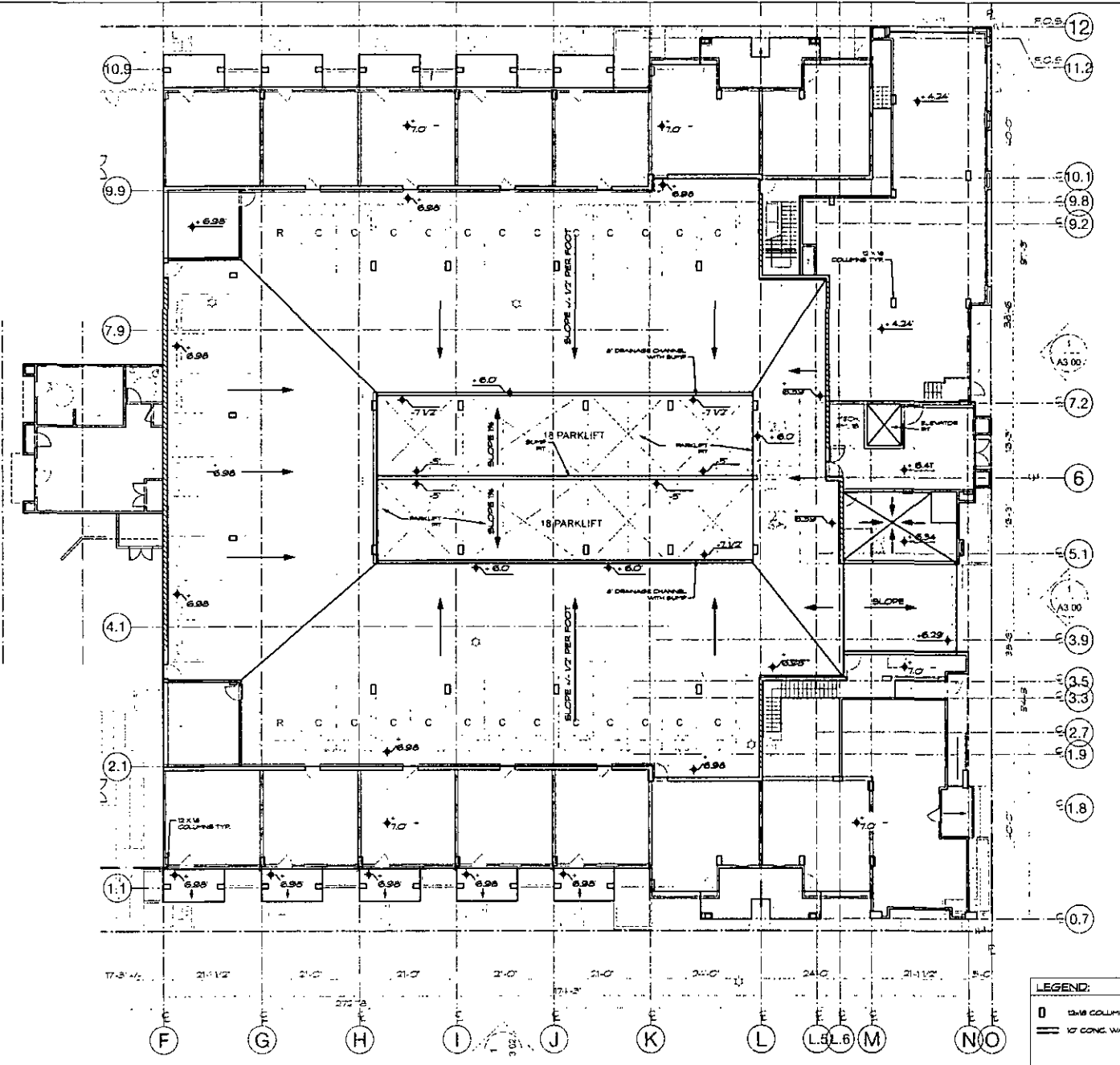
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**GROUND FLOOR
SITE PLAN**

REV	DESCRIPTION	DATE
01	NOVA SUBMITTAL	10.13.07
02	SCHEMATIC DESIGN	07.30.08
03	PLANNING SUBMITTAL	09.04.08
04	KEY PLANNING SUBMITTAL	10.21.08
05	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
JOB NO.: 07.128
DRAWN:

A1.10



1 GROUND LEVEL SLAB PLAN
SCALE: 1" = 10 FT.

TDA Thomas Debes Architects
Architects
Urban Design
Planning and
Development
Consultants
44 (510) 437-7200
44 (510) 437-7200
44 (510) 437-7200
www.thedebs.com

Estimate: Win
173 Filbert Street
Oakland, California
94607 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 6th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PH.
510.763.4143 FAX

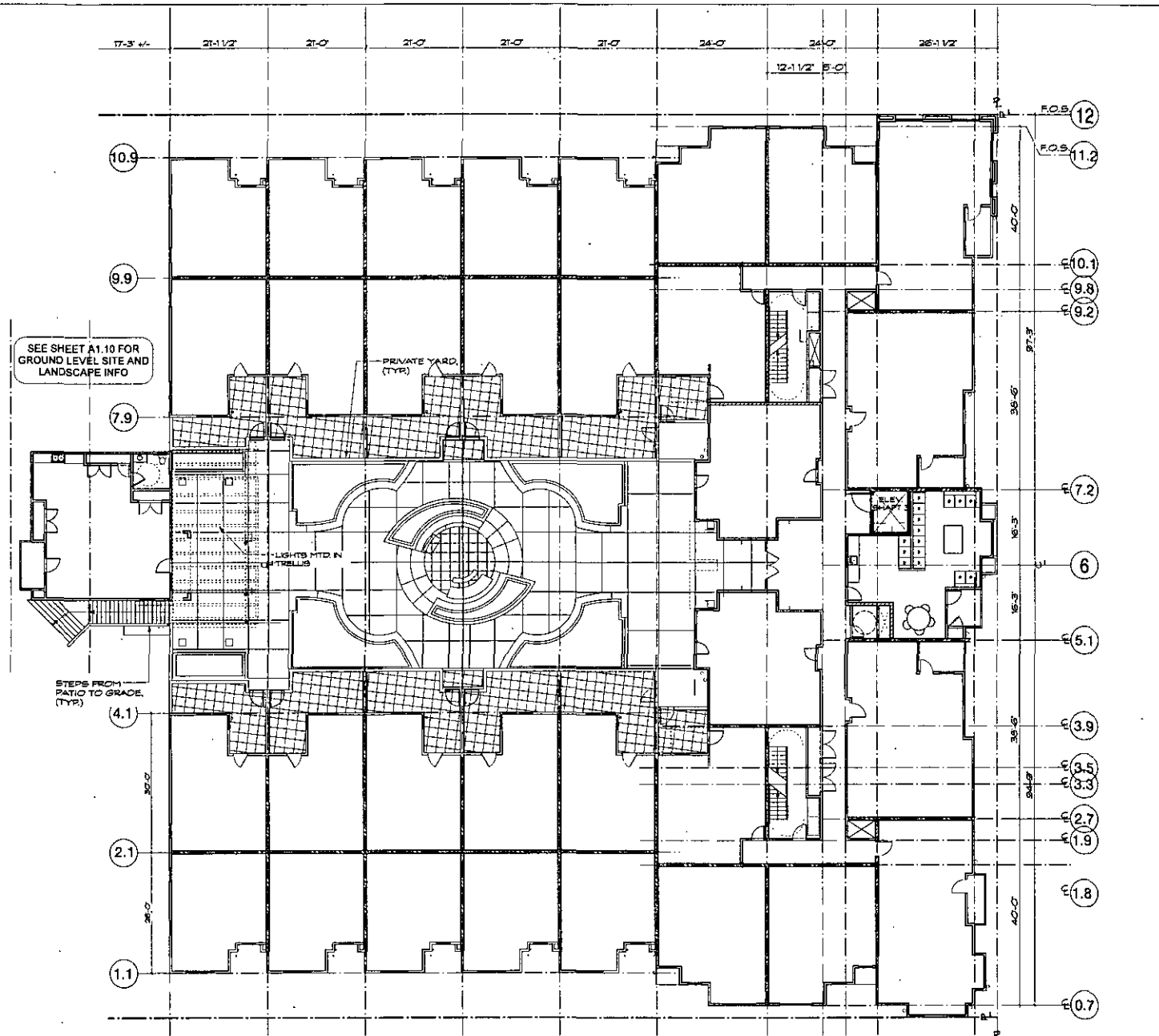
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

GROUND LEVEL
SLAB PLAN
BUILDING A

DATE	DESCRIPTION	DATE
10.22.07	NOVA SUBMITTAL	10.22.07
07.03.08	SCHEMATIC DESIGN	07.03.08
08.04.08	PLANNING PERMITTAL	08.04.08
10.04.08	KEY PLANNING PERMITTAL	10.04.08

LEGEND:
 12x12 COLUMN
 12\"/>

DATE: 10/01/08
JOB NO. 07.128
DRAWN
SHEET NO. A1.11



SEE SHEET A1.10 FOR
GROUND LEVEL SITE AND
LANDSCAPE INFO

PRIVATE YARD,
(TYP.)

LIGHTS MID. IN
TRUSS

STEPS FROM
PATIO TO GRADE
(TYP.)

NOTES:
1. SEE LANDSCAPE DRAWINGS FOR
GRADING LEVELS AND POODIUM
SITE LIGHTING

ELECTRICAL LEGEND:

- OVERHEAD LIGHT
- WALL MOUNTED LIGHT
- STREET LIGHT

TDA Thomas Dolan
Architects

Architects
Urban Design
Planning and
Development
Consultants

4151 838 7300
4151 429 7588
www.thomasdolan.com

Embarkation Way
173 Elbert Street
Oakland, California
94607 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

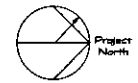
310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**PODIUM LEVEL
SITE PLAN**

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	03.21.07
	SCHEMATIC DESIGN	07.08.06
	PLANNING SUBMITTAL	07.26.06
	REV. PLANNING SUBMITTAL	08.21.06
	DESIGN DEVELOPMENT	08.20.06



1 SECOND FLOOR PODIUM SITE PLAN
Scale: 1" = 10' 0"

DATE: 01.07.09
JOB NO.: 07.18
DRAWN:
SHEET NO. **A1.20**



Thomas Dolan
Architecture
Urban Design
Planning and
Development Consultant
44 (510) 439 7200
44 (510) 439 7208
44 (510) 439 7209
www.tda-arch.com
Estimote Wx
173 Mill Street
Oakland, California
94612 U.S.A.

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5555 PHL
510.763.4143 FAX

**LION CREEK
CROSSINGS**

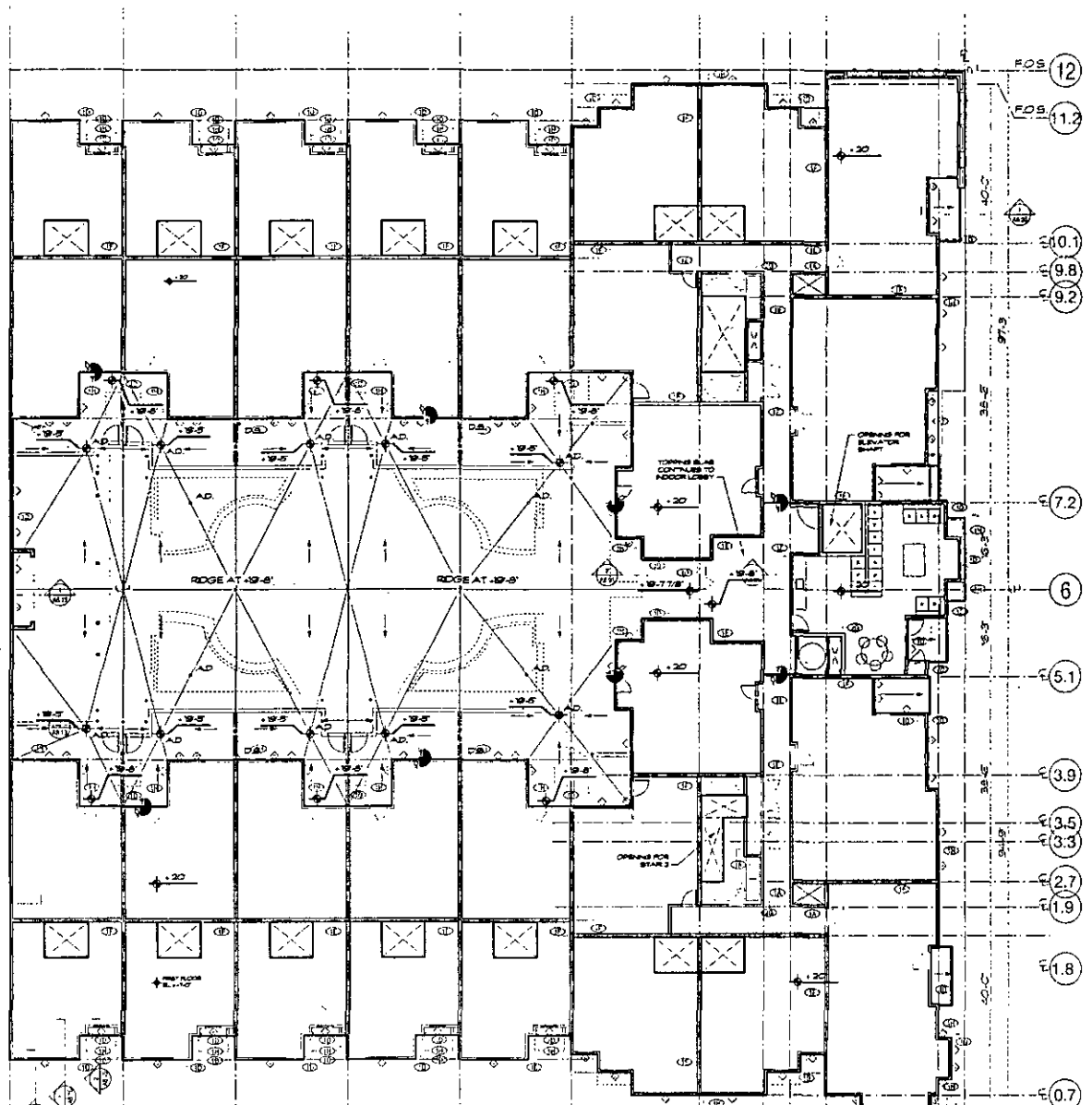
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

PODIUM LEVEL
SLAB PLAN

REV	DESCRIPTION	DATE
	NOI SUBMITTAL	08.23.07
	SCHEMATIC DESIGN	07.02.06
	PLANNING SUBMITTAL	06.04.06
	REV. PLANNING SUBMITTAL	06.01.06
	DESIGN DEVELOPMENT	01.30.07

DATE: 01.07.09
JOB NO.: 07.12
DRAWN:

SHEET NO. **A1.21**



- LEGEND:**
- AD DRAIN TYPE
 - ELEVATION CHANGE INDICATOR STEP OR CURB
 - D.A. DOWNSPOUT FROM ROOF
 - OPENING IN PODIUM
 - PODIUM LEVEL
 - PLANTER WITH DRAIN
 - ELEVATION MARKER

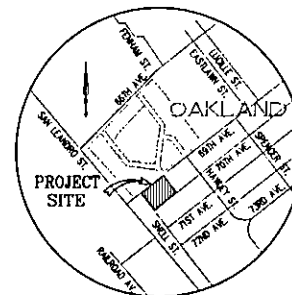
- NOTES:**
1. SEE PODIUM IMPROVEMENT PLAN ALSO FOR PLANTERS, FENCES, & POSTS.
 2. SEE CIVIL DRAWINGS FOR ON-GRADE DRAINAGE.
 3. SLOPE TO BE MINIMUM OF 1/8" PER FOOT (M), MAX. CROSS SLOPE TO BE 1/4" PER FOOT (2%) PER ADA.
 4. ALL CURBS TO BE 4.0' HIGH, UNLESS OTHERWISE NOTED. WIDTHS AS SHOWN. SEE DETAILS NOTED.
 5. ALL HEIGHTS NOTED ARE RELATIVE TO BLDG. SLAB DATUM OF -20'-0".

1 PODIUM LEVEL SLAB PLAN
SCALE: 1" = 10'

GENERAL NOTES:

1. DESIGNER: ELEVATION SHOWN HEREON ARE BASED ON CITY OF OAKLAND BENCH MARK 1257 FOUND 99 IN A CONCRETE POST IN A STAMING CITY MERCHANT CASTING, 3 FEET EAST OF THE CORNERLINE OF 99 IN HOME AND 3 FEET SOUTH OF THE CORNERLINE OF MARKET STREET, AT ELEVATIONS 524.11 FEET.
2. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ACCURACY OF THIS DESIGN CONTAINED HEREON.
3. THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, TO ASSUME BUILT AND COMPLETE RESPONSIBILITY FOR THE CONSTRUCTION DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS RESPONSIBILITY SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DESIGN, SECURITY AND HOLD THE DESIGN PROFESSIONAL WARRANTIES FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.
4. CONTRACTORS SHALL BE INDICATEDLY ORDERED BRACED AND SHUTTED SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL AFFECT THE NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. CONTRACTOR SHORING AND BRACING SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDINANCES OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REGULATIONS.
5. CONTRACTORS NOTICED ARE FOR INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE LOCATION AND DEPTH WITH THE APPROPRIATE AGENCIES. ENGINEER HAS CONDUCTED HIS DESIGNER ASSUMES RESPONSIBILITY THAT THE CONSTRUCTION OPERATIONS WILL BE CONDUCTED IN ACCORDANCE WITH THE CITY ENGINEER'S ORDINANCES.
6. THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES, PIPES AND/OR STRUCTURES SHOWN ON THIS SURVEY WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (800-486-4844) FOR UTILITY LOCATIONS 48 HOURS PRIOR TO POINTE OF CONSTRUCTION. THE U.S.A. NUMBER SHALL BE KEPT ON THE JOB SITE. THE CONTRACTOR SHALL NOTIFY THE UTILITY LOCATOR, SIZE, AND DEPTH OF ANY UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES. CONTRACTOR NOT SHOW HEREON. CONTRACTOR MAY HAVE TO RELocate EXISTING UTILITIES OR FIELD ADJUST PROPOSED IMPROVEMENT AS REQUIRED. CONTRACTOR SHALL NOTIFY THE ENGINEER AT (510) 774-3388 PRIOR TO CONTINUING THE CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION WITH ALL NECESSARY UTILITY COMPANIES FOR ANY RELOCATION OF THEIR FACILITIES.
7. THE CONTRACTOR SHALL EXPOSE AND CHECK INVERTS ON EXISTING STORM DRAIN, SEWER, WATER MAIN, SANITARY WASTEWATER AND EXISTING GAS LINES OR OTHER UTILITIES BEFORE CONSTRUCTING NEW UTILITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING EXISTING STREETS, SURROUNDING LANDSCAPE AND OTHER IMPROVEMENTS WITH A SUFFICIENT PROVISION FOR PARKING, CROSSING, SIDEWALKS, GRADING, ETC., AND TO MAINTAIN ANY ADJUSTMENT CHANGES IN GRADINGS OR CROSS SLOPES UPON COMPLETION OF CONSTRUCTION.
9. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR FINAL GRADE OF CONCRETE UNLESS FORMS ARE CHECKED BY THE ENGINEER PRIOR TO POURING.
10. THE CONTRACTOR SHALL POST SUFFICIENT TELEPHONE NUMBERS FOR PUBLIC BELL, AMBULANCE, POLICE AND FIRE DEPARTMENTS AT THE JOB SITE.
11. THE CONTRACTOR SHALL PROVIDE, AT ALL TIMES, LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY FOR CALIFORNIA TRAFFIC CONTROL SPECIFICATIONS LATEST EDITION. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN PROPER TRAFFIC CONTROL AT ALL TIMES.
12. THE CONTRACTOR SHALL PROVIDE FOR ACCESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO THE SITE THROUGHOUT THE PERIOD OF CONSTRUCTION.
13. PRIOR TO COMMENCEMENT OF ANY WORK ON ADJACENT PROPERTIES, THE OWNER SHALL OBTAIN WRITTEN PERMISSION FROM AFFECTED PROPERTY OWNERS.
14. CONSTRUCTION OPERATIONS SHALL BE LIMITED TO WEEKDAYS (MONDAY THROUGH FRIDAY) EXCEPT CITY HOLIDAYS AND THE HOURS FROM 7:00 AM TO 7:00 PM (CONTRACTOR SHALL NOTIFY THESE HOURS WITH THE CITY PRIOR TO CONSTRUCTION) UNLESS OTHERWISE APPROVED IN WRITING BY THE CITY ENGINEER OR AS OTHERWISE SPECIFIED IN THE CONDITIONS OF APPROVAL.

COLISEUM GARDENS (PHASE IV) IMPROVEMENT PLANS OAKLAND, CALIFORNIA



VICINITY MAP
NOT TO SCALE

LEGEND:

SYMBOLS	DESCRIPTION
—	RIGHT OF WAY
—	BOUNDARY LINE
—	EXISTING LINE
—	CONCRETE
—	BUILDING LINE
—	OVERLINE LINE
—	ELECTRIC
—	FOUR STANDARD CITY NOMINAL
—	CONCRETE
—	PIPE
—	CANON MARK
—	AREA DRAIN
—	WATER MAIN
—	WATER MAIN
—	SAFETY SERRS CLEAOUT
—	RESPONSE WAREBLE
—	PACIFIC GAS AND ELECTRIC WAREBLE
—	WAREBLE
—	WARRANT TO MOUNTANT
—	PAVING
—	PIPE
—	ASPHALT CONCRETE
—	FRESH FLOOR
—	TOTAL
—	POINT OF BEGINNING
—	REARF SIDEWALK BOX
—	STREET LIGHT
—	STREET LIGHT BOX
—	PACIFIC GAS AND ELECTRIC BOX
—	CONT. POLE
—	TELEPHONE CABLE BOX
—	CONCRETE
—	UTILITY BOX
—	ROOF DRAIN
—	WELLHEAD
—	WATER BOX
—	PARKING METER
—	GA VALVE
—	FENCE
—	PROPERTY LINE
—	BOX
—	CONCRETE ELEVATION
—	GRAND ELEVATION
—	TOP OF FINISH ELEVATION
—	TOP OF CURB ELEVATION
—	BACK OF WALK ELEVATION
—	FLOW LINE ELEVATION

15. SHOULD IT APPEAR THAT THE WORK TO BE DONE, OR ANY MATTER THEREON, IS NOT FULLY SET FORTH OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE DESIGNER AT (510) 774-3388 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
16. THE CONTRACTOR SHALL PROVIDE THE NECESSARY SAFETY RESTRICTIONS OF EQUIPMENT AND PERSONNEL.
17. PRIOR TO PLACING CURB, SIDEWALK, ASPHALT CONCRETE, SUBBASE OR BASE MATERIAL, ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY SHALL BE INSTALLED, MANHOLE COMPLETED, TESTED AND APPROVED FOR SUCH UTILITY INSTALLATION.
18. IF ARCHITECTURAL MATERIALS ARE UNORDERED DURING GRADING, BRACING, OR OTHER EQUIPMENT OPERATION, REMOVE AND FEET OF THESE MATERIALS SHALL BE COVERED UNTIL A PROFESSIONAL ARCHITECT/ENGINEER HAS BEEN OBTAINED BY THE SOCIETY OF CALIFORNIA ARCHITECTS (S.C.A.) THROUGH THE SOCIETY OF PROFESSIONAL ARCHITECTS (S.P.A.) WHO HAS AN OBLIGATION TO EVALUATE THE SIGNIFICANCE OF THE TIME AND SUGGEST APPROPRIATE MITIGATION MEASURES IF THEY DEEMED NECESSARY.
19. EXISTING CURB AND SIDEWALK WITHIN THE PROJECT LIMITS THAT ARE DAMAGED OR REPLACED, EVEN THOUGH THEY WERE NOT TO BE REPAIRED, SHALL BE REPAIRED OR REPLACED, EVEN IF DAMAGE OR REPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR, AT THE CONTRACTOR'S EXPENSE AS DETERMINED BY THE CITY ENGINEER.
20. ALL IMPROVEMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF OAKLAND AND ALAMEDA FLOOD CONTROL STANDARD SPECIFICATIONS AND DETAILS SUBJECT TO THE INSPECTION AND APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY. ALL REVISIONS MUST BE APPROVED BY THE CITY OF OAKLAND FLOOD CONTROL PRIOR TO CONSTRUCTION.
21. MAINTAINED DRIVE STREETS OR ADJACENT PROPERTIES SHALL BE REPAIRED IMMEDIATELY. STREETS SHALL BE WATERSHED OR SEPTIC AS DIRECTED BY THE CITY ENGINEER.
22. TREES TO BE SAVED SHALL BE PLANTED AND MAINTAINED PRIOR TO ANY CLEARING OR TRIPPING WORK AND PROTECTIVE FENCING, WHERE REQUIRED BY THE CITY, SHALL BE INSTALLED PRIOR TO COMMENCING ANY GRADING. LOCATIONS OF TREES SHALL BE IDENTIFIED IN THE FIELD BY THE CITY UPON COMPLETION OF THE STAKEOUT OF EXISTING UTILITIES.
23. GRADING OR ANY OTHER OPERATION THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. SUFFICIENT WATERING TO CONTROL DUST AT ALL TIMES AND A DUST PALMATEX MAY BE REQUIRED BY THE CITY ENGINEER.
24. PROJECTS PROPOSED FOR CONSTRUCTION MUST HAVE AN EROSION AND SEDIMENTATION CONTROL PLAN APPROVED AND IMPLEMENTED PRIOR TO THE START OF ON-SITE CONSTRUCTION. EROSION CONTROL IS NECESSARY TO PREVENT EROSION AND SEDIMENTATION CONTROL FACILITIES, SUCH AS DRAINAGE DITCHES AND SEDIMENTATION BASINS, MAY PROCEED CONCURRENT WITH THE INSTALLATION OF THE EROSION CONTROL FACILITIES.
25. ALL UNDERGROUND UTILITIES WITHIN THE RIGHT-OF-WAY OR ACCESS EASEMENT, INCLUDING WATERS AND LATERALS SHALL BE INSTALLED AND MANHOLE COMPLETED PRIOR TO THE START OF CURB, SIDEWALK AND PAVING CONSTRUCTION.
26. THE CONTRACTOR SHALL ADJUST ALL EXISTING UTILITIES TO GRADE AFFECTED BY CONSTRUCTION.
27. THE CONTRACTOR SHALL COMPLY WITH ALL RULES, REGULATIONS AND PROCEDURES OF THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) FOR MUNICIPAL CONSTRUCTION AND INDUSTRIAL ACTIVITIES AS PROMULGATED BY THE CALIFORNIA STATE WATER RESOURCES CONTROL BOARD OR ANY OF ITS REGIONAL WATER QUALITY CONTROL BOARDS.
28. ALL DINGS SHALL BE STAVED BY A REGISTERED CIVIL ENGINEER OF THE CALIFORNIA LAND SURVEYOR.
29. ENCROACHMENT PERMITS REQUIRED FOR WORK WITHIN EXISTING PUBLIC RIGHTS OF WAY SHALL BE OBTAINED BY THE CONTRACTOR.
30. ALL EXISTING ELEVATIONS SHOWN ARE AS MEASURED BY OWNERS IN THE FIELD UNLESS OTHERWISE NOTED.
31. THE CONTRACTOR SHALL NOT OBTAIN OR DESTROY ANY PERMANENT SURVEY POINTS WITHIN THE JURISDICTION OF THE CITY ENGINEER. ANY PERMANENT MONUMENTS OR POINTS DESTROYED OR DESTROYED SHALL BE REPLACED BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

32. CURB RAMP ARE TO BE CONSTRUCTED AT ALL DRIVEWAYS AND/OR DRIVEWAYS SHALL MEET 24" STANDARDS, AND DETAILS AS SHOWN ON THESE PLANS.
33. ALL REPAIR MANHOLE SHALL CONFORM TO CITY OF OAKLAND STANDARD PLANS.
34. ALL ELECTRICAL AND GAS UTILITIES TO BE PROVIDED BY P.U. & E. AND INSTALLED UNDERGROUND PRIOR TO THE CONSTRUCTION OF CURB, GUTTER AND SIDEWALKS.
35. ALL UNDERGROUND UTILITIES INCLUDING MAINS, LATERALS AND BRANCHES SHALL BE INSTALLED, MANHOLE TO THE CITY OF OAKLAND SPECIFICATIONS AND STANDARD PLANS, AND COMPLETED PRIOR TO THE COMMENCEMENT OF CURB, GUTTER AND SIDEWALK CONSTRUCTION.

GRADING NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONFIRMING THE GRAD ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY L&A AND ASSOCIATES IMMEDIATELY BY WRITING OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THIS PLAN WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITY.
2. THE CONTRACTOR SHALL CHECK EACH PAD TO WITHIN 8" FOOT OF THE PAD GRADE ELEVATION SHOWN ON THESE PLANS. THE AREAS OUTSIDE THE PADS SHALL BE GRADED AS SHOWN ON THE GRADING PLAN.
3. GRADING OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE RECOMMENDATIONS CONTAINED ON THE SOILS INVESTIGATION REPORT. THE SOILS ENGINEER WILL BE RESPONSIBLE FOR ON-SITE INSPECTION AND QUALITY CONTROL FOR GRADING OPERATIONS. PLAN REQUIREMENTS AND CONSTRUCTION CONTROL, WITH RESPECT TO EARTHWORK, SLOPE STABILITY, RETENTION, COMPACTOR, ETC., AS SHOWN HEREON ARE PROVIDED BY THE SOILS ENGINEER AND ARE NOT THE RESPONSIBILITY OF L&A AND ASSOCIATES. THE CONTRACTOR SHALL READ AND BE FULLY AWARE OF THE SOILS REPORT BEFORE STARTING WORK. ALL WORK SHALL MEET THE APPROVAL OF THE CITY OF OAKLAND BUILDING DEPARTMENT.
4. ANY SHOWN QUANTITY OF CONSTRUCTION CUT OR FILL IS AN ESTIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF THIS QUANTITY PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR TOPSOILING TO BRING FILLMENT OF LOTS TO REQUIRED GRADE. CLEARANCE OF GRADING SHALL BE DONE BY THE CONTRACTOR.
5. ALL FINISHED GRADING SHALL BE CONFORMED WITH EXISTING GRADING.
6. NO BANKS SHALL BE STEEPER THAN 2:1 (2 HORIZONTAL TO 1 VERTICAL).
7. UPON COMPLETION OF PAD GRADING, THE CONTRACTOR SHALL REQUEST THE LICENSED SURVEYOR TO CHECK THE GRADING. ANY PADS THAT DO NOT MEET THE SPECIFICATIONS AS STATED IN GRADING NOTE 3 SHALL BE REWORKED BY THE CONTRACTOR AND RECHECKED BY THE SURVEYOR.
8. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FORCES WILL NOT BE DAMAGED. NO GRADING WILL BE PERMITTED WITHIN 63 FEET OF THE FORCE UNLESS OTHERWISE INDICATED ON THESE PLANS.
9. GRADING OPERATIONS ARE TO BE OBSERVED AND TESTED BY THE GEOLOGICAL ENGINEER. GRADING OPERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE GEOLOGICAL ENGINEERING INVESTIGATION REPORT PREPARED BY YOUNGKIND, CONSULTING GROUP, INC. UTILITY, GEOLOGICAL ENGINEERING STUDY FOR ALBERTSON'S FOOD, PROJECT NUMBER 0201, DATED FEBRUARY 2002 AND THE GEOLOGICAL STUDY ADDENDUM FOR ALBERTSON'S FOOD, PROJECT NO. 0201-01 DATED DECEMBER 2002.
10. A DEPOSIT SITE FOR ANY OFF-SITE HAIL DIRT MATERIALS SHALL BE APPROVED BY THE CITY PRIOR TO THE APPROVAL OF THE GRADING PERMIT. THE OFF-SITE SHALL BE NEARBY FOR THE EXCESS DIRT TO BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER.
11. ALL CUT FILL AND BRUSH BUNDLES SHALL BE TESTED BY A LICENSED SOILS ENGINEER WHO WILL PROVIDE CERTIFICATION THAT THE WORK CONFORMS TO THE REQUIREMENTS OF CITY AND STATE CODES, AND THE GEOLOGICAL STUDY REPORT.

DESIGNER'S STATEMENT:

THIS PLAN CORRECTLY REPRESENTS A PLOT PLAN MADE BY ME OR UNDER MY SUPERVISION.
 I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED WITH.
 I HEREBY FURTHER STATE THAT ALL PROPOSED GRADING, ELEVATIONS, AND CONDITIONS ILLUSTRATED UPON THIS PLOT PLAN ARE BASED UPON A SURVEY PERFORMED BY L&A AND ASSOCIATES AND UNDER MR. PAUL CANNABY'S SUPERVISION. THAT HAS INDICATED REVIEW BY THE SURVEYOR INDEED AS BEING BASED UPON CITY OF OAKLAND DATA.
 THIS PROJECT HAS BEEN APPROVED BY CITY OF OAKLAND AND P-COB PERMIT HAS BEEN ISSUED FOR THE PART ONE OF THE PROJECT.
 SIGNATURE _____ DATE _____
 REC: 04/25/00 EPR: 3/9/00

SHEET INDEX

SHEET NUMBER	DESCRIPTION
C-1	GENERAL NOTES & LEGEND
C-2-1	DETAILS
C-2-2	DETAILS
C-2-3	DETAILS
C-3	DEMOLITION PLAN
C-4	GRADING PLAN
C-5	UTILITY PLAN
C-6-1	STREET PROFILES
C-6-2	CROSS SECTIONS
C-6-3	CROSS SECTIONS
C-7	STORMWATER TREATMENT - C3
C-8	DIMENSION PLAN
C-9	EROSION CONTROL PLAN

Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: luk@lukaassociates.com



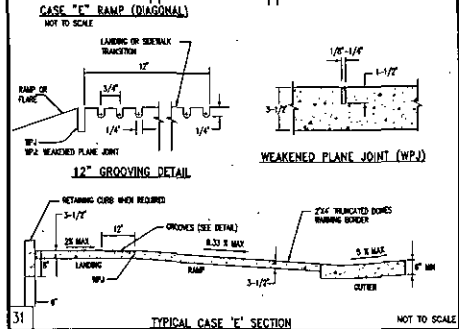
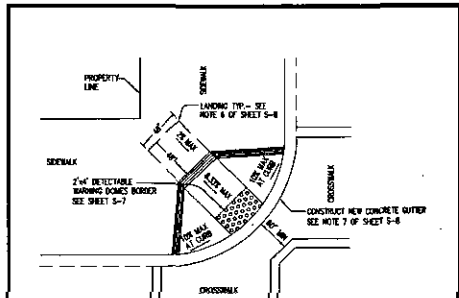
LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

REVISIONS	NO.	DATE	DESCRIPTION
△	1		
△	2		
△	3		
△	4		

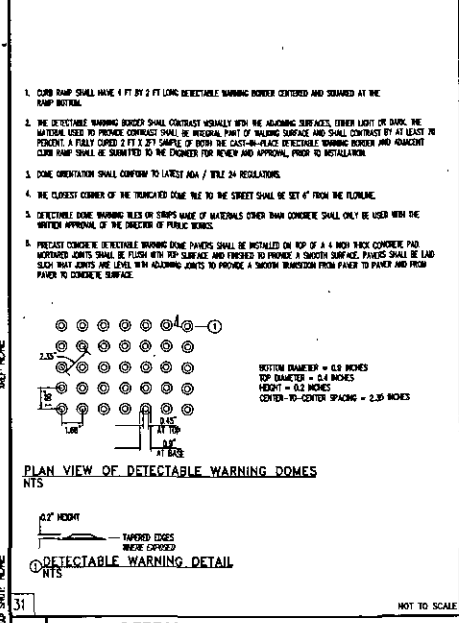
FILE AND GENERAL NOTES

Date	JULY 2006
Scale	NONE
Drawn by	D.A.D.
Checked by	G.L.
Job No.	25096-20
Drawing No.	25096-20/C&Z.dwg
Plot Date	DECEMBER 23, 2006

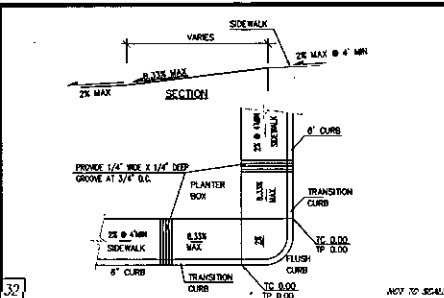
C-1
 of 9 sheets



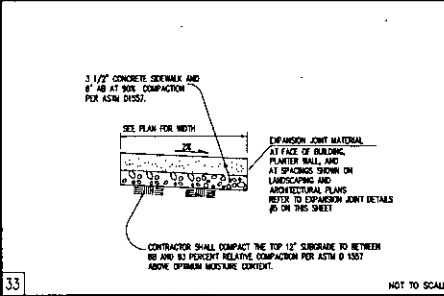
1 CURB RAMP DETAILS



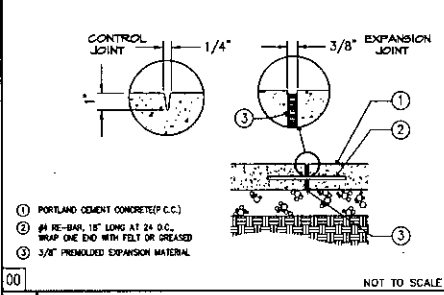
2 DETECTABLE WARNINGS



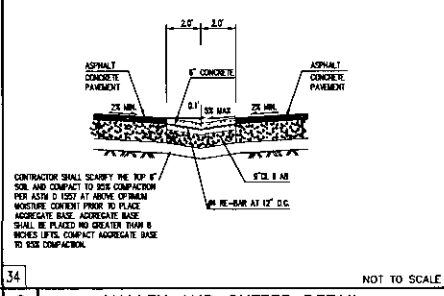
3 HALF CASE "C" ACCESS RAMP DETAIL



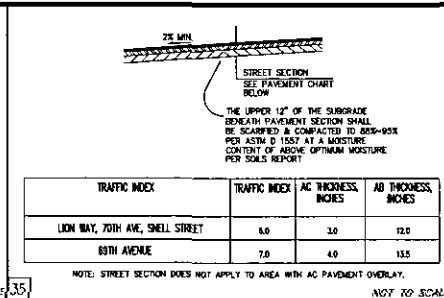
4 CONCRETE SIDEWALK DETAIL



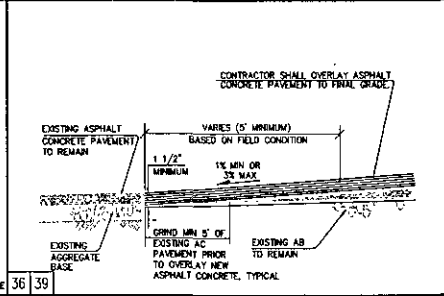
5 EXPANSION AND CONTROL JOINT DETAIL



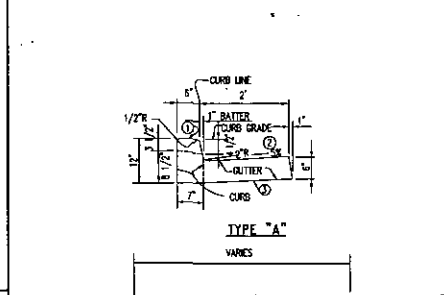
6 VALLEY AND GUTTER DETAIL



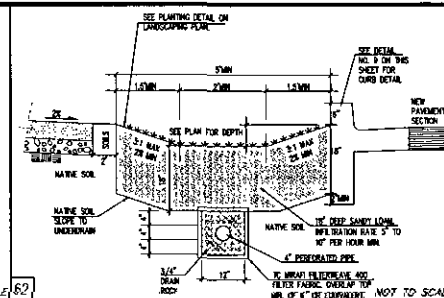
7 TYPICAL STREET PAVEMENT SECTION



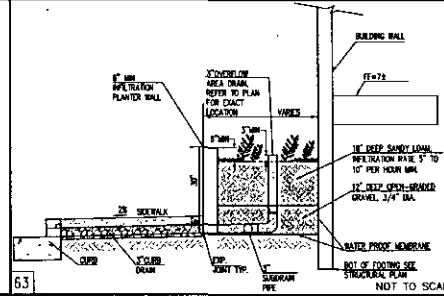
8 WEDGE CUT AND AC OVERLAY DETAILS



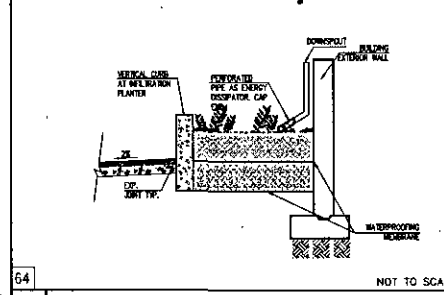
9 CONCRETE CURB, GUTTER AND SIDEWALK



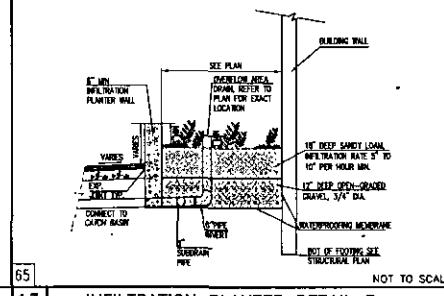
10 BIOSWALE DETAIL



11 INFILTRATION PLANTER DETAIL A



12 ROOF DRAIN DETAIL



13 INFILTRATION PLANTER DETAIL B

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: oha@lukaassociates.com



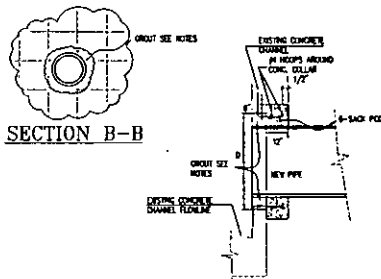
LION CREEK CROSSINGS
Coliseum Gardens
Phase IV
Oakland, California

REVISIONS

No.	Date	Description

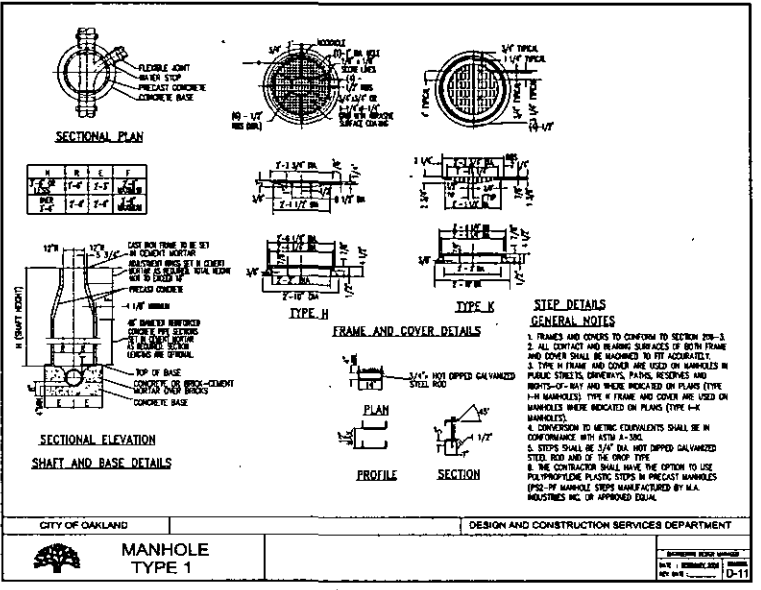
DETAILS

Date: JULY 2008
Scale: NONE
Drawn by: D.A.D.
Checked by: G.L.
Job No.: 20056-20
Drawing No.: 20056-2006A2.dwg
Print Date: DECEMBER 28, 2008
Sheet No.: C-2.1
of 2 sheets

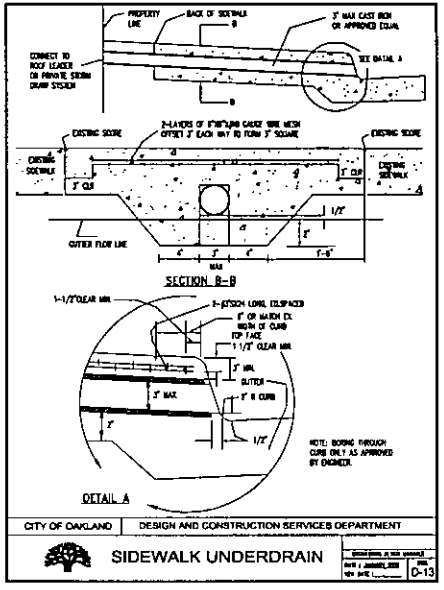


NOTE:

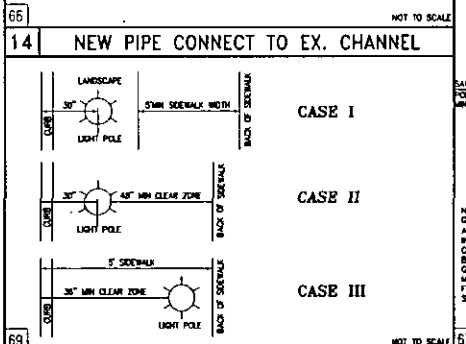
- THE MINIMUM DIAMETER OF THE OPENING IN THE WALL SHALL BE DEFINED BY THE FORMULA: $D = \text{PIPE O.D.} + 6 + 3'$, WHERE $d =$ THE DIAMETER OF THE EXISTING WALL REINFORCING BARS.
- THE AREA OF THE PLANNED OPENING SHALL BE DRILLED AND CAREFULLY BROKEN OUT IN ORDER TO DETERMINE THE LOCATION OF THE EXISTING HORIZONTAL AND VERTICAL REINFORCEMENT. THE CONCRETE SHALL BE REMOVED IN SUCH A MANNER SO AS TO PRECLUDE SHATTERING OR SPALLING OF THE ADJACENT WALL AND DAMAGE TO THE EXISTING BARS. A MINIMUM OF 4 BARS SHALL BE SINGLE CUT - AS SHOWN IN SECTION B-B - AND BENT OUT INTO THE AREA OF THE COLLAR, USING A MINIMUM BEND RADIUS OF 3d AND A MINIMUM COVER OF 1 1/2". THE SPACING BETWEEN THE UP-STANDING LEGS OF THE BENT BARS SHALL BE APPROXIMATELY EQUAL.
- ALL CRACKS IN THE OPENING SHALL BE CRACKED USING A PORTLAND CEMENT PASTE FOR SECTION 31-1.13 OF THE CALIFORNIA STANDARD SPECIFICATION AND THE SURFACE CLEANED. PRIOR TO PLACEMENT OF THE PIPE IN THE OPENING THE PIPE SHALL BE PRE-CUT SO AS TO FIT WITH THE INSIDE SURFACE OF THE STRUCTURE. AFTER POSITIONING OF THE PIPE TO THE REQUIRED FLOOR LINE ELEVATION, THE PIPE SHALL BE GROUTED IN PLACE USING COMPAK PRE-CAST GROUT. THE GROUT SHALL BE CURIED FOR AT LEAST 3 DAYS, KEEPING THE SURFACES CONTINUOUSLY DAMP. PRIOR TO POURING THE PRE-CAST COLLAR AROUND THE PIPE, THE INTERIOR WALL SURFACE AROUND THE OPENING SHALL BE FINISHED USING MORTAR PER SECTION 31-1.13 OF THE CALIFORNIA STANDARD SPECIFICATION, AS REQUIRED.



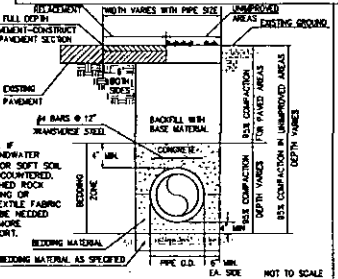
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
MANHOLE TYPE 1
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 CITY OF OAKLAND



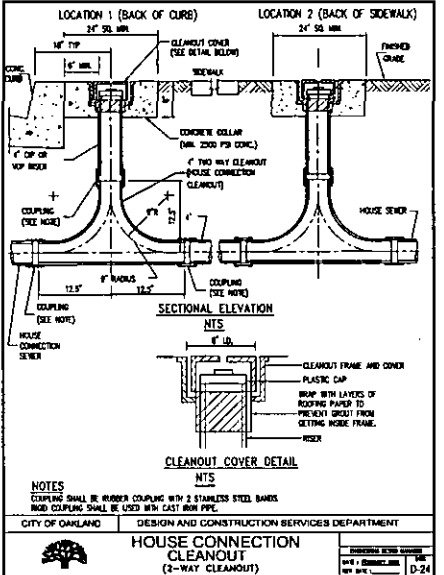
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
SIDEWALK UNDERDRAIN
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 CITY OF OAKLAND



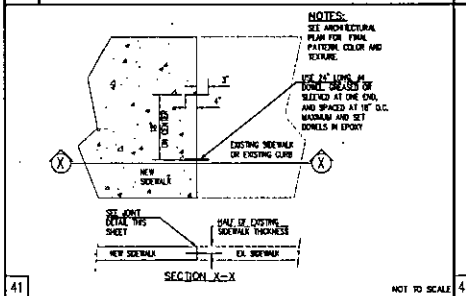
NOT TO SCALE
NEW PIPE CONNECT TO EX. CHANNEL



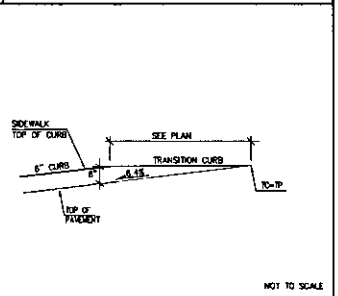
NOT TO SCALE
TRENCH DETAIL



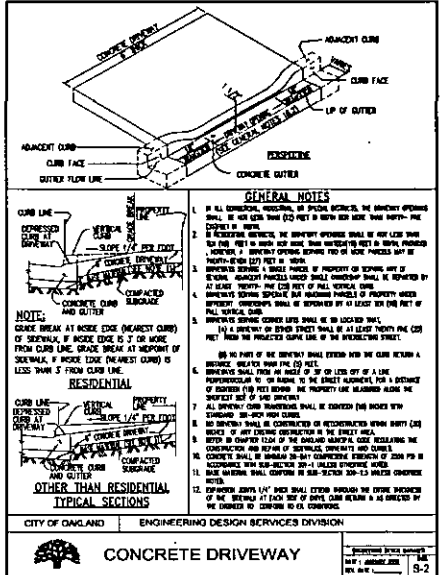
CITY OF OAKLAND DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
HOUSE CONNECTION CLEANOUT (2-WAY CLEANOUT)
 DESIGN AND CONSTRUCTION SERVICES DEPARTMENT
 CITY OF OAKLAND



NOT TO SCALE
LIGHT POLE CLEARANCE DETAIL



NOT TO SCALE
TRANSITION CURB DETAIL



CITY OF OAKLAND ENGINEERING DESIGN SERVICES DIVISION
CONCRETE DRIVEWAY
 ENGINEERING DESIGN SERVICES DIVISION
 CITY OF OAKLAND

Laik and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3368
 Fax (510) 724-3363
 Email: laik@laikassociates.com



LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

REVISIONS
 NO. DESCRIPTION
 1
 2
 3
 4
 5
 6
 7
 8
 9
 10
 11
 12
 13
 14
 15
 16
 17
 18
 19
 20
 21
 22
 23
 24
 25
 26
 27
 28
 29
 30
 31
 32
 33
 34
 35
 36
 37
 38
 39
 40
 41
 42
 43
 44
 45
 46
 47
 48
 49
 50
 51
 52
 53
 54
 55
 56
 57
 58
 59
 60
 61
 62
 63
 64
 65
 66
 67
 68
 69
 70
 71
 72
 73
 74
 75
 76
 77
 78
 79
 80
 81
 82
 83
 84
 85
 86
 87
 88
 89
 90
 91
 92
 93
 94
 95
 96
 97
 98
 99
 100

DATE: JULY, 2008
 SCALE: NONE
 DRAWN BY: D.A.D.
 CHECKED BY: G.L.
 JOB NO.: 20050-20
 DRAWING NO.: 20050-20022.dwg
 PLOT DATE: DECEMBER 23, 2008
 SHEET NO.: C-2.2
 OF 2 SHEETS

luk and Associates

Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: aluk@lukassociates.com



LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

REV	NO	DATE	DESCRIPTION
△			
△			
△			
△			

DETAILS

Date: JULY, 2006

Scale: NONE

Drawn By: D.A.D.

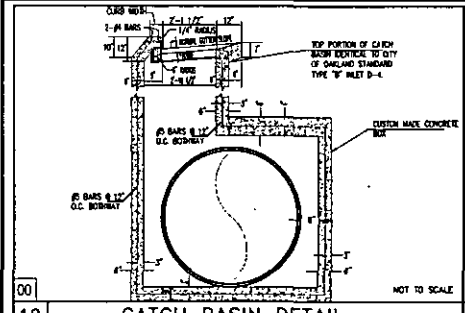
Checked By: G.L.

Job No.: 25056-20

Drawing No.: 2006-20062 Long

Plot Date: DECEMBER 23, 2006

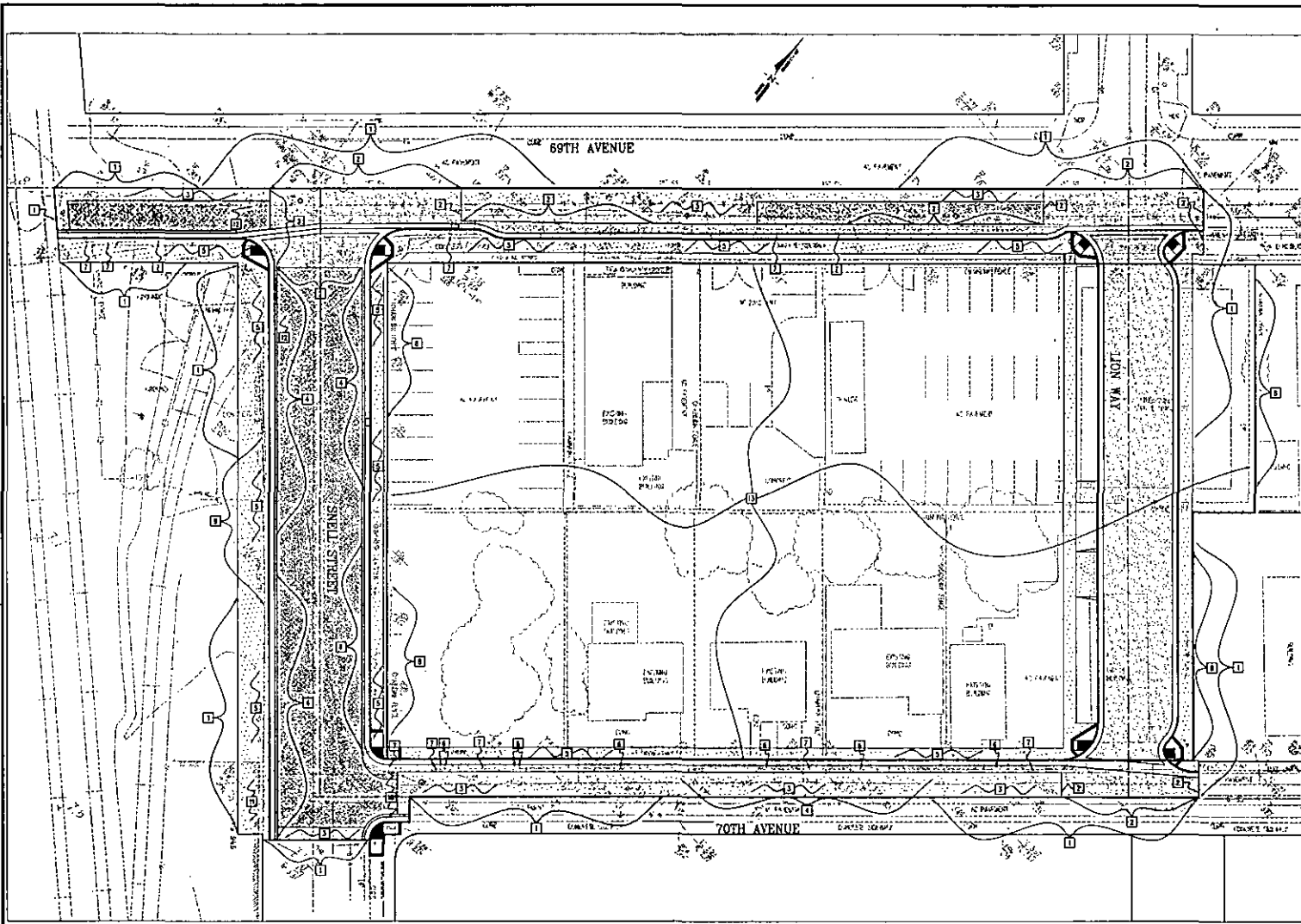
Sheet No.: **C-2.3**
 Of Sheets



00
 19 CATCH BASIN DETAIL
 NOT TO SCALE

REF: NONE
 SHW: NONE

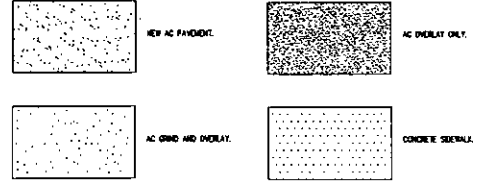
SHEET BELOW: HASTOPPO SITE, HASTOPPO-SHELL, BERT-2506-20, 25, 27, ALL
SHP SHOT, 2506-20



DEMOLITION NOTES:

- 1 LIMIT OF IMPROVEMENT. CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES OUTSIDE THE LIMIT.
- 2 LIMIT OF SAWCUT. CONTRACTOR SHALL REMOVE EXISTING AC PAVEMENT FOR CONSTRUCTION OF NEW PAVEMENT.
- 3 CRACK DOWN EXISTING AC PAVEMENT FOR AC OVERLAY AS SHOWN ON THE PLAN.
- 4 SAWCUT EXISTING AC PAVEMENT 1' FROM EXISTING EDGE OF CUTTER LIP FOR CONSTRUCTION OF NEW CUTTER.
- 5 SAWCUT AND REMOVE EXISTING CURB AND CUTTER, SIDEWALK, PLANTER, DRIVEWAY AND AGGREGATE BASE FOR CONSTRUCTION OF NEW IMPROVEMENT.
- 6 CONTRACTOR SHALL COORDINATE WITH ERMUD TO REMOVE THE EXISTING WATER METERS.
- 7 CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANY TO REMOVE AND UNDERGROUND THE UTILITIES ON POLES. REMOVE EXISTING JOINT POLES, POWER POLES, AND GUY WIRE.
- 8 REMOVE EXISTING FENCE AND THEIR FOOTING. COMPACT THE SUBGRADE TO BOX COMPACTION. AS ALTERNATIVE, CONTRACTOR CAN MOBY THE EXISTING FENCE WITH FABRIC AS TEMPORARY CONSTRUCTION FENCE ALONG THE PROPERTY LINE.
- 9 REMOVE EXISTING FENCE AND THEIR FOOTING. COMPACT THE SUBGRADE TO BOX COMPACTION.
- 10 REMOVE EXISTING CATCH BASINS.
- 11 EXISTING STORAGE SHED TO BE DEMOLISHED IN THE FUTURE PHASE.
- 12 REMOVE PORTION OF RAILROAD TRACK INSIDE THE IMPROVEMENT LIMIT.
- 13 THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THE PLANS AND AS DESCRIBED WITHIN THE SPECIFICATIONS FOR NEW IMPROVEMENTS. CONTRACTOR SHALL REMOVE EXISTING BUILDING, PARKING LOT, CONCRETE PAD, COLUMNS, FOOTINGS, WALLS, STAIRS, WALKWAYS, FENCE AND UNNECESSARY UNDERGROUND PIPING SYSTEM UNDER FUTURE BUILDING AREA AND STREET. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES OR PUBLIC AGENCIES TO DISCONNECT ALL UTILITIES PRIOR TO DEMOLITION OF BUILDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND REPLACING AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE OWNER'S REPRESENTATIVE. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE AND SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY AND SHALL BE MINIMUM 8 FEET HIGH WITH FABRIC ALONG PROPERTY LINES AND A TOP AND BOTTOM RAIL WITH ROUNDED TOP AND BOTTOM SEWAGE (NO BARBED WIRE PERMITTED). THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE OWNER'S REPRESENTATIVE.

LEGEND:



GENERAL NOTES:

CONTRACTOR SHALL PROTECT EXISTING CATCH BASINS, MANHOLES, CLEANOUTS, METERS, VALVES, POLES, LIGHTS, SIGNS, FIRE HYDRANTS, UTILITIES BOXES AND UNDERGROUND UTILITIES DURING THE ENTIRE CONSTRUCTION PERIOD UNLESS OTHERWISE SPECIFIED ON THE PLAN. ANY DAMAGE TO THE EXISTING UTILITIES WILL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

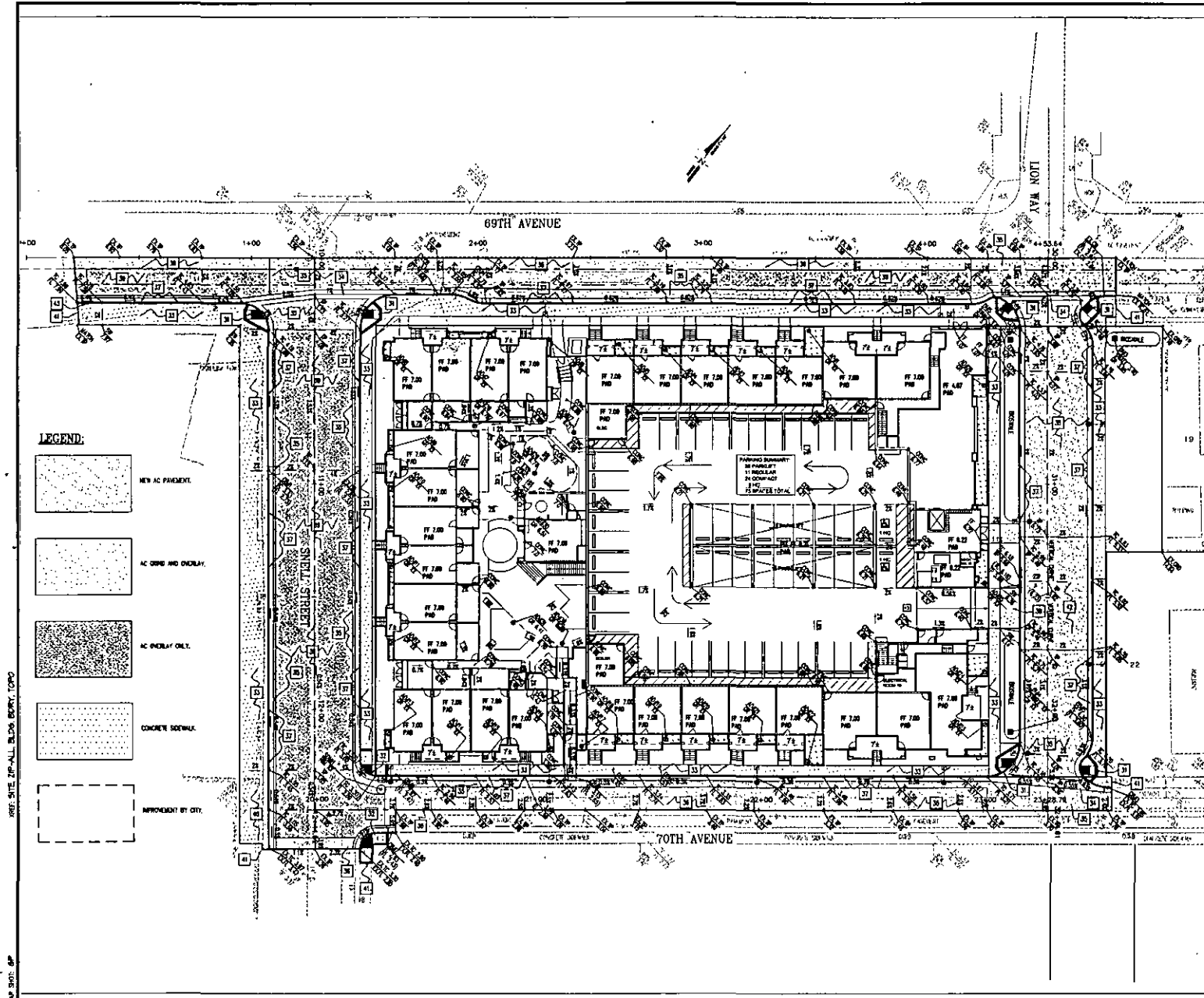
Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: luk@lukassociates.com

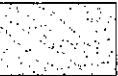
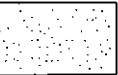
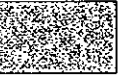
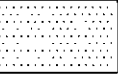



LION CREEK CROSSINGS
Coliseum Gardens
Phase IV
Oakland, California

REVISIONS	NO.	DATE	DESCRIPTION
DEMOLITION PLAN			
Date:	JULY, 2008		
Scale:	1" = 20'		
Drawn By:	D.A.D.		
Checked By:	G.L.		
Job No.:	2506-20		
Drawing No.:	2506-20/DEMOLITION.dwg		
Plot Date:	DECEMBER 23, 2008		
Sheet No.:	C-3 Of Three		





- LEGEND:**
-  NEW AC PAVEMENT.
 -  AC DRIVE AND OVERLAY.
 -  AC OVERLAY ONLY.
 -  CONCRETE SIDEWALK.
 -  IMPROVEMENT BY CITY.

GRADING NOTES:

- 1) CONSTRUCT A DIAGONAL DASH "C" ACCESS RAMP PER DETAIL NO. 1 AND 2 ON SHEET C 2.1. SEE CITY OF OAKLAND STANDARD DETAILS 3-4, 5-4, 5-7 AND 5-8 FOR MORE INFORMATION.
- 2) CONSTRUCT A CASE "C" ACCESS RAMP PER DETAIL NO. 3 ON SHEET C 2.1. SEE CITY OF OAKLAND STANDARD DETAILS 3-1, 5-4, 5-7 AND 5-8 FOR MORE INFORMATION.
- 3) CONSTRUCT SIDEWALK PER DETAIL NO. 4 ON SHEET C 2.1. REFER TO EXPANSION AND CONTROL JOINT DETAIL NO. 5 ON SHEET C 2.1.
- 4) CONSTRUCT 4" DEEP VALLEY AND GUTTER PER DETAIL NO. 6 ON SHEET C 2.1. CONTRACTOR SHALL PROVIDE TRANSITION FROM VALLEY AND GUTTER TO CURB AND GUTTER AS REQUIRED. CONTRACTOR SHALL PROVIDE EXPANSION JOINT PER DETAIL NO. 5 ON SHEET C 2.1.
- 5) CONSTRUCT NEW ASPHALT CONCRETE PAVEMENT PER DETAIL NO. 7 ON SHEET C 2.1.
- 6) PROVIDE 6" WIDE AND 1 1/2" DEEP EXISTING ASPHALT CONCRETE PAVEMENT AT LINE OF IMPROVEMENT FOR ASPHALT CONCRETE OVERLAY PER DETAIL NO. 8 ON SHEET C 2.1. PROVIDE SMOOTH TRANSITION FOR POSITIVE DRAINAGE AS REQUIRED.
- 7) CONSTRUCT TYPE "A" CURB AND GUTTER PER DETAIL NO. 9 ON SHEET C 2.1 AND CITY OF OAKLAND STANDARD DETAILS DMC 5-1. CONTRACTOR SHALL PROVIDE TRANSITION FROM TYPE "A" CURB AND GUTTER TO 6" METALLIC CURB AND TO VALLEY AND GUTTER AT INTERSECTION WHERE INDICATED. CONTRACTOR SHALL PROVIDE EXPANSION JOINT PER DETAIL NO. 5 ON SHEET C 2.1 FOR CURB CONSTRUCTED RIGHT NEXT TO ROADWAY. EXCEED BOTTOM OF CURB TO BE AT LEAST 2" BELOW THE BOTTOM OF SMOOTH LEVEL. SEE DETAIL NO. 10 ON SHEET C 2.1 FOR MORE INFO.
- 8) CONSTRUCT CONCRETE DRIVEWAY PER CITY OF OAKLAND STANDARD DETAIL DMC 5-2 SHOWN ON SHEET C 2.1.
- 9) OVERLAY AC PAVEMENT IN AREAS AS SHOWN ON THE PLAN PER DETAIL NO. 8 ON SHEET C 2.1.
- 10) CONSTRUCT TWO PART SIDEWALK IN THE FUTURE.
- 11) CONNECT TO THE EXISTING SIDEWALK PER DETAIL NO. 14 SHOWN ON SHEET C 2.1.
- 12) CONSTRUCT METALLIC CURB PER CALTRANS HIGHWAY DESIGN MANUAL.
- 13) CONSTRUCT TRANSITION CURB PER DETAIL NO. 18 SHOWN ON SHEET C 2.1.

GENERAL GRADING NOTES:

PROTECT AND ADJUST EXISTING UTILITY LINES, POLES, VALVES, CATCH BASINS, FIRE HYDRANTS AND MAN HOLES TO MATCH FINAL GRADE UNLESS OTHERWISE SPECIFIED ON THE PLAN.

Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: aluk@lukassociates.com

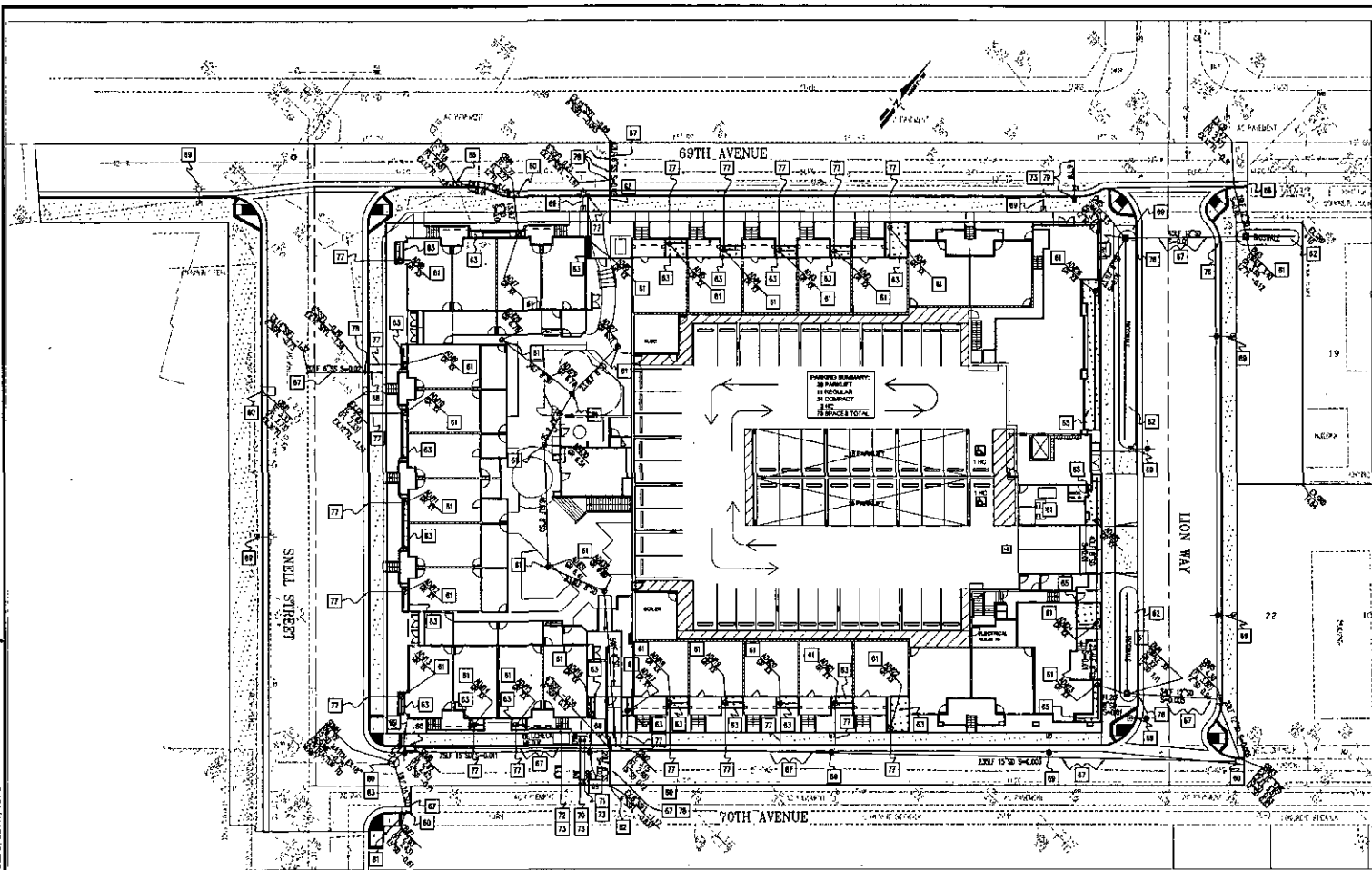


LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

REVISIONS	NO.	DATE	DESCRIPTION

DATE: JULY, 2006
 SCALE: NONE
 DRAWN BY: D.A.D.
 CHECKED BY: C.L.
 JOB NO.: 25056-20
 DRAWING NO.: 25056-20-06-STR-PLN
 PLOT DATE: DECEMBER 28, 2006
 SHEET NO.: C-4
 OF SHEETS: 4

REF: SITE ZIP-FULL BLDGS BERRY TOPO
SWP SHEET 07



STORM DRAIN SCHEDULE		
STRUCTURE NUMBER	MODEL	INLET INCHES DIAMETER
CD #1	REFER TO DETAIL #19 ON SHEET C-2.3	36" X 70"
CD #2-7	TYPE B INLET PER CITY OF OAKLAND STANDARD DETAIL NO. D-4	36" X 34.5"
DI #5-5	CENTRAL PRECAST DROP INLET MODEL CP2424 WITH GALVANIZED GRATE	24" X 24"
AD #1-4, 6-22	RECS 3" ROUND DRAIN WITH GALVANIZED GRATE	3" RECS 3" DRAIN
AD #27-32	RECS 6" ROUND DRAIN WITH HIGH REEL PROOF GRATE	6" RECS 6" DRAIN
AD #23-25	RECS 6" ROUND DRAIN WITH GALVANIZED GRATE	6" RECS 6" DRAIN
AD #7, 26	RECS 6" ROUND DRAIN WITH GALVANIZED GRATE	6" RECS 6" DRAIN
SM #1	TYPE B MANHOLE PER CITY OF OAKLAND STANDARD DETAIL NO. D-13	48" X 48"

UTILITY NOTES:
CONTRACTOR SHALL PROTECT EXISTING UTILITY LINES AT ALL GRAVITY PIPE CROSSINGS. IF THERE IS A CONFLICT, CONTRACTOR SHALL NOTIFY THE ENGINEERS FOR ALTERNATE DESIGN.

- UTILITY NOTES:**
- 60. INSTALL CATCH BASIN PER STORM DRAIN SCHEDULE ON THIS SHEET
 - 61. INSTALL AREA DRAINS AND DRAIN INLETS PER STORM DRAIN SCHEDULE ON THIS SHEET.
 - 62. INSTALL BIOSWALE PER DETAIL NO. 10 ON SHEET C2.1.
 - 63. INSTALL INFILTRATION PLANTER TYPE A PER DETAIL NO. 11 ON SHEET C2.1.
 - 64. INSTALL DOWNSPOUT AND DISCHARGE INTO INFILTRATION PLANTER PER DETAIL NO. 12 ON SHEET C2.1. REFER TO ARCHITECTURAL PLAN FOR DOWNSPOUT LOCATION.
 - 65. INSTALL INFILTRATION PLANTER TYPE B PER DETAIL NO. 13 ON SHEET C2.1.
 - 66. CONNECT NEW STORM DRAIN PIPE INTO EXISTING CONCRETE CHANNEL PER DETAIL NO. 14 ON SHEET C2.2.
 - 67. CONTRACTOR SHALL PROVIDE TYPE II CONCRETE CAP ON TOP OF NEW PIPE PER CITY OF OAKLAND STANDARD DETAILS DWG. D-1 SHOWN ON SHEET C-2.2 DETAIL NO. 16 FOR ANY PIPE WITH COVER LESS THAN 36" WITHIN THE PAVEMENT AREA. FOR PIPE WITH MORE THAN 36" COVER, BACKFILL TRENCH PER CITY OF OAKLAND STANDARD DETAILS DWG. D-30.
 - 68. INSTALL TWO WAY SEWER CLEANOUT PER CITY OF OAKLAND STANDARD DETAIL DWG. D-24 SHOWN ON SHEET C2.2. EXACT POINT OF CONNECTION AND INVERT OF THE SEWER LATERAL WILL BE DETERMINED BY THE PLUMBING ENGINEERS.
 - 69. CONTRACTOR SHALL INSTALL REPLACEMENT STREETLIGHTS THAT MATCH THE EXISTING 'NEW' LIGHTS ON SAN LEANDRO STREET. SEE LANDSCAPING PLAN FOR MORE DETAIL. SEE DETAIL NO. 15 ON SHEET C2.2 FOR LIGHT LOCATION. NOTE THAT THE LIGHT POLE LOCATIONS/SEPARATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. REFER TO STREETLIGHT PLAN FOR FINAL LOCATIONS.
 - 70. INSTALL DOMESTIC WATER LATERAL AND METER PER ERIUD PLAN. THIS PLAN IS FOR REFERENCE ONLY. INFORMATION ONLY. CONTRACTOR SHALL PAVE TRENCH PER SPECIAL TRENCH PAVING DETAIL PER CITY OF OAKLAND STANDARD DETAILS DWG. D-30.
 - 71. INSTALL IRRIGATION WATER LATERAL AND METER PER ERIUD PLAN. THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR SHALL PAVE TRENCH PER SPECIAL TRENCH PAVING DETAIL PER CITY OF OAKLAND STANDARD DETAILS DWG. D-30.
 - 72. INSTALL FIRE WATER LATERAL AND VALVE PER ERIUD PLAN. THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR SHALL PAVE TRENCH PER SPECIAL TRENCH PAVING DETAIL PER CITY OF OAKLAND STANDARD DETAILS DWG. D-30.
 - 73. CONNECT TO EXISTING WATER MAIN BY ERIUD. CONTRACTOR SHALL COORDINATE WITH ERIUD FOR THE CONNECTION FROM THE EXISTING TO THE NEW PIPE.
 - 74. INSTALL 3" CURB DRAIN PER CITY OF OAKLAND STANDARD DETAIL DWG NO. D-13 SHOWN ON SHEET C2.2. CONTRACTOR SHALL VERIFY THIS DRAWING SO THAT THE CURB DRAIN PIPE IS DRAINING TOWARD THE BACK OF WALK INSTEAD OF FACE OF CURB.
 - 75. INSTALL 3" CURB DRAIN PER CITY OF OAKLAND STANDARD DETAIL DWG NO. D-13 SHOWN ON SHEET C2.2.
 - 76. SEWER CROSSING TO BE CONSTRUCTED PER CITY OF OAKLAND STANDARD DETAILS DWG. D-23.
 - 79. INSTALL FIRE HYDRANT, 6" LATERAL AND VALVE PER ERIUD PLANS. THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR SHALL PAVE TRENCH PER SPECIAL TRENCH PAVING DETAIL PER CITY OF OAKLAND STANDARD DETAILS DWG. D-30.
 - 80. UNDETERMINED INVERT ELEVATION AT EX-CATCH BASIN FULL OF DEBRIS. CONTRACTOR SHALL VERIFY IF THE PROPOSED FLOW LINE WILL WORK FOR THE NEW MANHOLE CONNECTION. IF NOT, CONTRACTOR SHALL NOTIFY THE ENGINEER FOR ALTERNATE DESIGN.
 - 81. CONNECT AREA DRAIN IN THE BART PROPERTY TO THE RELOCATED CATCH BASIN AS SHOWN ON THE PLAN.
 - 82. SEWER MAIN INVERT IS DETERMINED BY THE SEWER MAP. NOT BY THE SURVEYOR'S FIELD VST. SEWER MANHOLE SHOWN ON THE SEWER MAP CAN NOT BE LOCATED IN THE FIELD. CONTRACTOR SHALL VERIFY THE PROPOSED SEWER LATERAL INVERT ELEVATION WILL WORK FOR THE FIELD CONDITION BEFORE MARKING THE CONNECTION. IF THERE IS ANY DISCREPANCY, CONTRACTOR SHALL NOTIFY THE ENGINEERS FOR ALTERNATE DESIGN.
 - 83. INSTALL SEWER MANHOLE PER STORM DRAIN SCHEDULE ON THIS SHEET.

Luk and Associates
Civil Engineering
Land Planning
Land Surveying
738 Alfred Nobel Drive
Hercules, CA 94547
Phone (510) 724-3388
Fax (510) 724-3383
Email: al@lukassociates.com



LION CREEK CROSSINGS
Cotiseum Gardens
Phase IV
Oakland, California

REVISIONS		
NO.	DATE	DESCRIPTION

Title: **UTILITY PLAN**

Date: **JULY, 2006**

Scale: **NONE**

Drawn by: **D.A.D.**

Checked by: **G.L.**

Job No.: **28068-20WATER/04**

Drawing No.: **28068-20WATER/04**

Print Date: **DECEMBER 23, 2006**

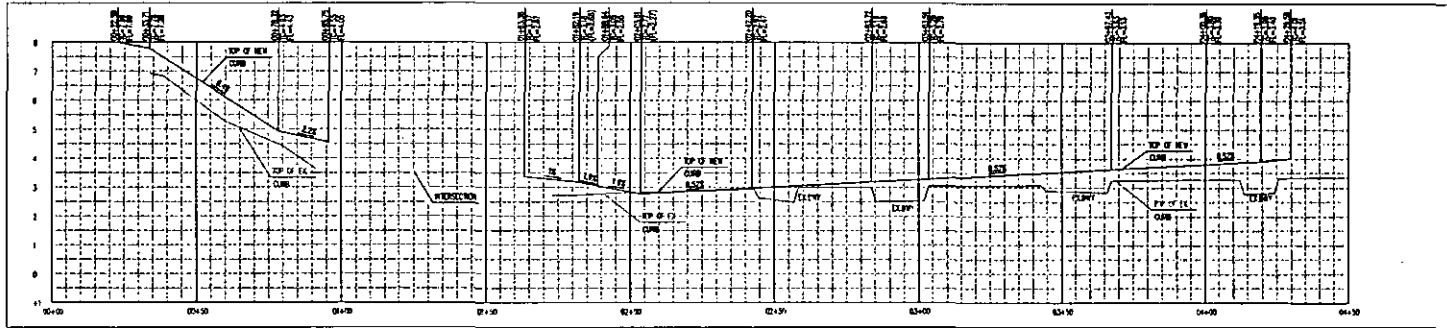
Sheet No.: **C-5**
Of **5** Sheets

Luk and Associates

Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: d.luk@lukaassociates.com

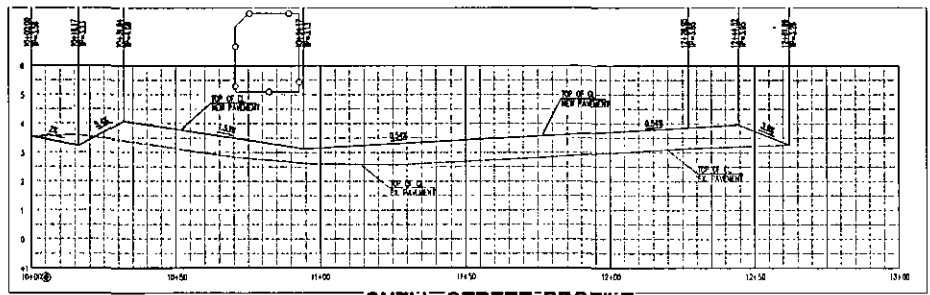


LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California



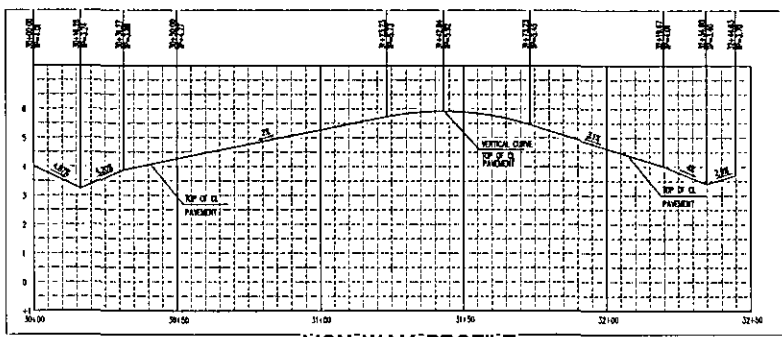
69TH AVENUE PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 2'



SNELL STREET PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 2'



LION WAY PROFILE

SCALE: HORIZ. 1" = 10'
 VERT. 1" = 2'

REVISIONS	DATE	DESCRIPTION
▲		
▲		
▲		
▲		

STREET PROFILES

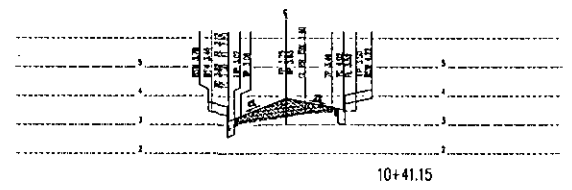
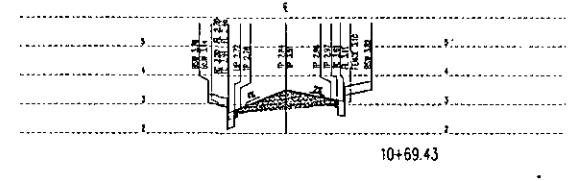
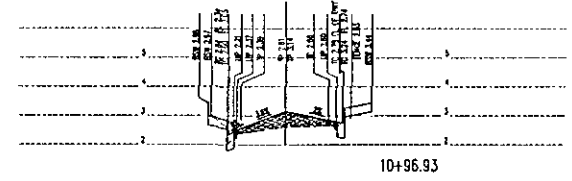
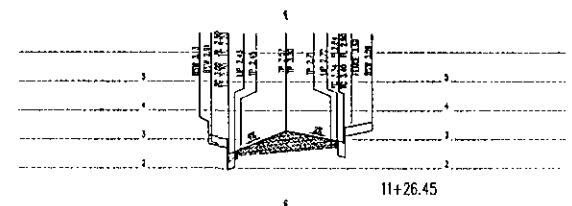
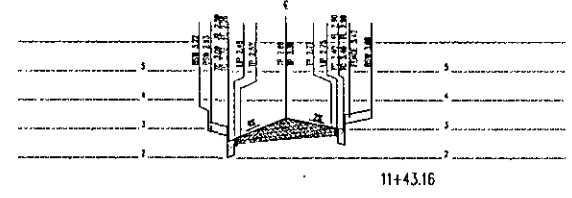
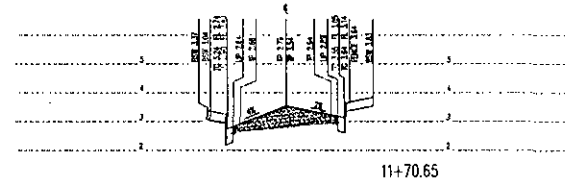
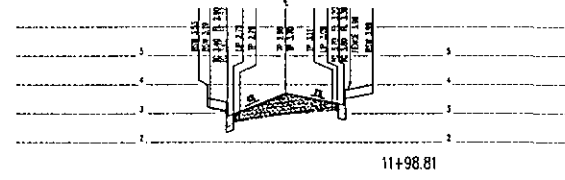
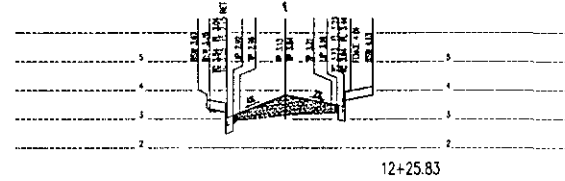
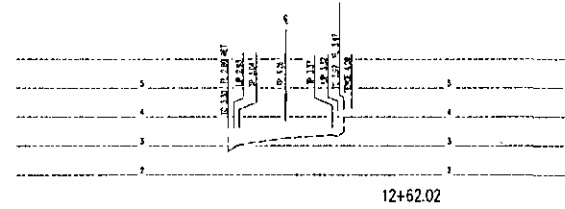
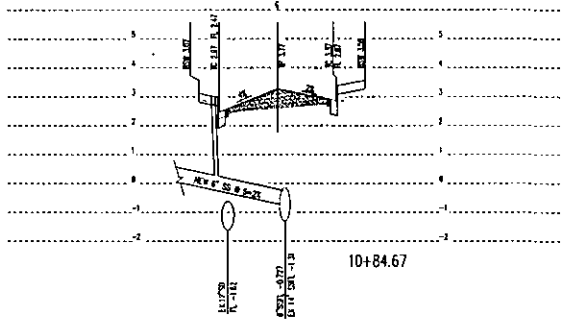
Date: JULY, 2006
 Scale: NONE
 Drawn By: D.A.D.
 Checked By: S.L.
 Job No.: 28096-20
 Drawing No.: 28096-20-WASTER.dwg
 Plot Date: DECEMBER 23, 2006

Sheet No.: C-6.1
 of 8 sheets

DATE: NONE
 SHEET NO.: 28096-20-WASTER.dwg

INT. NONE

SNIP SHOT. NONE



SNELL STREET CROSS SECTIONS

SCALE: HORIZ. 1" = 20'
VERT. 1" = 2'

Lux and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: info@luxassociates.com



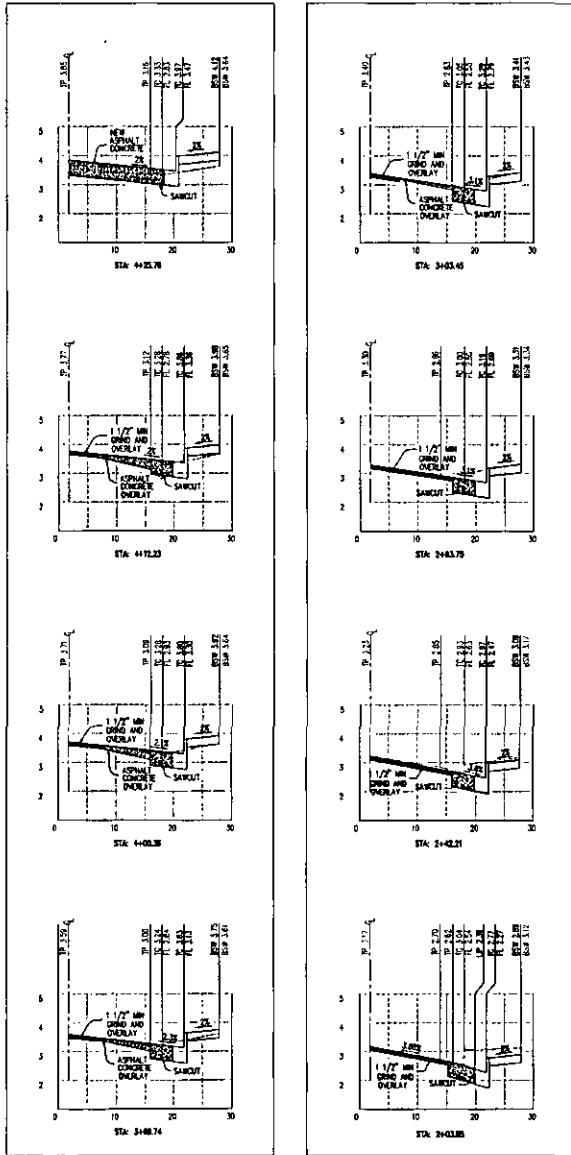
LION CREEK CROSSINGS
 Cotiseum Gardens
 Phase IV
 Oakland, California

REV	DATE	DESCRIPTION
1		
2		
3		
4		

Title: **CROSS SECTIONS (SNELL STREET)**
 Date: JULY, 2006
 Scale: AS SHOWN
 Drawn By: D.A.D.
 Checked By: G.L.
 Job No.: 25096-20
 Drawing No.: 25096-20/PROFILES.dwg
 Plot Date: DEC-2006 25, 2006
 Sheet No.: **C-6.2**
 of Sheets

S&B SHOT: NONE

RST: NONE



69TH AVENUE CROSS SECTIONS

HORIZ. 1" = 10'
VERT. 1" = 2'

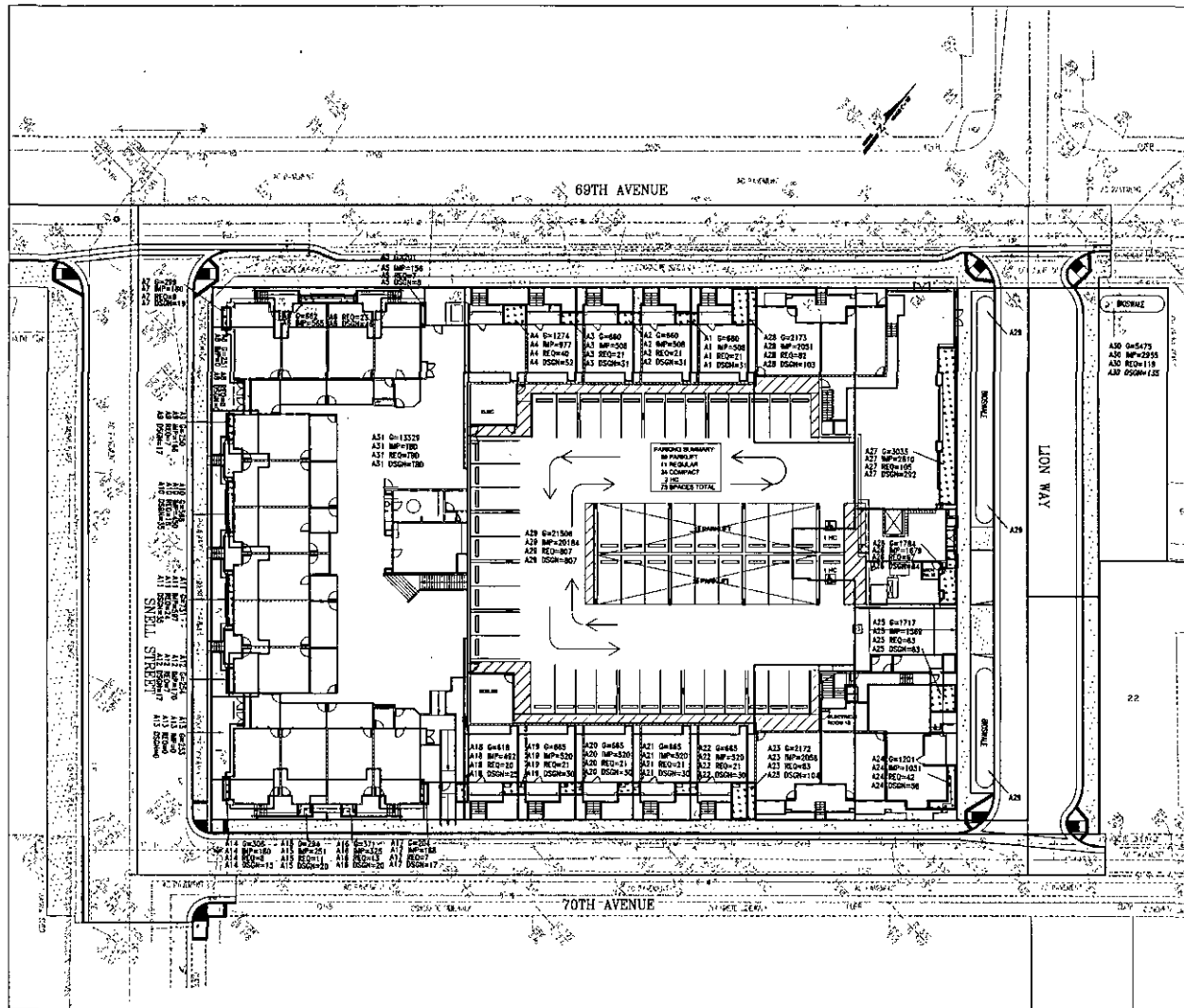
Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: chl@lukassociates.com



LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

REVISIONS	NO.	DATE	DESCRIPTION
△			
△			
△			
△			

Title: **CROSS SECTIONS (69TH AVENUE) (170TH AVENUE)**
 Date: **JULY, 2006**
 Book: **AS SHOWN**
 Drawn By: **D.A.P.**
 Checked By: **S.L.**
 Job No.: **23056-20**
 Drawing No.: **23056-20/PROFILE.dwg**
 Plot Date: **DECEMBER 29, 2006**
 Sheet No.: **C-6.3**
 Of Sheets: **01**



C3-CALCULATION TABLE

SIZING FACTOR (C1) (PAVEMENT) = 0.04 OF IMPERVIOUS AREA
 SIZING FACTOR (C2) (SCALE) = 0.04 OF IMPERVIOUS AREA (3/8" WIDE SCALE)
 SIZING FACTOR (S) (PAVER) = IMPERVIOUS AREA * 1.1 (TREATMENT & DETENTION)
 PER ALAMEDA COUNTY WIDE CLEAN WATER PROGRAM PUBLICATION:
 "C3 STORMWATER TREATMENT DRAINAGE" AUGUST 27, 2008 VERSION 1.0

DRAINAGE AREA	TOTAL AREA S.F.	IMPERVIOUS AREA S.F.	SIZING FACTOR	MIN. SIZING FACTOR	DESIGN TREATMENT AREA S.F.	TREATMENT METHOD
A1	660	508	0.04	21	31	INFILTRATION PLANTER
A2	680	508	0.04	21	31	INFILTRATION PLANTER
A3	660	508	0.04	21	31	INFILTRATION PLANTER
A4	1,274	977	0.04	40	52	INFILTRATION PLANTER
A5	201	156	0.04	7	8	INFILTRATION PLANTER
A6	562	565	0.04	23	46	INFILTRATION PLANTER
A7	280	180	0.04	8	19	INFILTRATION PLANTER
A8	251	0	0.04	0	0	N/A
A9	250	196	0.04	7	17	INFILTRATION PLANTER
A10	968	450	0.04	18	35	INFILTRATION PLANTER
A11	731	587	0.04	24	35	INFILTRATION PLANTER
A12	254	170	0.04	7	17	INFILTRATION PLANTER
A13	253	0	0.04	0	0	N/A
A14	306	180	0.04	8	15	INFILTRATION PLANTER
A15	294	251	0.04	11	20	INFILTRATION PLANTER
A16	371	325	0.04	13	20	INFILTRATION PLANTER
A17	204	168	0.04	7	17	INFILTRATION PLANTER
A18	616	482	0.04	20	25	INFILTRATION PLANTER
A19	665	520	0.04	21	30	INFILTRATION PLANTER
A20	665	520	0.04	21	30	INFILTRATION PLANTER
A21	665	520	0.04	21	30	INFILTRATION PLANTER
A22	665	520	0.04	21	30	INFILTRATION PLANTER
A23	2172	2008	0.04	83	104	INFILTRATION PLANTER
A24	1201	1031	0.04	42	58	INFILTRATION PLANTER
A25	1717	1568	0.04	63	83	INFILTRATION PLANTER
A26	1784	1579	0.04	67	84	INFILTRATION PLANTER
A27	3033	2810	0.04	105	292	INFILTRATION PLANTER
A28	2173	2051	0.04	82	103	INFILTRATION PLANTER
A29	21308	20184	0.04	807	807	BIOHALE
A30	5475	2905	0.04	118	135	BIOHALE
A31	13329	180	0.04	180	180	PERVIOUS PAVEMENT

TREATMENT LEGEND



TREATMENT DATA:
 A1 C=0.00 TOTAL DRAINAGE AREA
 A1 IMP=0.00 IMPERVIOUS AREA SUBTOTAL
 A1 REQ=0.00 REQUIRED TREATMENT AREA
 A1 DES=0.00 DESIGN TREATMENT AREA

Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: dluk@lukandassociates.com



LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

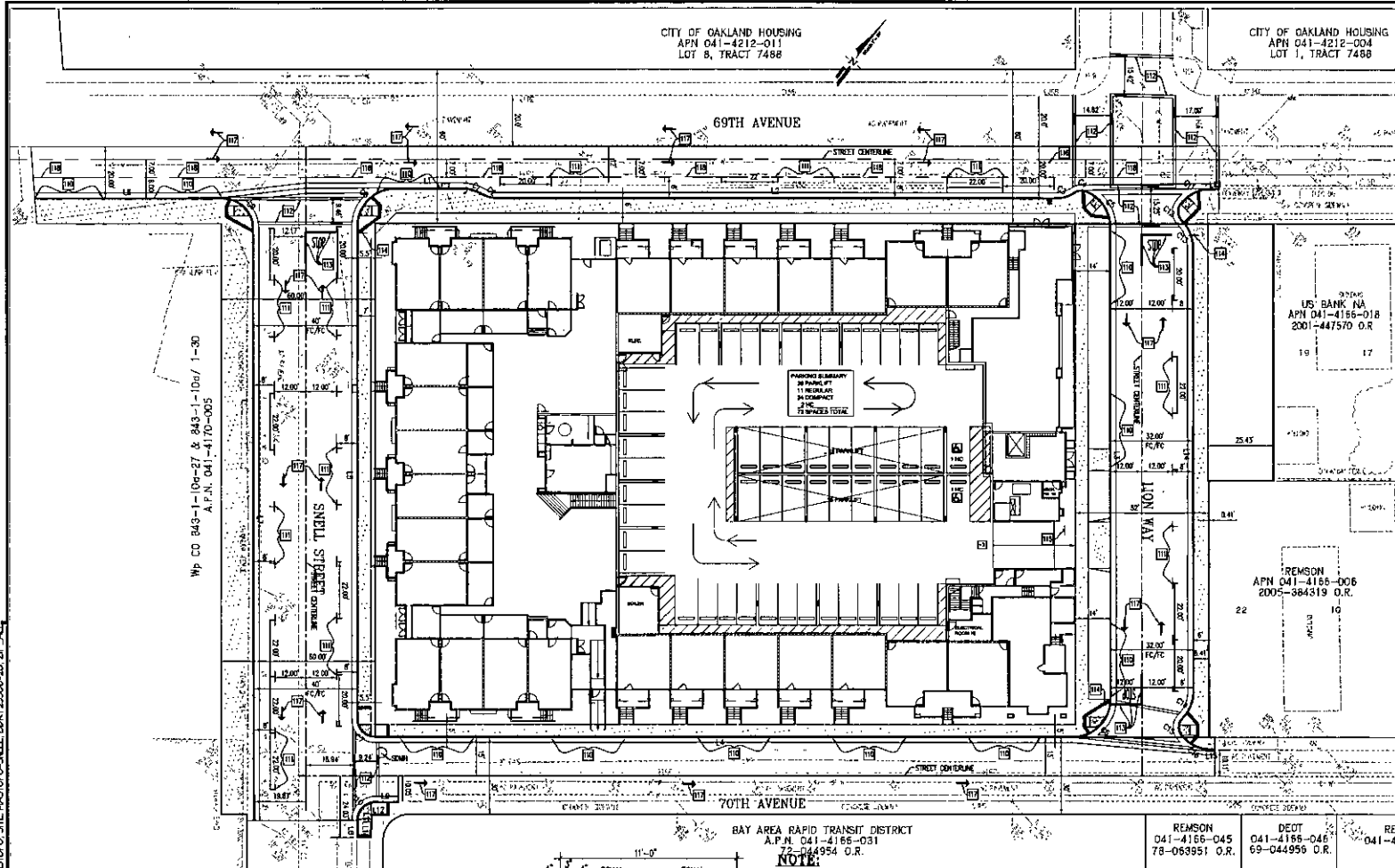
REVISIONS

NO.	DATE	DESCRIPTION

Title: **C3-EXHIBIT**

Date: **JULY, 2008**
 Scale: **NONE**
 Drawn By: **D.A.D.**
 Checked By: **d.l.**
 Job No.: **28056-20**
 Drawing No.: **28056-20/C3.dwg**
 Plot Date: **DECEMBER 23, 2006**
 Sheet No.: **C-7**
 of **3** sheets

SHEET 03 OF 03
 69TH AVENUE
 70TH AVENUE
 LION CREEK CROSSINGS
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CALIFORNIA
 28056-20



LINE AND CURVE DATA INFORMATION:

LINE	LENGTH	BEARING
L1	25.34'	N52°05'35"E
L2	216.00'	N52°04'12"E
L3	183.41'	N37°35'48"W
L4	271.81'	N52°05'42"E
L5	191.40'	N37°34'40"W
L6	73.09'	N52°04'12"E
L7	229.95'	N37°35'50"W
L8	6.65'	N37°38'28"W
L9	8.28'	N52°01'32"E
L10	7.03'	N33°04'21"W
L11	2.00'	N37°57'07"W
L12	7.00'	N52°02'51"E
L13	3.62'	N51°23'51"E
L14	172.00'	N37°35'48"W
L15	1.63'	N52°04'58"E

CURVE	LENGTH	RADIUS	DELTA
C1	7.88'	15.00'	28°20'15"
C2	7.69'	15.00'	28°21'39"
C3	8.92'	15.00'	32°32'10"
C4	4.61'	5.00'	52°47'36"
C5	18.26'	15.00'	89°44'33"
C6	23.57'	15.00'	92°01'30"
C7	10.93'	7.00'	89°58'38"
C8	23.98'	15.00'	91°34'57"
C9	18.84'	12.00'	88°56'58"
C10	11.99'	7.17'	95°45'34"
C11	13.59'	15.00'	81°53'47"
C12	7.22'	5.00'	82°45'29"
C13	11.87'	15.00'	48°20'07"
C14	11.80'	15.00'	45°58'40"
C15	7.25'	5.00'	83°05'23"
C16	13.62'	15.00'	52°32'03"

Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: glk@lukaassociates.com



LION CREEK CROSSINGS
 Coliseum Gardens
 Phase IV
 Oakland, California

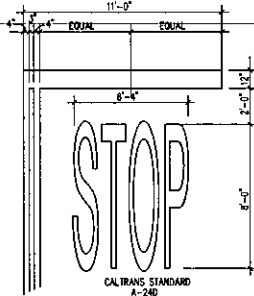
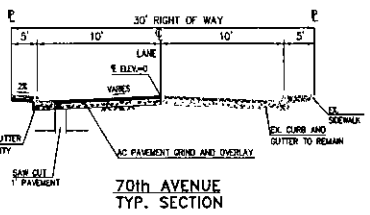
REVISIONS

NO.	DATE	DESCRIPTION

THE DIMENSION PLAN

Date: JULY, 2005
 Scale: 1" = 20'
 Drawn By: D.A.D.
 Checked By: G.L.
 Job No.: 2005-20
 Drawing No.: 2005-20-DIMENSION.dwg
 Plot Date: DECEMBER 23, 2006
 Sheet No.: **C-8**
 Of Sheets

SHEET BELONGS TO THIS SITE. MUST SHOW SHEET. BORT-25006-25. 20" x 34"



NOTE:
 REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND LANDSCAPING PLAN FOR SIDEWALK LOCATION AND DIMENSIONS, TYPICAL.

NOTE:
 REFER TO ARCHITECTURAL PLANS FOR STREET LIGHT LOCATION, TYPICAL.

NOTE:
 1. ALL PAVEMENT PAINTING IS TO BE THERMOPLASTIC PAINT.
 2. PAINT STOP SIGN AND STOP BAR WHITE REFLECTIVE THERMOPLASTIC PAINT.
 3. PAINT (2) COATS MINIMUM LET DRY BETWEEN COATS.
 4. ALL STRIPES ARE TO COMPLY WITH APPLICABLE CALTRANS STANDARDS.

- STRIPING NOTES:**
- 110 PAINT CURB RED COLOR WITH WHITE LETTERS "NO PARKING - FIRE LANE". REFER TO ARCHITECTURAL PLANS FOR COLOR SELECTION
 - 111 INSTALL PARALLEL PAINTING PER MUTCD CA SUPPLEMENT FIGURE 3B-18(CA)
 - 112 INSTALL 12" WIDE WHITE CROSSWALK LINES.
 - 113 INSTALL 8" HIGH "STOP" BAR LEGEND AND 12" WHITE STRIPE.
 - 114 INSTALL R1 STOP SIGN PER CALTRANS STANDARD.
 - 115 INSTALL ENTRANCE SIGN AT ENTRY PER DETAIL NO. 0 AS SHOWN ON SHEET 00.
 - 116 INSTALL BLUE REFLECTIVE MARKER OF STIMONSITE 88 OR EQUAL 12" FROM THE CENTERLINE ON THE FIRE HYDRANT SIDE.
 - 117 PAINT ARROW TYPE L
 - 118 INSTALL 6" WHITE LANE LINE PER CALTRANS STANDARD DETAILS.

BAY AREA RAPID TRANSIT DISTRICT
 A.P.N. 041-4166-031
 72-044954 O.R.

REMSON
 041-4166-045
 78-068951 O.R.

DEOT
 041-4166-048
 69-044959 O.R.

HP CO 849-1-10a-27 & 849-1-10a/ 1-30
 A.P.N. 041-4170-005

US BANK NA
 APN 041-4166-018
 2001-447570 O.R.

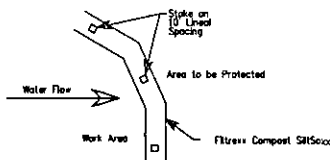
REMSON
 APN 041-4166-006
 2005-384519 O.R.

EROSION CONTROL NOTES:

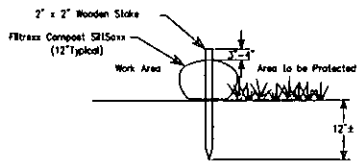
- CONTRACTOR IS RESPONSIBLE FOR ALL ASPECTS OF "EROSION CONTROL" AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY ENGINEER DURING THE ENTIRE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL PLACE 3"-4" COARSE DRAIN ROCK AS A GRAVEL ROADWAY (2" MIN. THICK FOR THE FULL WIDTH AND 50' LONG) AT EACH ENTRANCE TO THE SITE. ANY ROAD THAT IS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED THAT SAME DAY AND AS REQUIRED BY THE CITY INSPECTOR.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED TO MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RE-SUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE ENTIRE CONSTRUCTION PERIOD.
- ANY SEDIMENT BASINS SHALL BE CLEARED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEANOUT LEVEL INDICATED ON THE PLANS.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE CITY ENGINEER.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW.
- THIS PLAN MAY NOT COVER ALL SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD, SUBJECT TO THE APPROVAL OF THE CITY.
- HYDROSEED ALL CUT AND FILL SLOPES WHICH ARE STEEPER THAN SIX WITH THE FOLLOWING (VOLUMES SHOWN ARE PER ACRE OF SLOPE):

FERTILIZER: 500 LBS. 16-4-8
 SEED: 50 LBS. BLANDED BROUKE GRASS
 50 LBS. ANNUAL RYE GRASS
 30 LBS. ROSE CLOVER
 CHEMICAL TACKLER: 2000 LBS. WOOD CELLULOSE
 30 LBS. ORGANIC BINDER

- TO CONTROL EROSION WITHIN THE STREET RIGHT-OF-WAY, FILTER SOCKS, SANDBAGS, EARTH BUNDLES OR OTHER SUITABLE MATERIALS SHALL BE PLACED WITHIN ALL UNPAVED STREETS DURING THE ENTIRE CONSTRUCTION PERIOD. THESE ROLLS OF FIBER SHALL BE PLACED AS SHOWN ON PLAN OR AS REQUIRED BY THE CITY ENGINEER (SEE FIBER ROLL DETAIL, THIS SHEET). THE ROLLS SHALL BE SECURELY ANCHORED IN PLACE BY STAKES OR REBARS DRIVEN THROUGH THE ROLLS WITH THE FIRST STAKE IN EACH ROLL ANGLED TOWARD THE PREVIOUSLY LAID ROLL TO FORCE THEM TOGETHER. THE ROLLS SHALL BE MAINTAINED IN GOOD CONDITION FOR THE ENTIRE CONSTRUCTION PERIOD UNTIL THE STREET IS PAVED. ROLLS OF FIBER OR OTHER SUITABLE MATERIALS SHALL BE USED TO PREVENT SEDIMENT LOADED RUNOFF FROM ENTERING ANY PARTIALLY COMPLETED STORM DRAIN SYSTEM (SEE DETAIL ON THIS SHEET).
- WHEN TEMPORARY STRUCTURES HAVE SERVED THEIR INTENDED PURPOSE AND THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, THE DRAINAGE AND RESULTING SEDIMENT DEPOSITS ARE TO BE LEVELED OR OTHERWISE DEPOSED OF AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
- CONTRACTOR IS RESPONSIBLE FOR ALL AGENCY EROSION CONTROL PLANS AND PAPERWORK AND IS RESPONSIBLE FOR ALL CLOSURES OF THESE PLINGS.



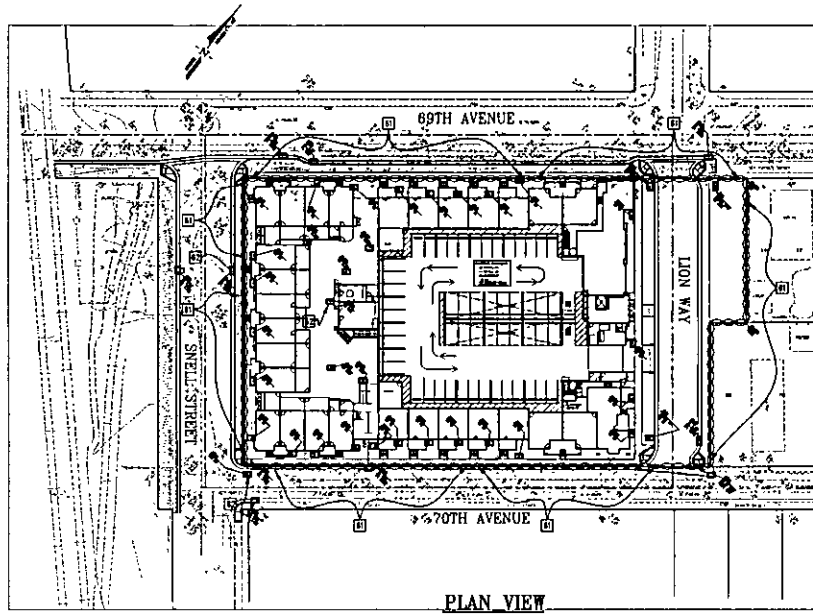
**Filtrexx SiltSoxx
PLAN VIEW
NOT TO SCALE**



**Filtrexx SiltSoxx SECTION
NOT TO SCALE**

NOTES:

- ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS. SPECIFICATION CAN BE FOUND AT <http://www.filtrexx.com/4113205MPP120-SCSISSoxx.pdf>
- SILT/SOXX COMPOST TO MEET APPLICATION REQUIREMENTS.
- SILT/SOXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE ENGINEER.
- COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
- FILTER MATERIAL AND GRATE SHALL OVERLAP INLET ON ALL SIDES BY A MINIMUM OF 1'.
- INLET FILTER GRATE SHALL BE MADE OF #3 RE-BARS, CROSS CROSSED AT 6" (WELDED OR TIED TOGETHER WITH WIRE) OR A PLATE WITH A MINIMUM OF 75% OPEN AREA, BOTH OF SUFFICIENT STRENGTH TO PREVENT BONDING WHEN DRIVEN OVER BY A VEHICLE.
- INLET FILTER GRATE SHALL BE SECURELY ATTACHED TO DRAIN INLET BY WIRE OR RE-BARS(BOUND OVER).
- FILTERS SHALL BE INSPECTED WEEKLY AND BEFORE AND AFTER EACH RAINFALL. REPAIRS, SEDIMENT/DEBRIS REMOVAL SHALL BE MADE TO ASSURE EFFICIENCY FUNCTIONING OF FILTER SYSTEM.



**PLAN VIEW
SCALE: 1" = 40'**

LEGEND

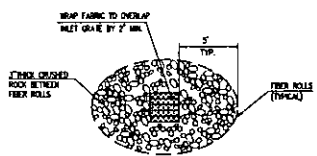
- COMPOST FILTER SOCK
- INLET PROTECTION

- 1. INSTALL COMPOST FILTER SOCK PER DETAIL SHOWN ON THIS SHEET.
- 2. INSTALL DRAIN INLET PROTECTION PER DETAIL SHOWN ON THIS SHEET. CONTRACTOR SHALL EXERCISE CAUTION NOT TO DAMAGE INLET STRUCTURE DURING INSTALLATION.

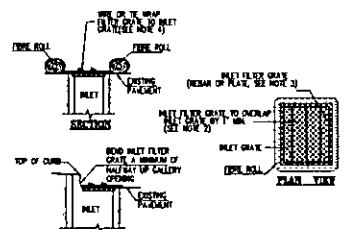
CONSTRUCTION SPECIFICATIONS

- CONSTRUCTION AND MAINTENANCE OF THE COMPOST FILTER SOCK CAN BE FOUND AT WWW.TOPSPRAY.COM/EROSIONCONTROL/FILTRESOXS/1/ABND/15/DEFALL.LASP/
- THE MATERIAL FOR CONSTRUCTION SHALL BE 3 TO 4 INCH ROCK.
- LENGTH - AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
- THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT OF WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT OF WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT OF WAY MUST BE REMOVED IMMEDIATELY.

**INLET PROTECTION DETAIL
(UNPAVED AREAS-ONSITE)
NOT TO SCALE**



**STORM INLET PROTECTION DETAIL
(PAVED AREAS-ONSITE)
NOT TO SCALE**



Luk and Associates
 Civil Engineering
 Land Planning
 Land Surveying
 738 Alfred Nobel Drive
 Hercules, CA 94547
 Phone (510) 724-3388
 Fax (510) 724-3383
 Email: dluk@lukassociates.com



LION CREEK CROSSINGS
 Cotiseum Gardens
 Phase IV
 Oakland, California

REVISIONS	NO.	DATE	DESCRIPTION
▲			
▲			
▲			

The EROSION CONTROL PLAN

Date: JULY, 2006
 Scale: 1" = 40'
 Drawn by: D.A.D.
 Checked by: G.L.
 Job No.: 25056-20
 Drawing No.: 25056-20/EROSION/04/06
 Plot Date: DECEMBER 28, 2006
 Sheet No.: C-9
 of Sheets

SHEET NO. 25056-20/EROSION/04/06
 05/11/06 11:58 AM
 25056-20/EROSION/04/06

LAYOUT LEGEND

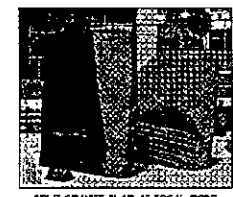
	AC PAVING, S.C.D.		EXPANSION JOINT
	STANDARD GREY CONCRETE PAVING		LOCATE AS SHOWN AT ALL JOINTS BETWEEN PAVING & WALLS, AND AT ALL CHANGES IN PAVING MATERIAL
	FINISH MEDIUM SAND BLEND		SCORELINE, LOCATE AS SHOWN, SPACE EQUALLY 1' MINIMUM
	S.C.D. FOR VEHICULAR SECTION		SEE CIVIL DRAWINGS
	STANDARD GREY CONCRETE PAVING		SEE ARCHITECTURAL DRAWINGS
	FINISH MEDIUM SAND BLEND		SEE ELECTRICAL DRAWINGS
	S.C.D. FOR VEHICULAR SECTION		SEE STRUCTURAL DRAWINGS
	INTEGRAL COLOR CONCRETE PAVING		SEE PLUMBING CONSULTANT DRAWINGS
	FINISH MEDIUM SAND BLEND		SEE WATERPROOFING CONSULTANT DRAWINGS
	S.C.D. FOR VEHICULAR SECTION		TYPICAL
	INTEGRAL COLOR CONCRETE PAVING		PLANTING AREA
	FINISH MEDIUM SAND BLEND		MANUFACTURER
	S.C.D. FOR VEHICULAR SECTION		TO BE DETERMINED
	MORTA GOODS, E		SPACINGS
	PLAY SURFACING		POINT OF BEGINNING
	BENCH		FACE OF BUILDING
	MFR. LANDSCAPE FORMS		EQUAL
	MODEL, FINISH, POWDERCOAT		SIMILAR
	COLOR, TBD		ALIGN
	PHONE		CENTER LINE
	LITTER RECEPTACLE		PROPERTY LINE
	MFR. LANDSCAPE FORMS		EQUAL SPACES
	MODEL, FINISH, BRUSHED ALUMINUM BY CLEAR COAT		SAND BLAST
	PHONE		MEDIUM
	BIKE RACK		MEDIUM BANDBLAST
	MFR. BROADCASTER		ON CENTER
	FINISH, BREKEDDED		WATER PROOF MEMBRANE
	COLOR, BLACK		EACH WAY
	PH. 48-353-1428		RADIUS
	ORNAMENTAL IRON FENCING		NORMALE
	C.H.U. PATIO WALL ON GRADE		CONCRETE MASONRY UNIT
	C.H.U. PATIO WALL ON PODIUM		BOTH WAYS
	CONCRETE WALL ON PODIUM		
	24" DIA. POT		
	MFR. CONCRETE		
	MODEL, COPPER/LEAD		
	FINISH, S		
	COLORS		
	PHONE		
	36" DIA. POT		
	MFR. CONCRETE		
	MODEL, COPPER/LEAD		
	FINISH, S		
	COLORS		
	PHONE		
	PENDANT MOUNTED POLE LIGHT, S.E.D. SHEET 01		

LAYOUT NOTES

1. Contractor shall verify all grades, existing conditions and dimensions in the field prior to commencing work. All discrepancies or questions shall be brought to the attention of the Landscape Architect for resolution.
 2. All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of the building, wall, back of curb, edge of walk, pavement line, or centerline of column unless otherwise noted on the drawings.
 3. All dimensions at building are to face of building. All dimensions at roadway are to face of curb.
 4. All angles are 45 degree, 50 degree or 90 degree unless otherwise noted.
 5. All curves and all transitions between curves and straight edges shall be smooth.
 6. See irrigation schematic for general system requirements and for location of irrigation saline piping. Sleeves to accommodate irrigation piping, sized as needed, shall be in place under and through slabs and walls prior to pouring.
 7. Score lines in sidewalks shall be spaced to equal the width of the sidewalk, unless otherwise shown. Expansion joints in a sidewalk shall be 30' on center minimum and shall occur at all building edges, walls, curbs, handicapped ramps, and planters.
 8. Expansion joints in concrete walls shall be at 40' o.c. maximum. Contractor joints shall be at 100' o.c. maximum.
 9. Slopeback patterns, walls, grading and drainage is based on drawings prepared by the Civil Engineer.
- GEORGE LUK AND ASSOCIATES
1. See electrical engineer's plan and lighting plan for additional information.
 2. Contractor to submit fencing samples for approval by Landscape Architect.
 3. Contractor to provide 1' x 4' panel of each concrete color and finish poured in place to be approved by Landscape Architect.
 4. Contractor to provide (1) 3' length of wall for each concrete color and finish poured in place to be approved by Landscape Architect.

PODIUM DECK NOTES

1. Irrigation valve wire conduit under podium and penetration through podium deck to be installed by Electrical Subcontractor. See Irrigation Plans.
2. Irrigation main lines under podium deck and penetrations through podium deck to be installed by Plumbing Subcontractor. See Irrigation Plans.
3. Podium deck shall slope a minimum 1/2" per foot per architect details. Refer to Architecture Plans for podium deck sloping plan.
4. All podium deck drains, podium planter drains, and drain lines to be installed by plumbing contractor.
5. Penetrations and transitions should be reinforced with uncoated neoprene membrane embedded in the hot rubberized asphalt membrane.
6. Contractor to review all architectural drawings, consultant drawings, details, and specifications prior to commencement of work.
7. All waterproofing drainage system areas for built in place planter walls shall be flood tested for 48 hours and reviewed by an owner's representative prior to commencing or completing the work. Any leakage found or noted is to be documented and repaired and then flood tested again for 48 hours until all waterproofing defective areas are eliminated.
8. All waterproofing conditions and tested areas shall be reviewed and approved in writing by owner's representative prior to concealing the work or cleaning it complete.
9. Refer to architect's drawings and water proof membrane consultants for podium deck, building interface, etc.



SPLIT GRANITE SLAB AT FOCAL POINT

GENERAL NOTES

1. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO ANY SPECIFIC PHASE OF THE PROJECT. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF THE CONTRACTOR AND ANY EMPLOYING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.
2. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED AND SHEETED SO THAT THE EARTH WILL NOT BE SETTLED OR SETTLE AND SO THAT EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING BRACINGS AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, BRACING AND BRACINGS OR EQUIVALENT METHOD FOR THE PROTECTION OF LIFE, ONLITS, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA, THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.
4. THE CONTRACTOR SHALL TAKE EFFECTIVE ACTION TO PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM HIS FAILURE TO DO SO.
5. THE CONTRACTOR SHALL PROVIDE FOR ingress and egress for PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.
6. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.
7. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.
8. ANY EXTRA CONSTRUCTION STAKING NECESSITATED SOLELY BY THE CONTRACTOR'S NEGLIGENCE SHALL BE CHARGED TO THE CONTRACTOR ON A TIME AND EXPENSE BASIS AND PAID FOR BY THE CONTRACTOR.
9. STATIONING HEREON IS ALONG CONSTRUCTION CENTERLINE UNLESS OTHERWISE SHOWN OR INDICATED.
10. ALL RETURN RADIUS AND CURBS DATA ARE TO FACE OF CURBS.
11. WHENEVER BOTTOM OF WALL (AND ELEVATION IS GIVEN) IT IS FINISH ELEVATION OR GRADE ELEVATION AT FACE OF WALL.
12. ALL QUANTITIES AND PAY ITEMS ARE AND WILL BE BASED ON HORIZONTAL MEASUREMENTS.
13. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST THREE (3) WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.) AT 800-221-2800. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES IN ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.
14. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE CITY ENGINEER OR UTILITY AGENCY REPRESENTATIVE AT THE CONTRACTOR'S SOLE EXPENSE.
15. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ALL AND ALL REQUIREMENTS OF THE UTILITY COMPANY REPRESENTATIVE INCLUDING PERMITS, BONDS, PERMITS AND WORKING CONDITIONS, ETC. THIS WORK SHALL BE DONE AT NO EXPENSE TO THE UTILITY COMPANY. THE OWNER SHALL PAY THE COST OF ALL SUCH RELOCATION WORK INCLUDING PERMITS, BONDS, PERMITS, ETC.
16. ANY ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORKS WITHIN 50 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST HAS BEEN CERTIFIED BY THE CALIFORNIA ARCHAEOLOGICAL SOCIETY AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.
17. THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS IS NEITHER ENCOURAGED NOR RECOMMENDED. ANY PARTY INSTALLING OR USING ANY PARTY SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES, OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT.
18. THE CONTRACTOR SHALL MEET AND FOLLOW ALL NPDES REQUIREMENTS IN EFFECT AT THE TIME OF CONSTRUCTION.
19. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT GATES & ASSOCIATES AT (951) 736-8076 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
20. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PUBLIC SAFETY AND SAFETY OF EXISTING STRUCTURES. THE CONTRACTOR SHALL PROVIDE ADEQUATE BARRICADES, TRAFFIC CONTROL, SHORING, BRACINGS AND GUYS IN ACCORDANCE WITH ALL NATIONAL, STATE SPECIES AND LOCAL SAFETY ORDINANCES.
21. ALL APPLICABLE REQUIREMENTS OF THE CALIFORNIA CONSTRUCTION AND GENERAL INDUSTRY SAFETY ORDERS, THE OCCUPATIONAL SAFETY AND HEALTH ACT AND THE CONSTRUCTION SAFETY ACT SHALL BE THE.
22. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY CAL-OSHA PRIOR TO CONSTRUCTION.

PODIUM DECK PLANTING MAINTENANCE NOTES

- A. Plants shall be checked every 2 to 3 years to determine whether roots have penetrated into the roof structure or are adversely affecting the growth of smaller plants. These roots should be cut to slow further growth.
- B. Special attention should be given to pruning trees and shrubs in order to maintain a balance between pruning and root growth. This will help prevent the overtopping of top-bearing plants due to strong winds.
- C. All planted areas should annually receive a top dressing, approximately 1-4" thick, made up of a mixture similar to the original planting medium.
- D. All planting areas to be fertilized 3 times per year, spring.

TPA Thomas Dolan
Architect
1100 Spring
Planning and
Development
Consultants
tel: (510) 937-2241
fax: (510) 937-2236
sketches for your review
www.tpa-arch.com
Landscape & Site
1711 Wilton Avenue
Oakland, CA 94612
94617-1514

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310 6th STREET
SUITE 200
OAKLAND, CA
94607
510.287.535 PHL
510.763.4143 FAX

LION CREEK
CROSSINGS
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

GATES & ASSOCIATES
ARCHITECTS
1100 Spring
Planning and
Development
Consultants
tel: (510) 937-2241
fax: (510) 937-2236
sketches for your review
www.gates-arch.com

ISSUE	DESCRIPTION	DATE
1	AS-BUILT REVIEW	10/28/18
2	FINAL DESIGN	07/20/18
3	REVISIONS (MATERIALS)	05/04/18
4	DRIVEN (DESIGN) (PLOT)	12/20/17

DATE: 10/24/18
JOB NO. 47129
DRAWN BY: TS
NOTES & LEGENDS
SHEET NO. L1.1

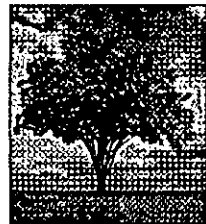
PLANT IMAGES



ACER RUBRUM



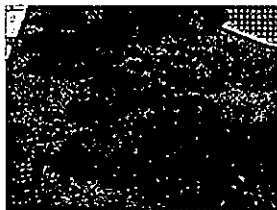
CERCIS CANADENSIS



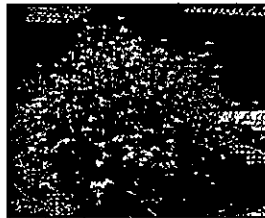
LAGERSTROEMIA INDICA



QUERCUS VIRGINIANA



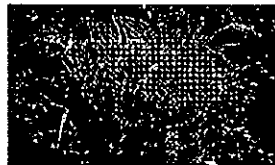
ARCTOSTAPHYLOS



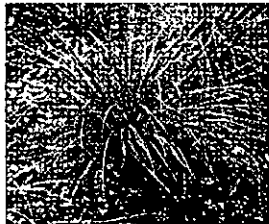
DIETES SP.



HEMEROCALLIS SP.



NASSELLA TENUIS



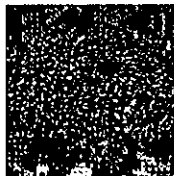
CAREX SP.



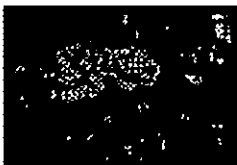
JUNCUS PATENS



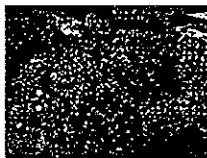
CHONDROPETALUM TECTORUM



VERBENA



CAMELLIA



LAVENDULA SP.

PLANT LIST

SYN	Botanical Name	Common Name	Size	Spacing
AR	ACER RUBRUM	RED MAPLE	24" BOX	As Shown
BE	BETULA JACOBINSONII	BIRCH	24" BOX	As Shown
CC	CERCIS CANADENSIS	EASTERN REDBUD	24" BOX	As Shown
ED	ERIGONIA A. OBLENA	BRIDGE LOGAN	8 GAL, 24" BOX	As Shown
LI	LAGERSTROEMIA INDICA	CRAPPE HYDRTE	8 GAL, 24" BOX	As Shown
LE	LEUCALICIA CALIFORNICA	CALIFORNIA TREE	8 GAL	As Shown
PC	PYRUS CALLERYANA 'CAPITAL'	FLOWERING PEAR	8 GAL	As Shown
PI	PYRUS CALLERYANA 'CAPITAL'	FLOWERING PEAR	8 GAL	As Shown
PT	PYRUS CALLERYANA 'CAPITAL'	FLOWERING PEAR	24" BOX	As Shown
RT	RAPHANOLIPIS 'LALBETIC BEAUTY'	INDIAN HAWTHORN	8 GAL	As Shown
OR	QUERCUS ROBUR 'PATIOMATA'	EUROPEAN OAK	24" BOX	As Shown
QV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	24" BOX	As Shown
TL	TRESTANIA LAUREA	BASTER GUM	24" BOX	As Shown

SYN	Botanical Name	Common Name	Size	Spacing
AD	ARCTOSTAPHYLOS D. MORGANII	MANZANITA	8 GAL	8'-0"
AR	ARCTOSTAPHYLOS D. MORGANII	YORK HILL MANZANITA	8 GAL	8'-0"
AP	ARCTOSTAPHYLOS UVA-URSI 'PONTI REYES'	MANZANITA	1 GAL	8'-0"
AU	AURELIA UNEDO 'TOPPACTE'	CHAMP STRAWBERRY TREE	9 GAL	As Shown
CD	CISTIS DORIS HENDERSON	DORIS HENDERSON ROCKROSE	9 GAL	As Shown
CC	CAMELLIA SASANGUA 'JEAN HAY'	SARAWAK CAMELLIA	9 GAL, 8 GAL	As Shown
CJ	CISTIS INCANUS	PINK ROCKROSE	1 GAL	8'-0"
CH	CAREX POMPONIN	POPPON'S SEDGE	1 GAL	8'-0"
CB	CAREX SECIA	NON	9 GAL	As Shown
CT	CHONDROPETALUM TECTORUM	CAPE RUSH	9 GAL	As Shown
DE	DIETES SP.	SUN POPPY	9 GAL	As Shown
DY	DIETES VEGETA	PORTRAIT LILY	9 GAL	As Shown
EG	ERIGONIA OBLONGA VAR. RUBESCENS	RED-FLOWERING BUCKWHEAT	1 GAL	7'-0"
ES	ERIGONIA RITRICHIALE	TRIPLE BELL	1 GAL	8'-0"
ET	ESCALLONIA ALBA 'TENN'	CHAMP ESCALLONIA	9 GAL	As Shown
EU	ERIGONIA SP. BELLUM	CHAMP BUCKWHEAT	1 GAL	7'-0"
H	HEMEROCALLIS	ICING SEDGE	1 GAL	As Shown
HA	HEMEROCALLIS ARISTATA	TOP GUN	9 GAL	8'-0"
HE	HEMEROCALLIS	HEBE	1 GAL	As Shown
HC	HEMEROCALLIS 'BUTBY'	EVERGREEN DAYLILY	1 GAL	As Shown
HT	HEMEROCALLIS PROSTRATA	CORAL BELLS	1 GAL	7'-0"
ID	IRIS DOUGLASSIANA	PACIFIC COAST IRIS	1 GAL	7'-0"
LA	LAVENDULA ANGLICANA	ENGLISH LAVENDER	1 GAL	8'-0"
LJ	LAVENDULA JAPONICA 'TEKANAT'	HEAVY	9 GAL	8'-0"
LH	LAVANDULA HANFENIA	SEA LAVENDER	1 GAL	As Shown
LP	LAVANDULA P. REBZII	TREE HALLLOW	9 GAL	As Shown
LT	LAVANDULA THURBERGII	TREE HALLLOW	9 GAL	As Shown
TLA	TRIFOLIUM ALBERTIANUM	STICKY FLOUNDER	1 GAL	4'-0"
PC	PHYSCALIX CALIFORNICA	PACIFIC BAY HYDRTE	1 GAL	As Shown
HE	HEMEROCALLIS PROSTRATA	MEXICAN PEATEL GRASS	1 GAL	As Shown
PI	PALOUIS PRUTICOSA	JET-BALLET BAGE	1 GAL	8'-0"
PO	POLYSTICHUM MUNITUM	WESTERN BIRD'S NEST	1 GAL	3'-0"
PT	POTENTILLA TORVARIANA	NEW ZEALAND PLAIN	9 GAL	As Shown
PP	POTENTILLA APRICOT QUEEN	NEW ZEALAND PLAIN	9 GAL	As Shown
PR	PRINCEPES TORVARIANA	TOURNAI	9 GAL	As Shown
RC	RAPHANOLIPIS 'CLARA'	CLARA RAPHANOLIPIS	9 GAL	As Shown
RI	RAPHANOLIPIS CALIFORNICA 'EVE CAME'	COMBESNETT	1 GAL	4'-0"
RO	ROSA FREELAND 'PINK CHAMP ROSE'	PINK CHAMP ROSE	9 GAL	As Shown
RL	BALVIA LUCANTHA	MEXICAN BUSH SAGE	1 GAL	As Shown
SA	STIPA AMERICANA	PRELANT'S TAIL	1 GAL	As Shown
SB	STIPA AMERICANA	SEVEN EYED GRASS	1 GAL	As Shown
SC	BALVIA CLEVELANDII	CLEVELAND BAGE	1 GAL	4'-0"
TC	TEUCHIUM CALIFORNICUM	GRASS	9 GAL	As Shown
TV	TILLAGHIA VIOLEACEA	BUSH ORCHID	9 GAL	As Shown
VT	VERBENA TRINIS 'SPRING BOUQUET'	SOCIETY GARLIC	9 GAL	As Shown

SYN	Botanical Name	Common Name	Size	Spacing
AE	ARCTOSTAPHYLOS 'EMERALD CARPET'	MANZANITA	1 GAL	7'-6" O.C.
CA	CAREX PHYLLOSPHALLA 'SPANDLER'	SPANDLER PALM SEDGE	1 GAL	7'-6" O.C.
CH	CELANOLES HANFENIA	CELANOLES	1 GAL	7'-6" O.C.
EK	ERIGONIA KARYOGONIA	SANTA BARBARA DIARY	1 GAL	7'-6" O.C.
LI	LANTANA PONTICOIDES	LANTANA	1 GAL	7'-6" O.C.
LE	LIRIOPE SALICATA 'BURNING'	LILY TURF	1 GAL	7'-6" O.C.
RO	ROSMARINUS 'VEBIE'	ROSEMARY	1 GAL	7'-6" O.C.

SYN	Botanical Name	Common Name	Size	Spacing
BO	BOLDANVILLEA SPECTABILIS	BOLDANVILLEA	9 GAL	As Shown
CT	CLYBOTHROM CALLISTOCODES	LAVENDER TRIPLET YNE	9 GAL	As Shown
HY	HARDBERBERIA VIOLEACEA	LEUC VINE	9 GAL	As Shown
VC	VITIS CALIFORNICA 'WALKER RIDGE'	CALIFORNIA BIRD GRAPPE	9 GAL	As Shown

SYN	Botanical Name	Common Name	Size	Spacing
CT	CAREX TUPULICOLA	BERKELEY SEDGE	1 GAL	3'-0"
JP	JUNCUS PATENS	CALIFORNIA GRAY RUSH	1 GAL	W' O.C.

WATER CONSERVATION CONCEPT STATEMENT

- 1) THE PLANT LIST IS PRELIMINARY IN NATURE. SPECIES SHALL BE ADDED AND SUBTRACTED TO FULFILL THE DESIGN AND HORTICULTURAL REQUIREMENTS AS NECESSARY.
- 2) THE IRRIGATION SYSTEM SHALL BE DESIGNED WITH WATER CONSERVATION IN MIND WHILE ACHIEVING THE GOAL OF EFFECTIVELY AND EFFICIENTLY PROVIDING THE LANDSCAPE WITH WATER BY MEANS OF SPRAY IRRIGATION TO THE SUBSOIL-GROUND COVER AREAS AND SUBSALERS TO THE TREES.
- 3) THE SPRAY SYSTEM SHALL BE TONO SPRAY HEADS WITH PRESSURE COMPENSATING NOZZLES IN A HEAD TO HEAD LAYOUT TO ACHIEVE AN EVEN LEVEL OF PRECIPITATION THROUGHOUT THE IRRIGATION SYSTEM.
- 4) A STATE-OF-THE-ART IRRIGATION CONTROLLER SHALL BE SPECIFIED FOR THIS PROJECT TO CONTROL THE WATER ALLOCATED TO EACH VALVE GROUPED PER INDIVIDUAL HYDROZONES (BASED ON PLANT TYPE AND EXPOSURE).

SOILS NOTE
 SITE SOIL SHALL BE TESTED BY AN ACCREDITED SOIL ANALYSIS FIRM. RECOMMENDATIONS FOR HORTICULTURAL SUTABILITY SHALL BE INTEGRATED INTO SOIL STRUCTURE TO PROVIDE PLANT GROWTH.



TDA

Team Design
 Planning and
 Development
 of Landscapes
 1100 8th St
 Oakland, CA 94607
 www.tda.com

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

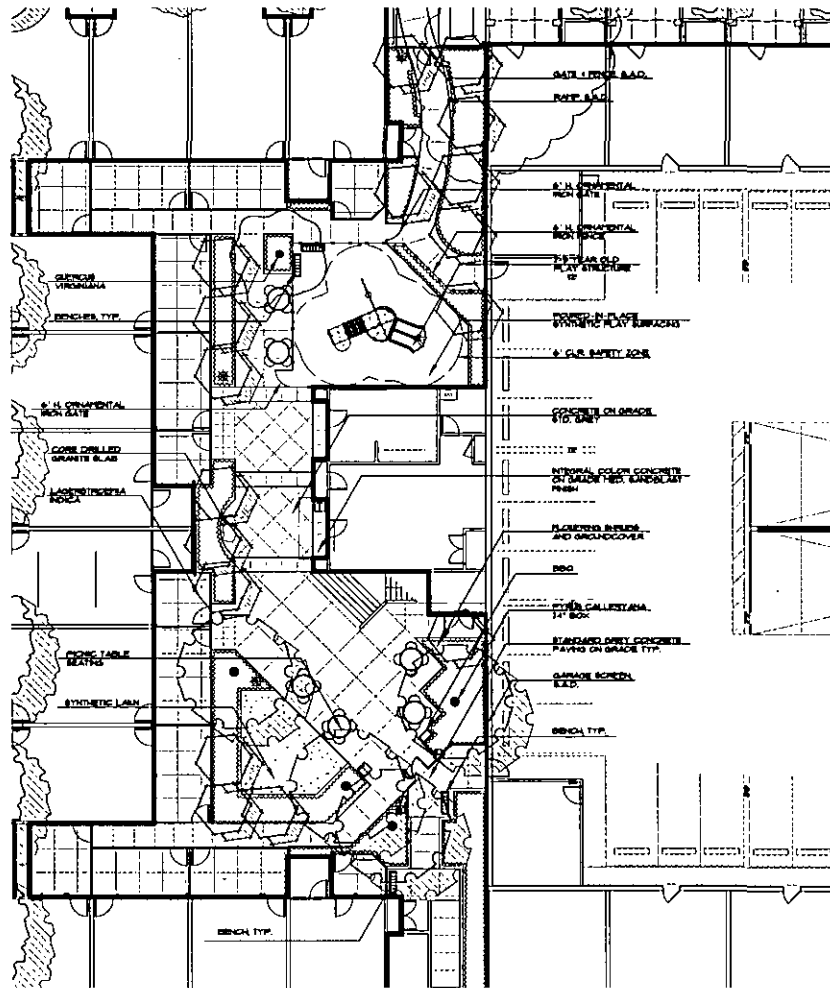
110 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5353 PH
 510.763.4143 FAX

LION CREEK
 CROSSINGS
 COMMON GARDENS
 PHASE IV
 OAKLAND, CA



NO.	REVISION	DATE
1	ISSUE FOR PERMITTING	11/24/04
2	FOR PRELIMINARY DESIGN	11/24/04
3	FOR PRELIMINARY DESIGN	11/24/04
4	FOR PRELIMINARY DESIGN	11/24/04



TPA
 Thomas Dolan
 Architecture
 Architecture
 Landscape Design
 Planning and
 Development
 Construction
 tel: (510) 438-7344
 fax: (510) 438-7350
 1715 Market Street
 Oakland, California
 94612 U.S.A.

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA
 310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 P11
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

DAYE & ASSOCIATES
 LANDSCAPE ARCHITECTS
 1000 Broadway
 Oakland, CA 94612
 Tel: 510.438.7344
 Fax: 510.438.7350
 www.daye.com

REV#	DESCRIPTION	DATE
01	ISSUE FOR PERMIT	04/27/01
02	REVISION: 10' SIGN	07/02/01
03	REV PLANNING DEPARTMENT	08/01/01
04	DESIGN DEVELOPMENT	11/27/01

DATE: 08/01/01
 DRAWN: 07/28



LANDSCAPE SCHEMATIC
 ON GRADE
 L 2.2



TPA

Thomas Dolan
Architecture

Architect
Landscape Design
Planning and
Development
Consultation

415 438 4477
415 438 4477
415 438 4477
www.tpa-arch.com

San Francisco, CA
1771 Mission Street
1 Oakland, CA 94612
94627 U.S.A.

OWNER:

EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
817 H
RELATED CALIFORNIA

310 9th STREET
SUITE 201
OAKLAND, CA
94607

510.287.5553 PH
510.763.4143 FAX

LION CREEK
CROSSINGS

COLLISUM GARDENS
PHASE IV
OAKLAND, CA

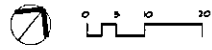
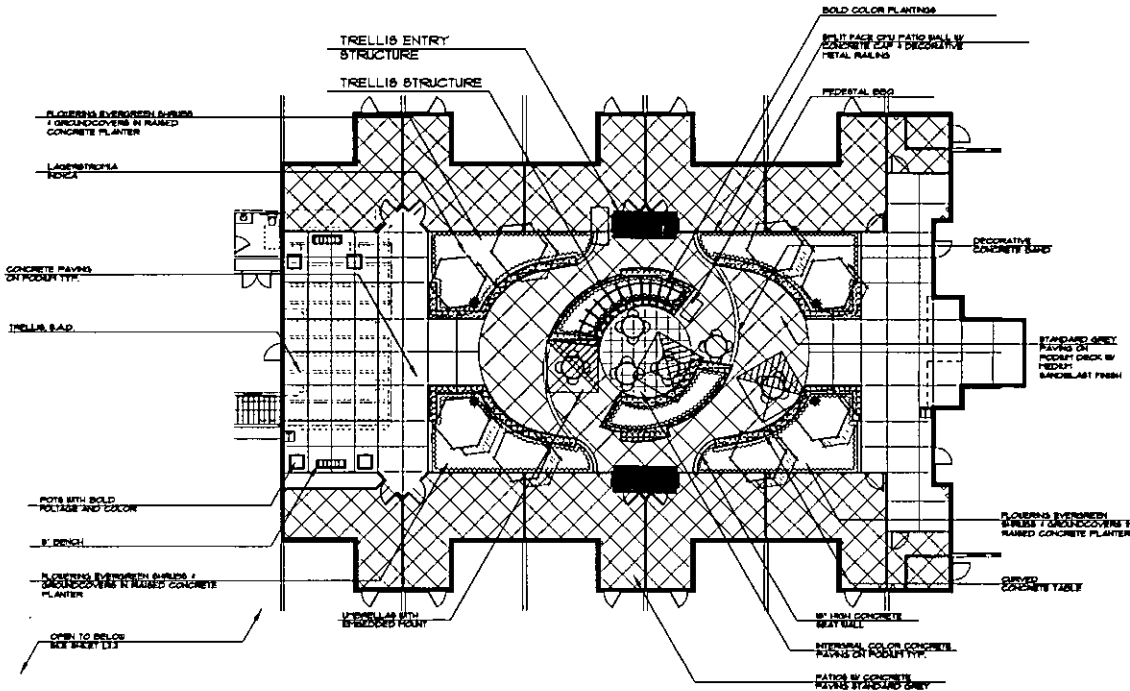


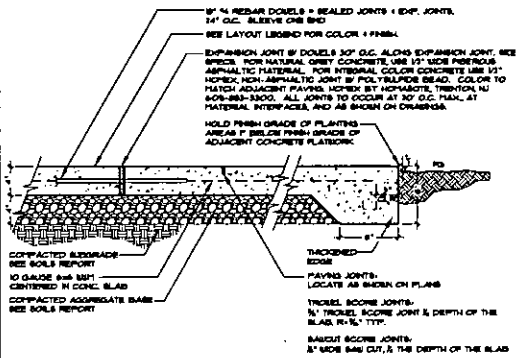
DATE	DESCRIPTION	DATE
06/14/04	NOI & SITE PLAN	06/24/04
06/24/04	SCHEMATIC DEVELOPMENT	07/08/04
07/08/04	DETAILED DEVELOPMENT	08/02/04
08/02/04		08/02/04
08/02/04		08/02/04
08/02/04		08/02/04
08/02/04		08/02/04
08/02/04		08/02/04
08/02/04		08/02/04

DATE: 07/04/04
JOB NO: 07/04

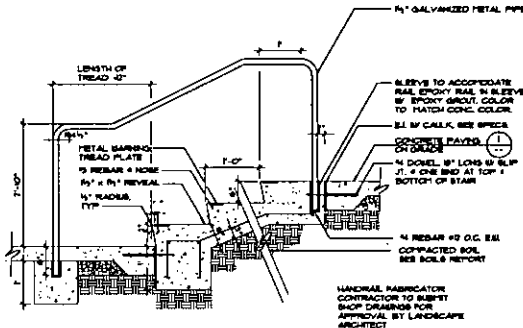
DRAWN BY: LANDSCAPE SCHEMATIC
ON PODIUM
L 2.3

SHEET NO.

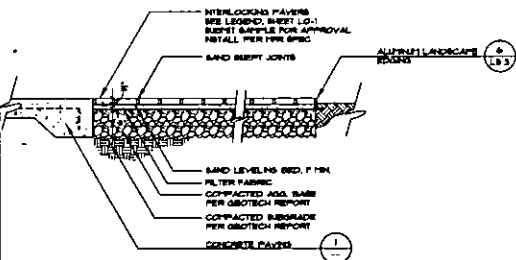




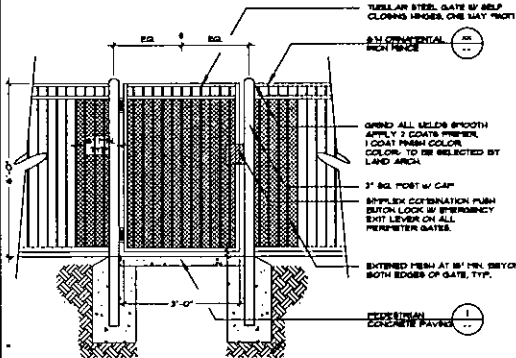
1 PEDESTRIAN CONCRETE PAVING
 SCALE: 1/2" = 1'-0"



4 STAIR W/ HANDRAIL
 SCALE: 3/4" = 1'-0"



2 INTERLOCKING PAVERS ON GRAVEL
 SCALE: 1" = 1'-0"



3 ORNAMENTAL METAL PEDESTRIAN GATE
 SCALE: 1/2" = 1'-0"

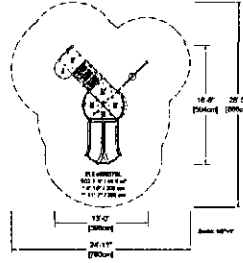
MODEL: TURBO
 MFR: BARBEQUES GALDRE

BARBECUE
 SCALE: 1" = 1'-0"



KOMPAN!

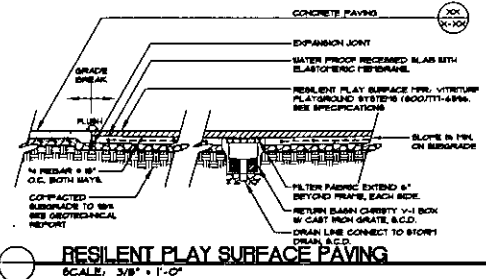
Best use age: 2-5
 Footing Information:
 In-ground posts. Surface installation. etc available
 Circuit # E1E400037



ADA Analysis

Standard Address	Accession Number	Ground Line Address	Ground Line City State
3	1	1	1
1	2	2	2

PLAY STRUCTURE
 SCALE: 1/8" = 1'-0"



RESILIENT PLAY SURFACE PAVING
 SCALE: 3/8" = 1'-0"

Thomas Dolan Architecture
 American Land Design Planning and Development
 48 4360 Alameda Blvd
 San Francisco, CA 94114
 415.774.2200
 www.thomasdolan.com

OWNERS
 EAST BAY ASIAN LOCAL DEVELOPMENT CORPORATION
 WITH RELATED CALIFORNIA

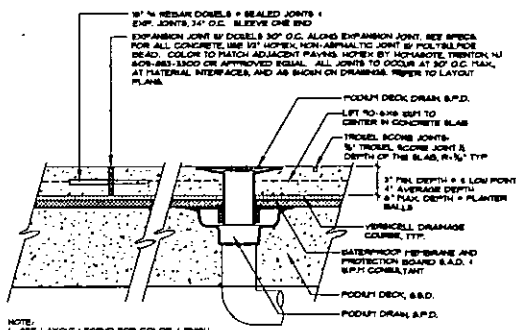
310 9th STREET
 SUITE 200
 OAKLAND, CA 94612
 510.287.5553 P11
 510.763.4143 FAX

LION CREEK CROSSINGS
 COLISFUM GARDENS
 PHASE IV
 OAKLAND, CA

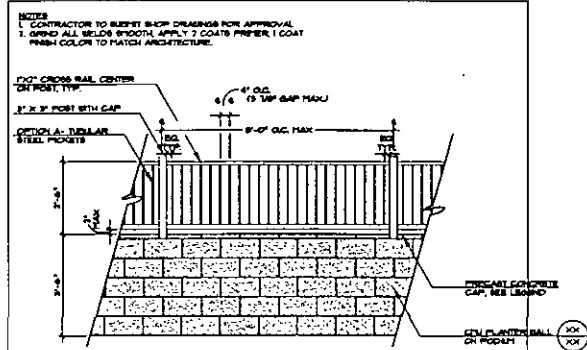
BATES & ASSOCIATES
 LANDSCAPE ARCHITECTS
 1000 BAY STREET
 OAKLAND, CA 94612
 510.763.4143 FAX

DATE	DESCRIPTION	DATE
03/21/07	ISSUE FOR PERMIT	03/21/07
07/02/08	FOR PERMITTING	07/02/08
10/01/08	FOR PERMITTING	10/01/08
11/21/08	FOR PERMITTING	11/21/08

DATE: 04/10
 DTD NO: 4719
 DRAWN BY: [Signature]
 LANDSCAPE DETAILS
 L 5.1
 SHEET NO. [Signature]



CONCRETE PAVING ON PODIUM DECK
SCALE: 1/2" = 1'-0"



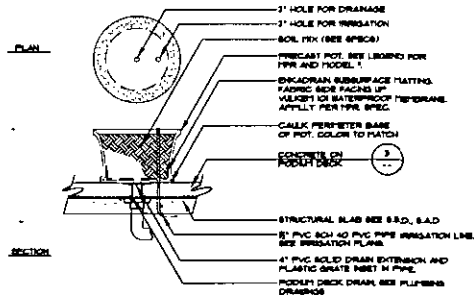
FENCE ATOP AT CMU WALL
SCALE: 1/2" = 1'-0"

ADDITIONAL TOP RAIL
METAL OPTIONS

OPTION B - PERFORATED
METAL PANELS

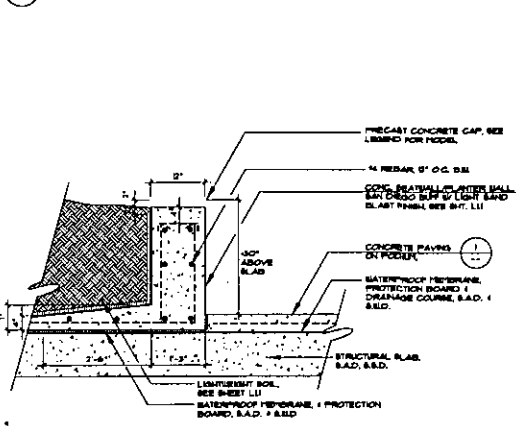
OPTION C - SOLID

OPTION D - SOLID
WITH PANEL

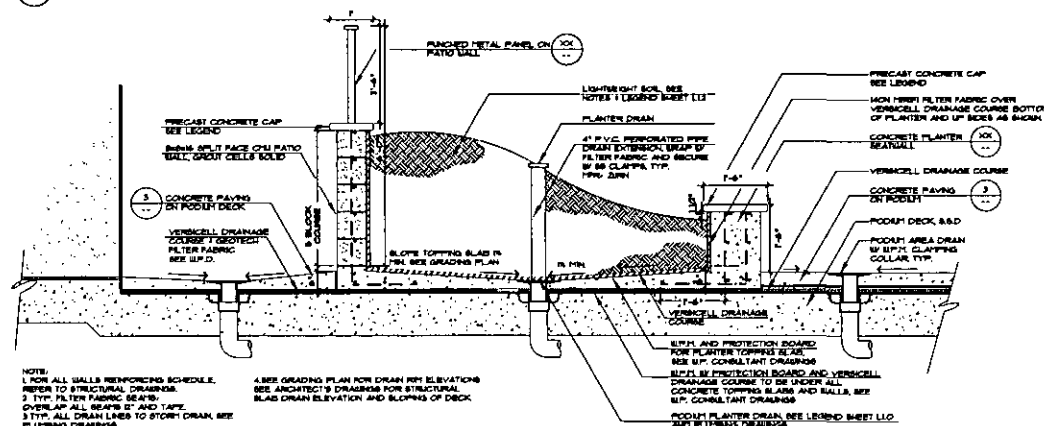


POT INSTALLATION ON PODIUM
SCALE: 1/2" = 1'-0"

SHADE STRUCTURE ON PODIUM
SCALE: 1" = 1'-0"



CONCRETE SEATWALL PLANTERS ON PODIUM
SCALE: 3/4" = 1'-0"



PATIO WALL / PLANTER WALL ON PODIUM DECK
SCALE: 3/4" = 1'-0"

TPA Thomas Delan Architecture
Architect
1400 Broadway
San Francisco, CA 94102
Tel: (415) 875-7200
Fax: (415) 875-7201
www.thomasdelan.com

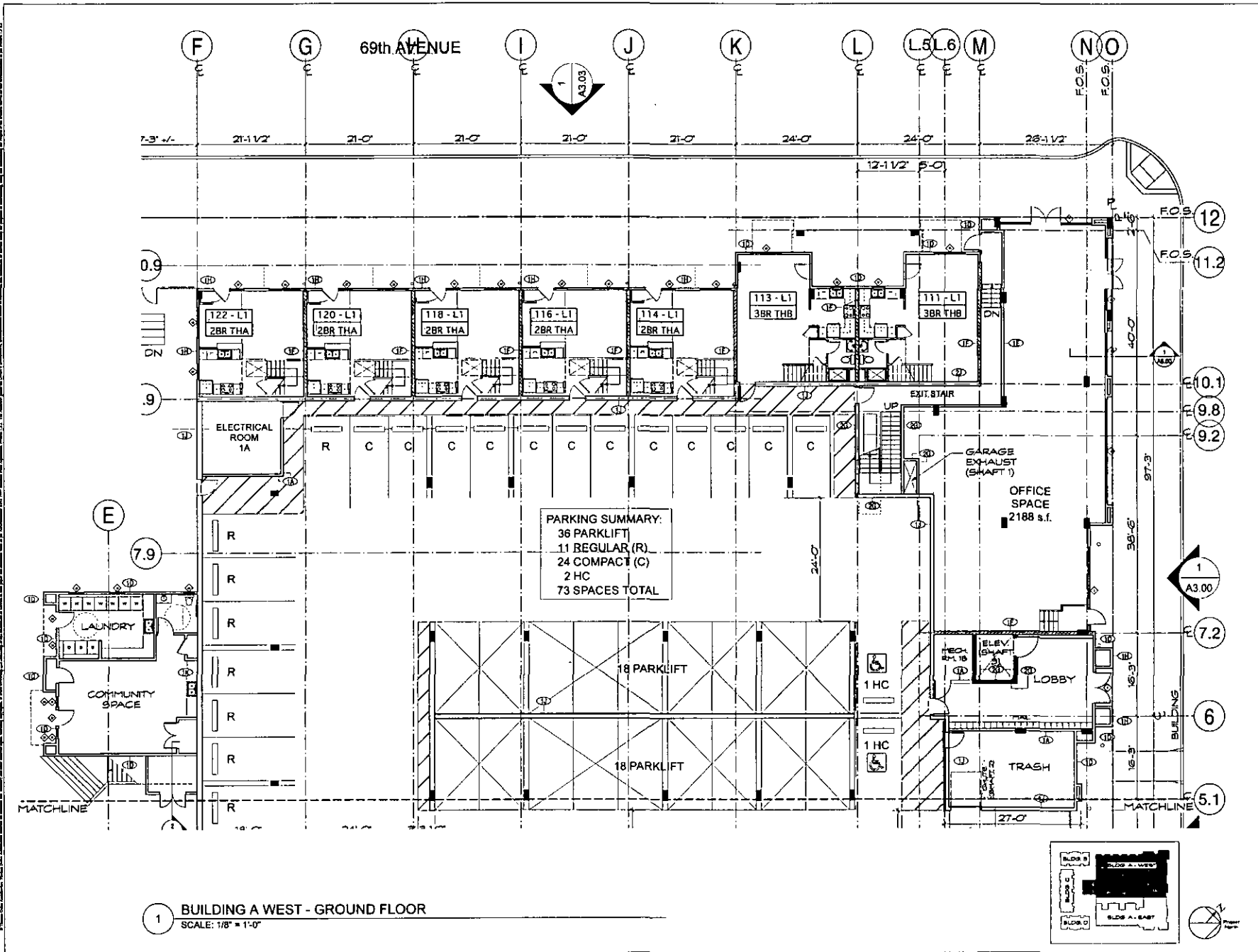
OWNER
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
8111
RELATED CALIFORNIA
300 8th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5353 PHL
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

BATES & ASSOCIATES
LANDSCAPE ARCHITECTS
1000 BAY STREET
SAN FRANCISCO, CA 94133
Tel: (415) 774-1100
www.batesandassociates.com

ISSUE	DESCRIPTION	DATE
01	ISSUE FOR PERMIT	03/21/07
02	REVISIONS TO PERMIT	07/23/07
03	REVISIONS TO PERMIT	08/15/07
04	REVISIONS TO PERMIT	12/21/07

DATE: 07/24/07
JOB NO: 07130
DRAWN:
LANDSCAPE
DETAILS
L 5.2



1 BUILDING A WEST - GROUND FLOOR
SCALE: 1/8" = 1'-0"

TDA Thomas Dolan Architects
 Architecture
 Urban Design
 Planning and
 Development
 Construction
 1118 9th Street
 Oakland, CA 94607
 510.287.5351 PH.
 510.765.4143 FAX

OWNER:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA
 310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5351 PH.
 510.765.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA
 FIRST FLOOR
 BUILDING PLAN
 BLDG A - WEST

ISSUE	DESCRIPTION	DATE
	NORA SUBMITTAL	18.10.07
	SCHEMATIC DESIGN	07.03.08
	PLANNING SUBMITTAL	05.01.08
	REV. PLANNING SUBMITTAL	06.01.08
	DESIGN DEVELOPMENT	08.07.08

DATE: 11.07.08
 JOB NO.: 07.10
 DRAWN:

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 16th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5553 PH.
510.763.4143 FAX

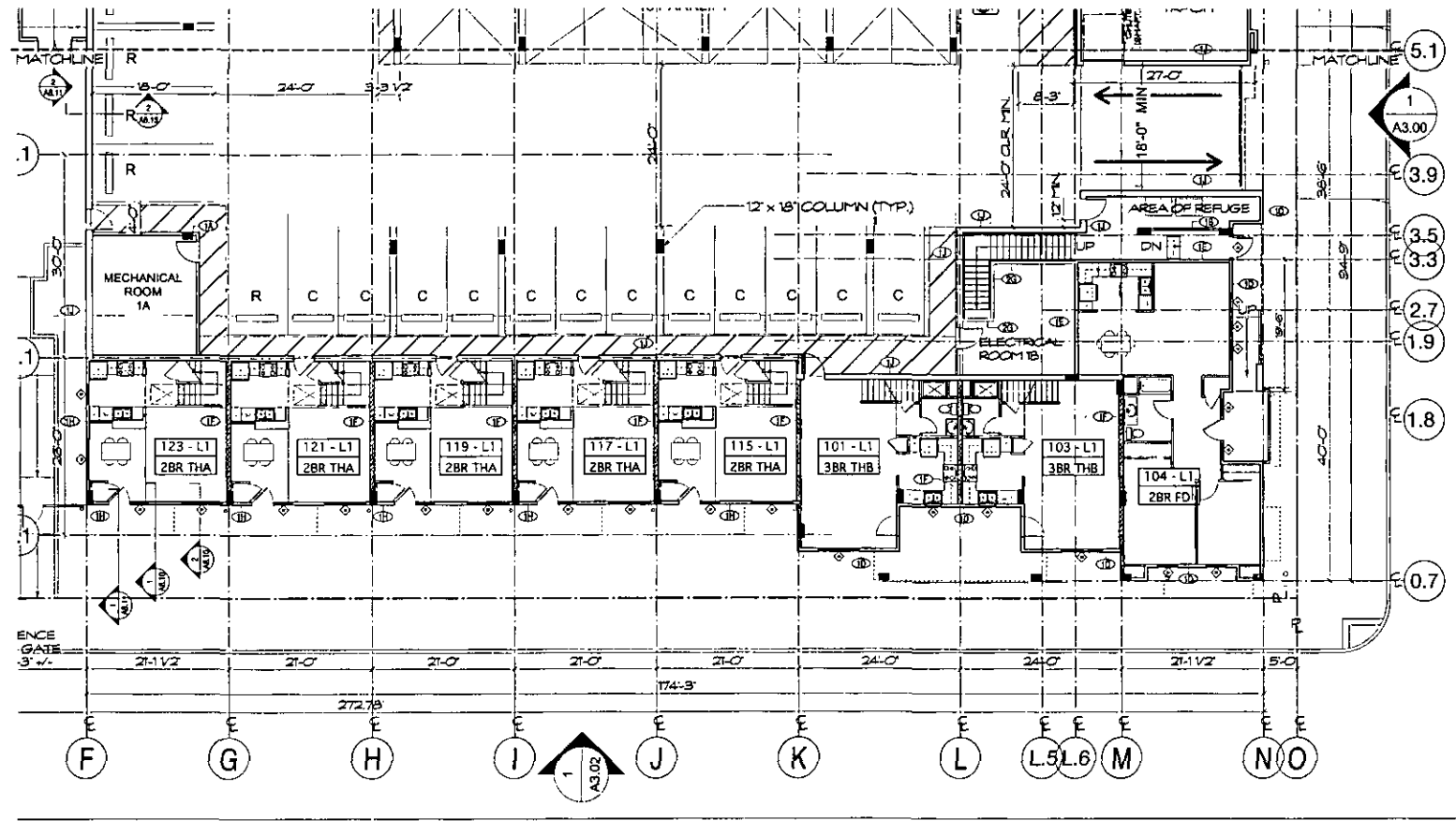
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

FIRST FLOOR
BUILDING PLAN
BLOCK A - EAST

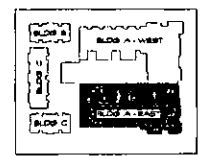
DATE	DESCRIPTION	DATE
10.13.01	NOVA SUBMITTAL	10.13.01
09.26.01	SCHEMATIC DESIGN	09.26.01
09.26.01	PLANNING SUBMITTAL	09.26.01
09.26.01	REV. PLANNING SUBMITTAL	09.26.01
01.07.01	URBAN DEVELOPMENT	01.07.01

DATE: 01.07.01
JOB NO.: 07-120
DRAWN:

SHEET NO. **A2.02**



1 BUILDING A EAST - GROUND FLOOR
SCALE: 1/8" = 1'-0"



OWNERS
FAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5353 PH.
510.763.4143 FAX

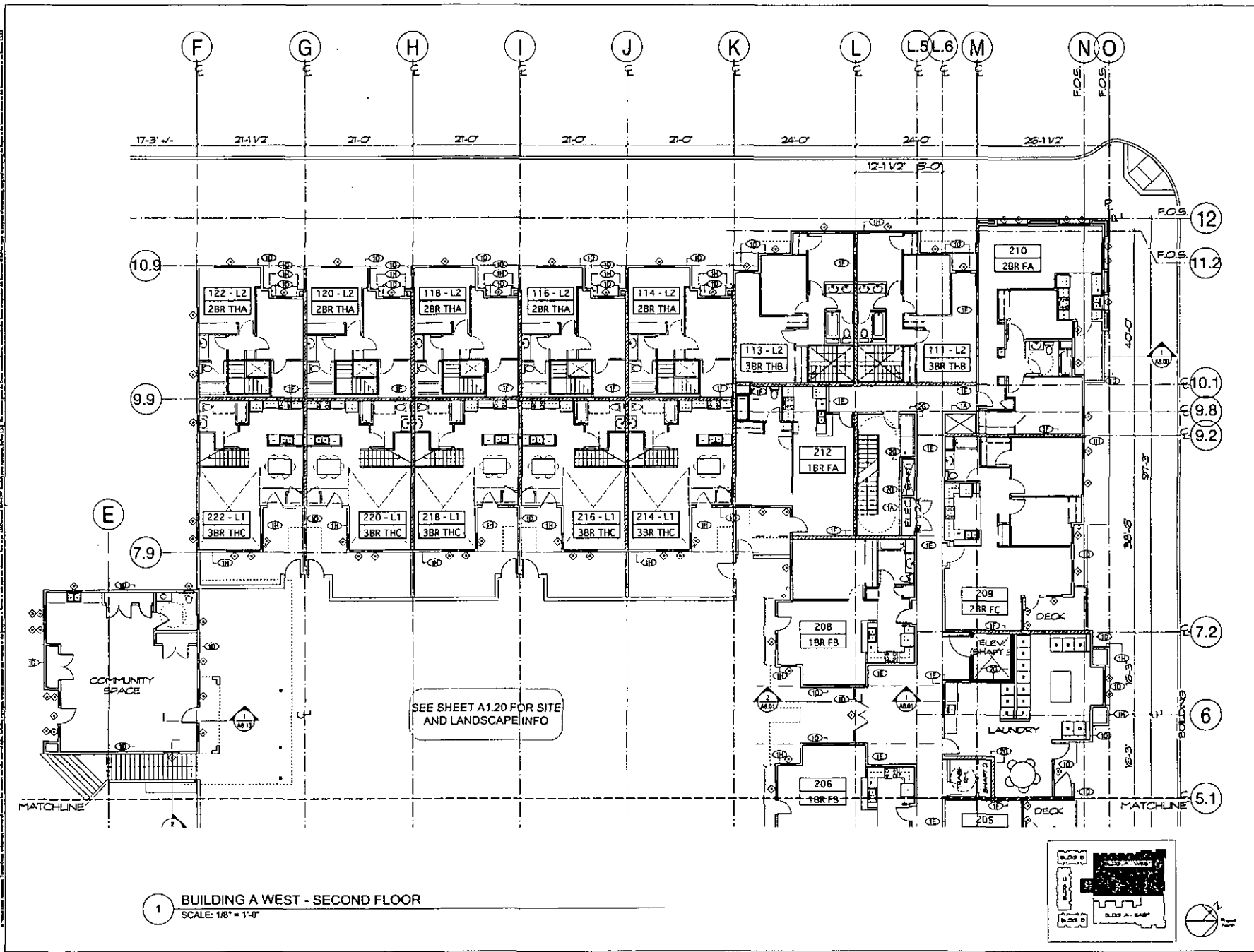
**LION CREEK
CROSSINGS**

COLISEUM GARDENS
PHASE IV
OAKLAND, CA

SECOND FLOOR
BUILDING PLAN
BLDG A WEST

ISSUE	DESCRIPTION	DATE
NOVA SUBMITTAL		10.23.07
MECHANICAL DESIGN		07.02.08
PLANNING SUBMITTAL		09.24.08
REV. PLANNING SUBMITTAL		10.01.08
DESIGN DEVELOPMENT		01.07.09

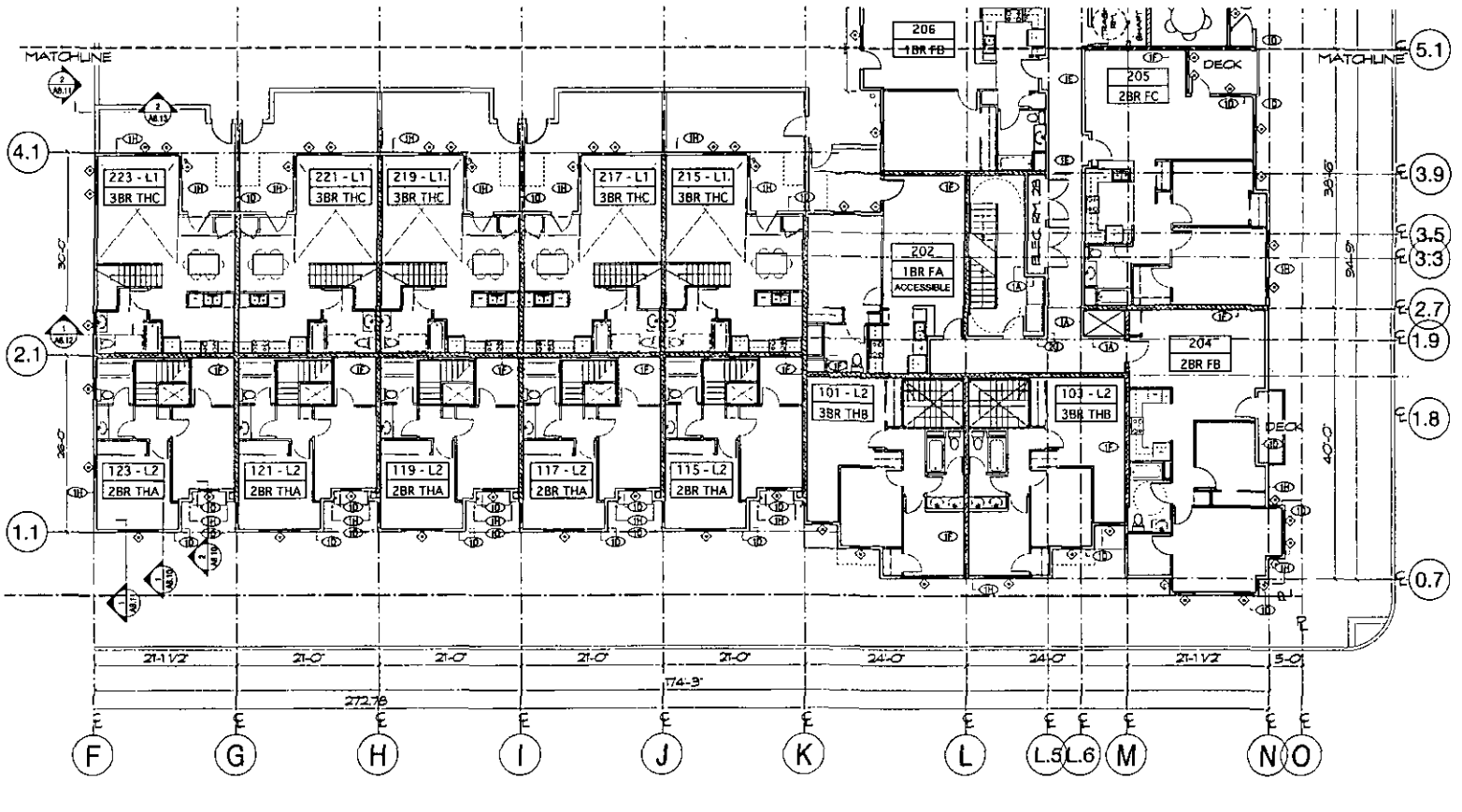
DATE: 01.07.09
JOB NO.: 07138
DRAWN:



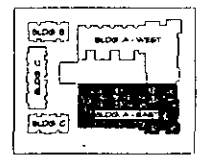
1 BUILDING A WEST - SECOND FLOOR
SCALE: 1/8" = 1'-0"

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 9777
 RELATED CALIFORNIA
 510 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 PH
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA
 SECOND FLOOR
 BUILDING PLAN
 BLDG A EAST



1 BUILDING A EAST - SECOND FLOOR
 SCALE: 1/8" = 1'-0"



DATE	DESCRIPTION	BY
10.23.02	NOVA SUBMITTAL	
07.25.04	SCHEMATIC DESIGN	
08.04.04	PLANNING SUBMITTAL	
08.19.04	REV PLANNING SUBMITTAL	
08.23.04	DESIGN DEVELOPMENT	

DATE: 01.07.04
 JOB NO: 0719
 DRAWN:

OWNERS
**EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION**
 WITH
RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5553 PH.
 510.763.4143 FAX

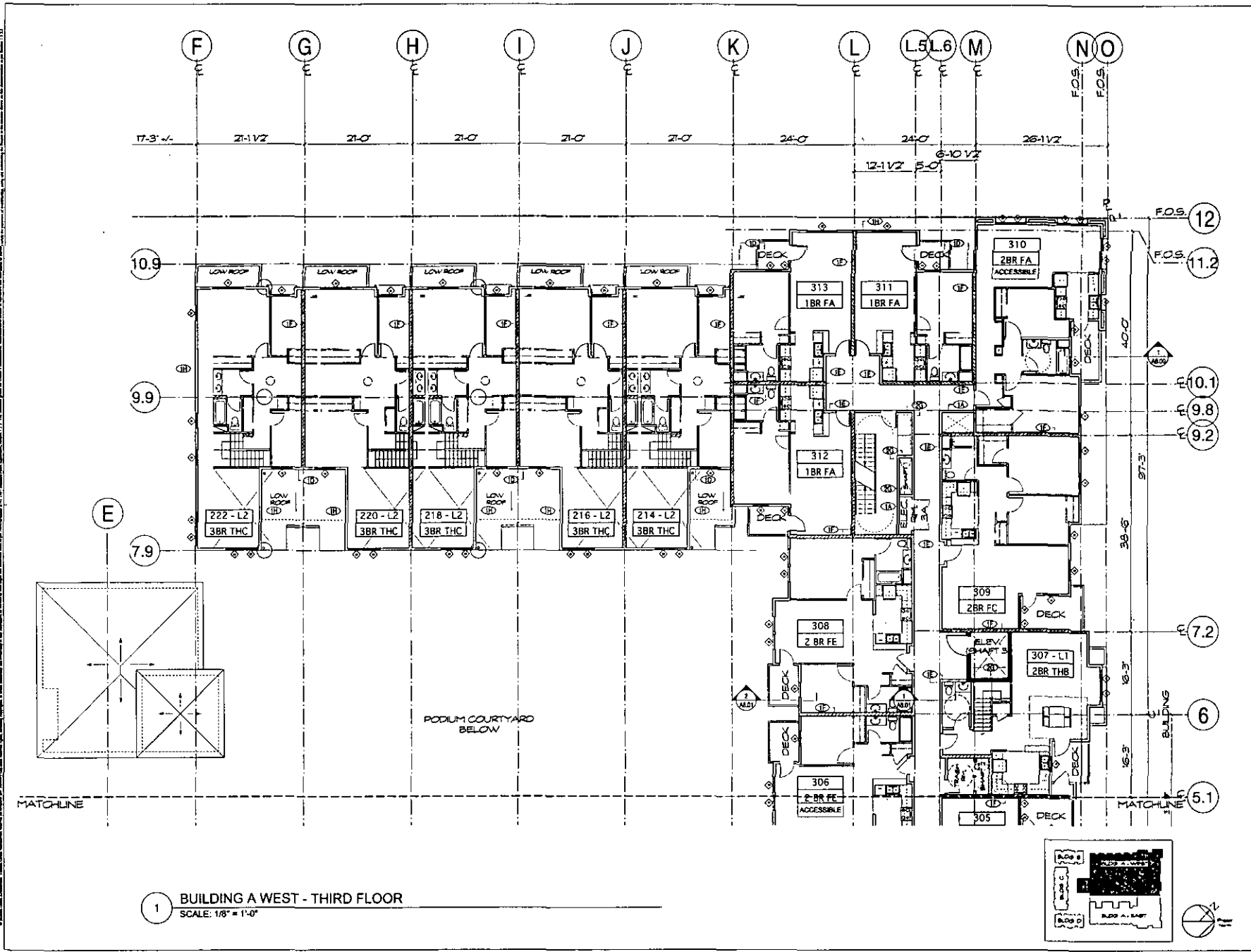
**LION CREEK
 CROSSINGS**

COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

THIRD FLOOR
 BUILDING PLAN
 BLOCK A WEST

NO.	DESCRIPTION	DATE
1	NOVA SUBMITTAL	08.23.09
2	SCHEMATIC DESIGN	07.02.09
3	PLANNING SUBMITTAL	05.04.09
4	KEY PLANNING SUBMITTAL	04.01.09
5	DESIGN DEVELOPMENT	01.27.09

DATE: 08.07.09
 JOB NO.: 07.128
 DRAWN:



1 BUILDING A WEST - THIRD FLOOR
 SCALE: 1/8" = 1'-0"



**Thomas Doherty
Architecture**
 Architecture
 Interior Design
 Planning and
 Development Consultant
 4810 15th Street
 San Francisco, CA 94115
 Tel: 415.774.1200
 Fax: 415.774.1201
 www.thomasdoherty.com
 Incorporating Wm
 175 Filbert Street
 Oakland, California
 94607 U.S.A.

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5553 PH.
 510.763.4143 FAX

**LION CREEK
CROSSINGS**

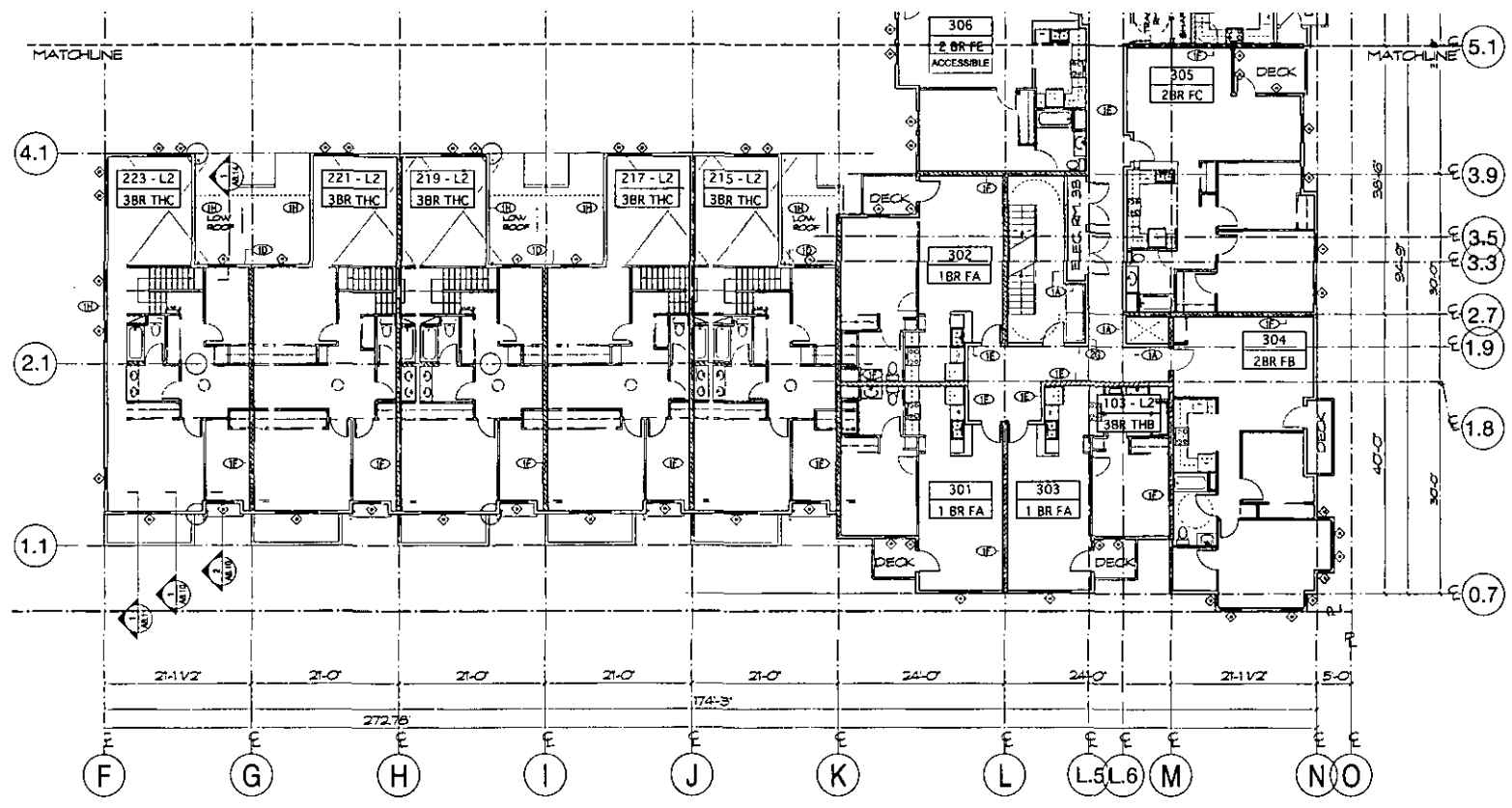
COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

THIRD FLOOR
 BUILDING PLANS
 BLDG A - EAST

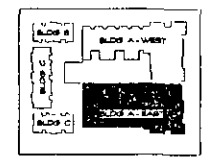
DATE	DESCRIPTION	DATE
NOV SUBMITTAL		10/25/07
SCHEMATIC DESIGN		07/02/08
PLANNING SUBMITTAL		08/08/08
DEV. PLANNING SUBMITTAL		08/08/08
DESIGN DEVELOPMENT		01/07/09

DATE: 01/07/09
 JOB NO.: 07-128
 DRAWN:

SHEET NO. **A2.06**



1 BUILDING A EAST - THIRD FLOOR
 SCALE: 1/8" = 1'-0"



OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 86 STREET
 SUITE 200
 OAKLAND, CA
 94607
 510 287 5353 PH
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

FOURTH FLOOR
 BUILDING PLANS
 BLOCK A WEST

DATE	DESCRIPTION	DATE
	PROJ. SUBMITTAL	10.23.07
	SCHEMATIC DESIGN	07.08.07
	PLANNING SUBMITTAL	09.24.06
	DEV. PLANNING SUBMITTAL	04.28.06
	DESIGN DEVELOPMENT	01.07.06

DATE: 11.07.07
 JOB NO: 07.10
 DRAWN:

SHEET NO: **A2.07**



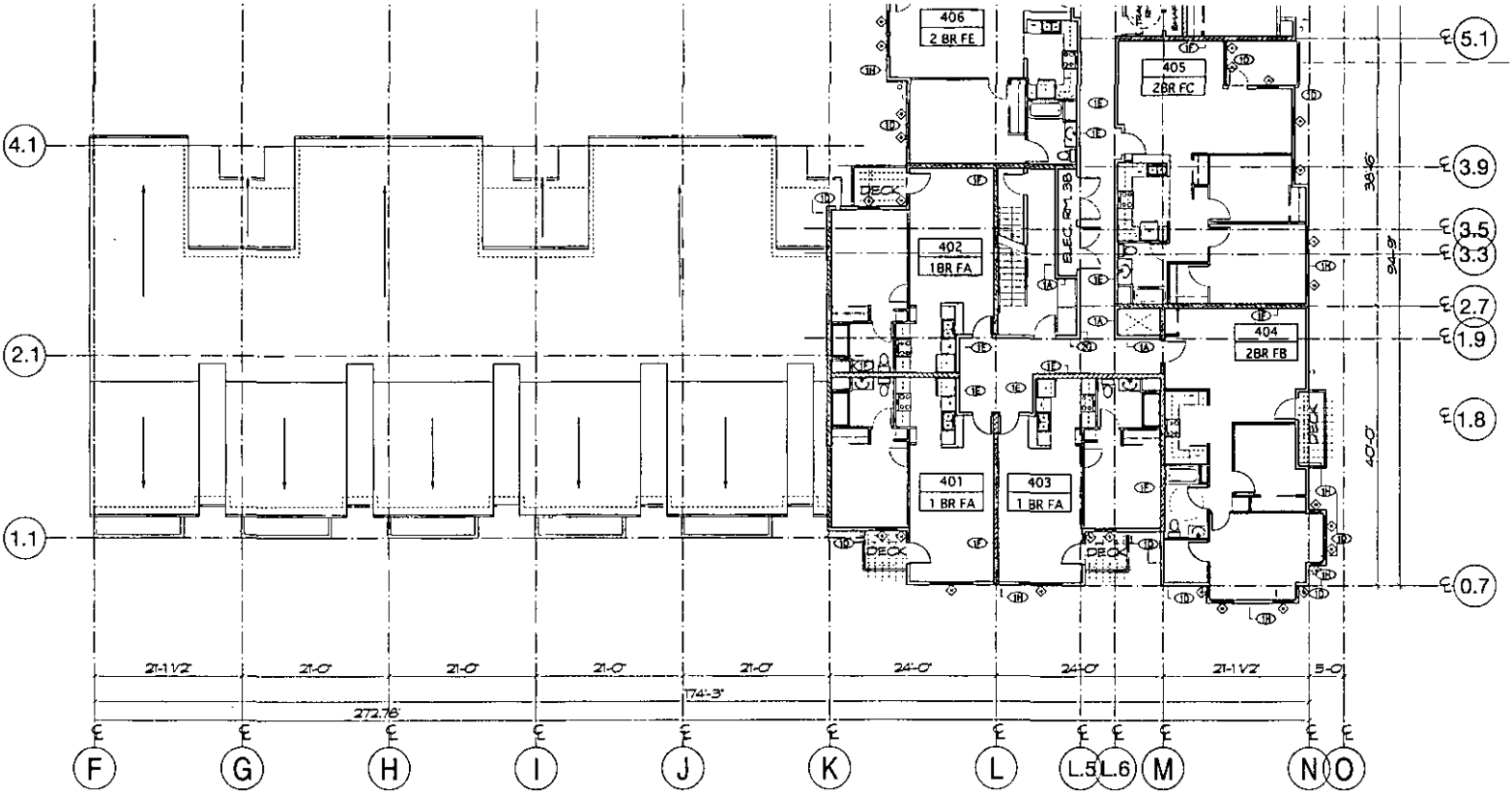
1 BUILDING A WEST - FOURTH FLOOR
 SCALE: 1/8" = 1'-0"

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310 Bld STREET
SUITE 200
OAKLAND, CA
94607
510.287.5553 PH.
510.763.4143 FAX

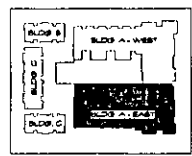
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA
FOURTH FLOOR
BUILDING PLANS
BLDG A EAST

DATE	DESCRIPTION	DATE
10.23.07	NOTA SUBMITTAL	10.23.07
07.26.08	SCHEMATIC DESIGN	07.26.08
08.20.08	FLOORING SUBMITTAL	08.20.08
08.21.08	KEY PLANNING SUBMITTAL	08.21.08
08.27.08	CRUNCH DEVELOPMENT	08.27.08

DATE: 01.07.09
JOB NO: 07.138
DRAWN:



1 BUILDING A EAST - FOURTH FLOOR
SCALE: 1/8" = 1'-0"



OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310 8th STREET
SUITE 200
OAKLAND, CA
94607
310.287.5353 PH.
310.763.4145 FAX

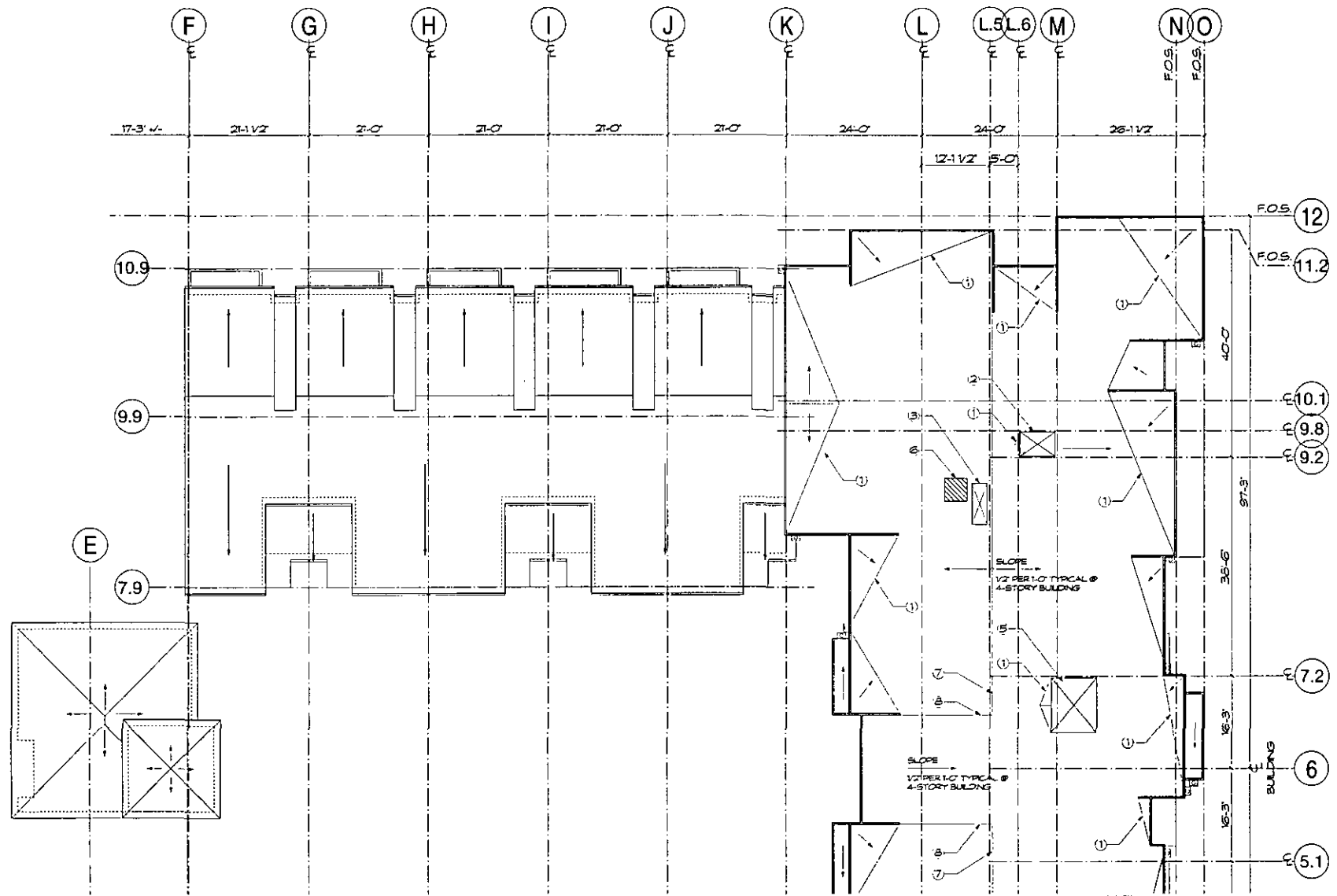
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

ROOF PLAN
BUILDING PLANS
BLDG A WEST

DATE	DESCRIPTION	BY/TT
10.24.07	NOVA SUBMITTAL	10.24.07
07.02.08	SCHEMATIC DESIGN	07.02.08
09.04.08	PLANNING & SUBMITTAL	09.04.08
09.07.08	REV. PLANNING SUBMITTAL	09.07.08
01.07.09	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
JOB NO: 07.130
DRAWN:

SHEET NO. **A2.09**



1 BUILDING A WEST - ROOF PLAN
SCALE: 1/8" = 1'-0"

- SHEET NOTES:**
1. ALL CRICKETS TO BE 1/4' PER 1.0' SLOPE MIN. TYPICAL
 2. CORRIDOR VENTILATION
 3. SHAFT 1 - GARAGE EXHAUST
 4. SHAFT 2 - TRASH CHUTE
 5. SHAFT 3 - ELEVATOR SHAFT
 6. ROOF ACCESS HATCH
 7. LINE OF RIDGE
 8. LINE OF RAKE





**Thomas Dolan
Architecture**
Architecture
Urban Design
Planning and
Development Consultants
tel. (510) 839-7200
fax. (510) 839-7200
www.thomasdolan.com
Fosterhaus Way
175 Alameda Street
Oakland, California
94612 U.S.A.

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

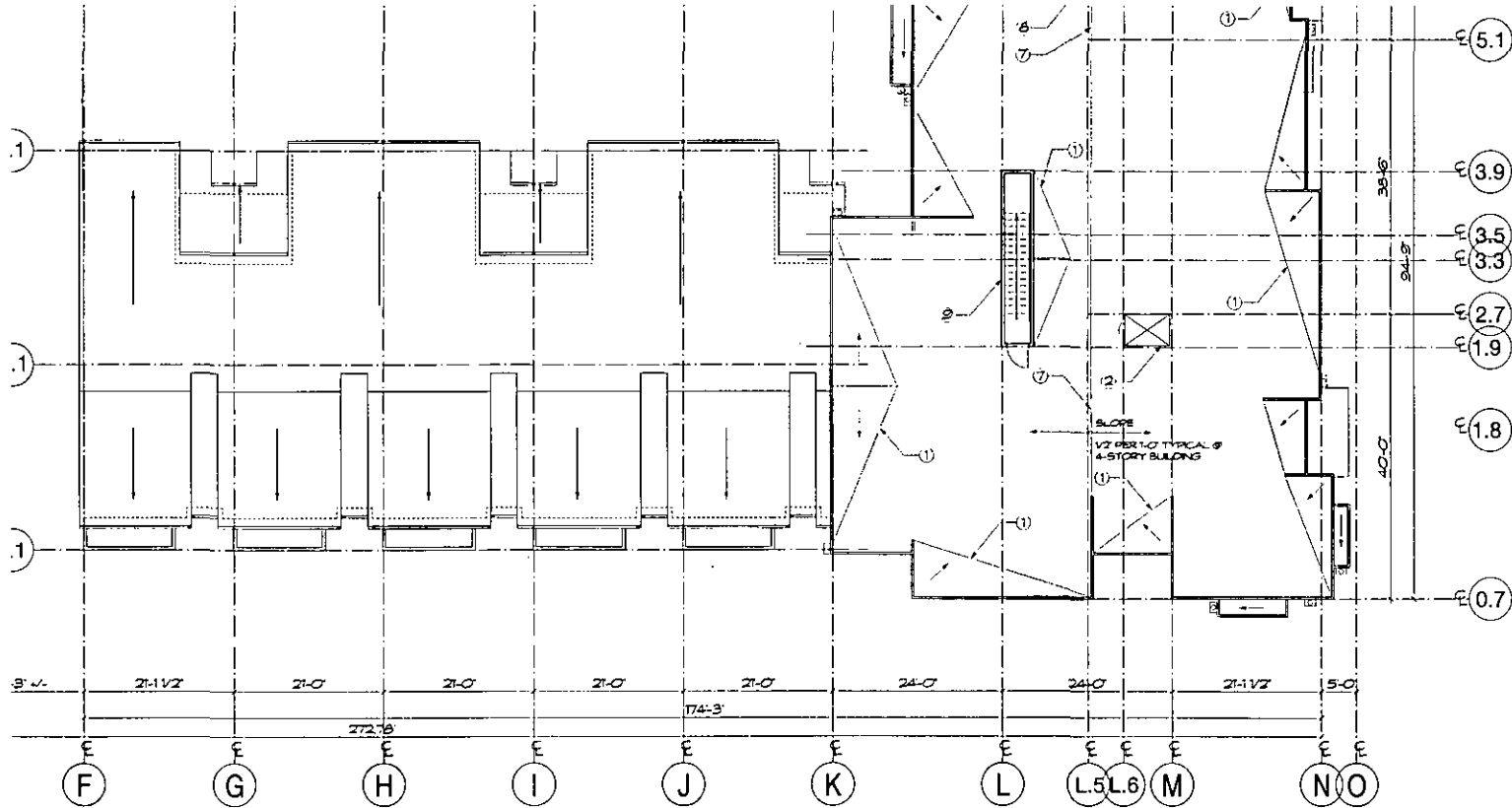
510 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PHL
510.763.4143 FAX

**LION CREEK
CROSSINGS**

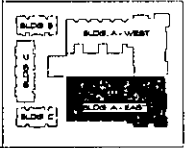
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

ROOF PLAN
BUILDING PLANS
BLDG A 8-8T



1 BUILDING A EAST - ROOF PLAN
SCALE: 1/8" = 1'-0"

- SHEET NOTES:**
1. ALL CROCKETS TO BE V4" PER 1'-0" SLOPE MIN. TYPICAL
 2. CORRIDOR VENTILATION
 3. SHAFT 1 - GARAGE EXHAUST
 4. SHAFT 2 - TRASH CHUTE
 5. SHAFT 3 - ELEVATOR SHAFT
 6. ROOF ACCESS HATCH
 7. LINE OF RIDGE
 8. LINE OF RAKE
 9. STAIR TO ROOF



REV #	DESCRIPTION	DATE
1	ISSUE FOR PERMIT	10.23.07
2	REVISIONS TO PERMIT	07.22.08
3	PLANNING & DESIGN	09.24.08
4	REV. PLANNING & DESIGN	10.17.08
5	DESIGN DEVELOPMENT	03.07.09

DATE: 01.07.09
JOB NO.: 07-120
DRAWN:



Thomas Debra
Architects
Architect
Urban Design
Planning and
Development Consultant
44 0145 497 7300
44 0118 497 7200
44 0145 497 7300
www.tda-arch.com
Tandemway Way
171 Wilson Lane
Oakland, California
94607 U.S.A.

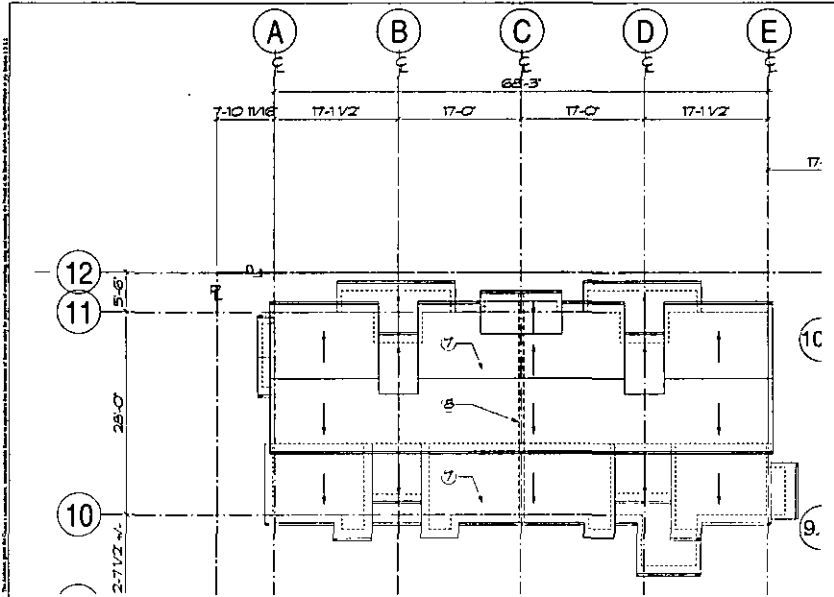
OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310.965.5747/FX
SUITE 200
OAKLAND, CA
94607
510.287.5153 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA
**BUILDING PLANS
BUILDING B**

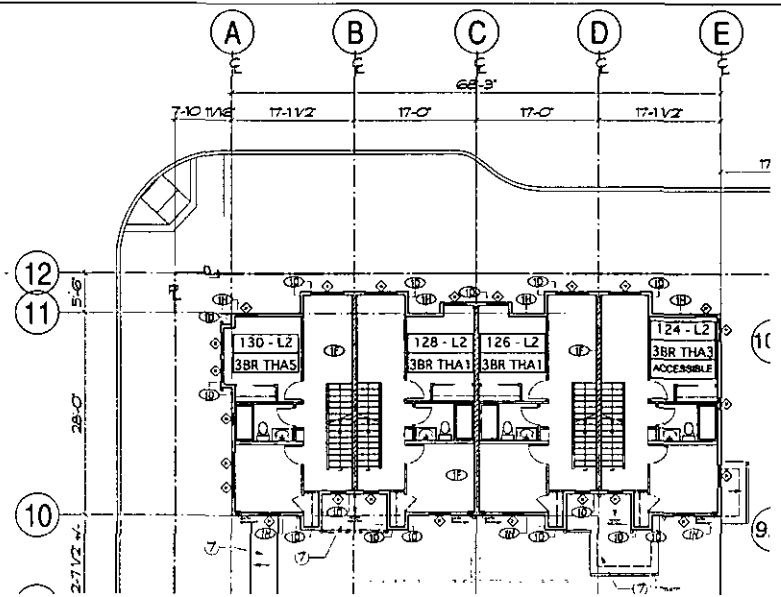
REV	DESCRIPTION	DATE
1	NOVA SUBMITTAL	10-23-07
2	PERMITS/REVISION	07-23-08
3	REV. PERMITS/REVISION	08-04-08
4	REV. PERMITS/REVISION	10-04-08
5	NOVA SUBMITTAL	01-07-09

DATE: 01.07.09
JOB NO.: 07118
DRAWN:

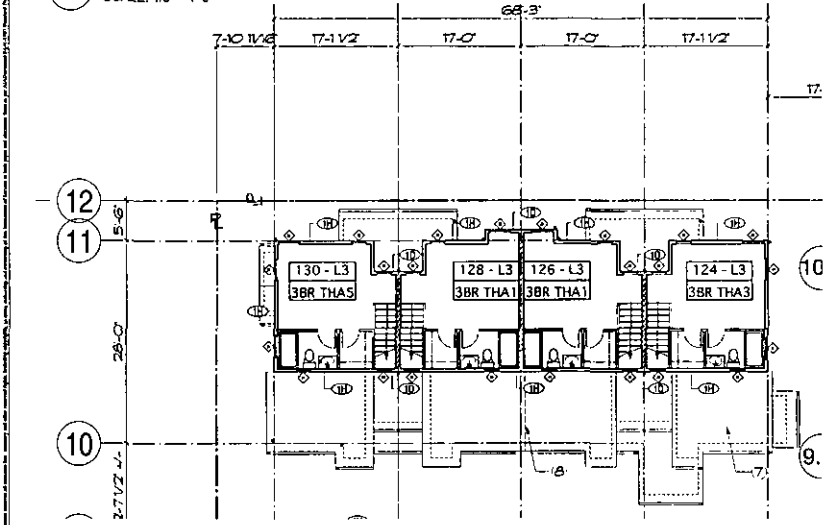
SHEET NO. **A2.11**



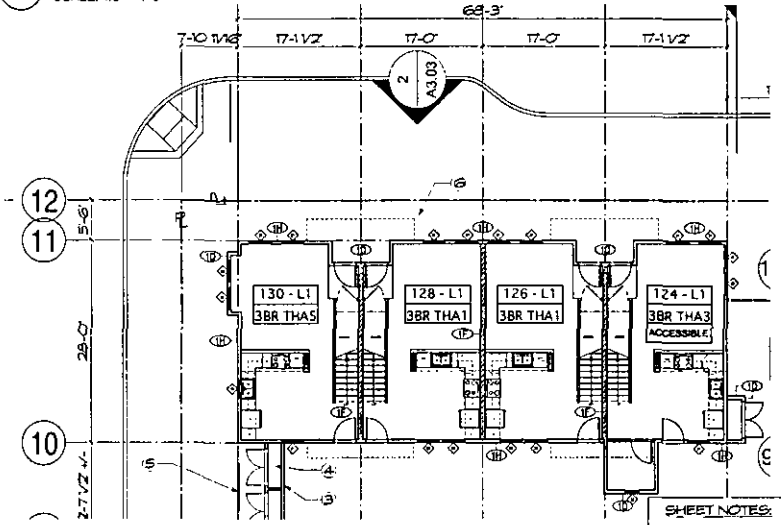
4 BUILDING B - ROOF PLAN
SCALE: 1/8" = 1'-0"



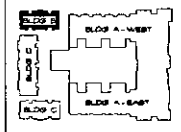
2 BUILDING B - SECOND FLOOR
SCALE: 1/8" = 1'-0"



3 BUILDING B - THIRD FLOOR
SCALE: 1/8" = 1'-0"



1 BUILDING B - FIRST FLOOR
SCALE: 1/8" = 1'-0"



SHEET NOTES:

1. FENCE AND GATE
2. ELEC. CLOSET
3. 6' TALL SOUND WALL
4. ELEC. CLOSET @ STREET LEVEL
5. FENCE
6. PLANTER, S.L.D., S.C.D.
7. ASPHALT SHINGLE ROOF
8. DRAFT STOP TO UNDERSIDE OF ROOF SHEATHING





Thomas Dolan Architects
 Architecture
 Urban Design
 Planning and
 Development Consultants
 411 7th St. Suite 200
 San Francisco, CA 94103
 Tel: 415 774 7200
 Fax: 415 774 7206
 www.thomasdolan.com

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 8771
 RELATED CALIFORNIA

510 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510 287.5555 PH.
 510.763.4143 FAX

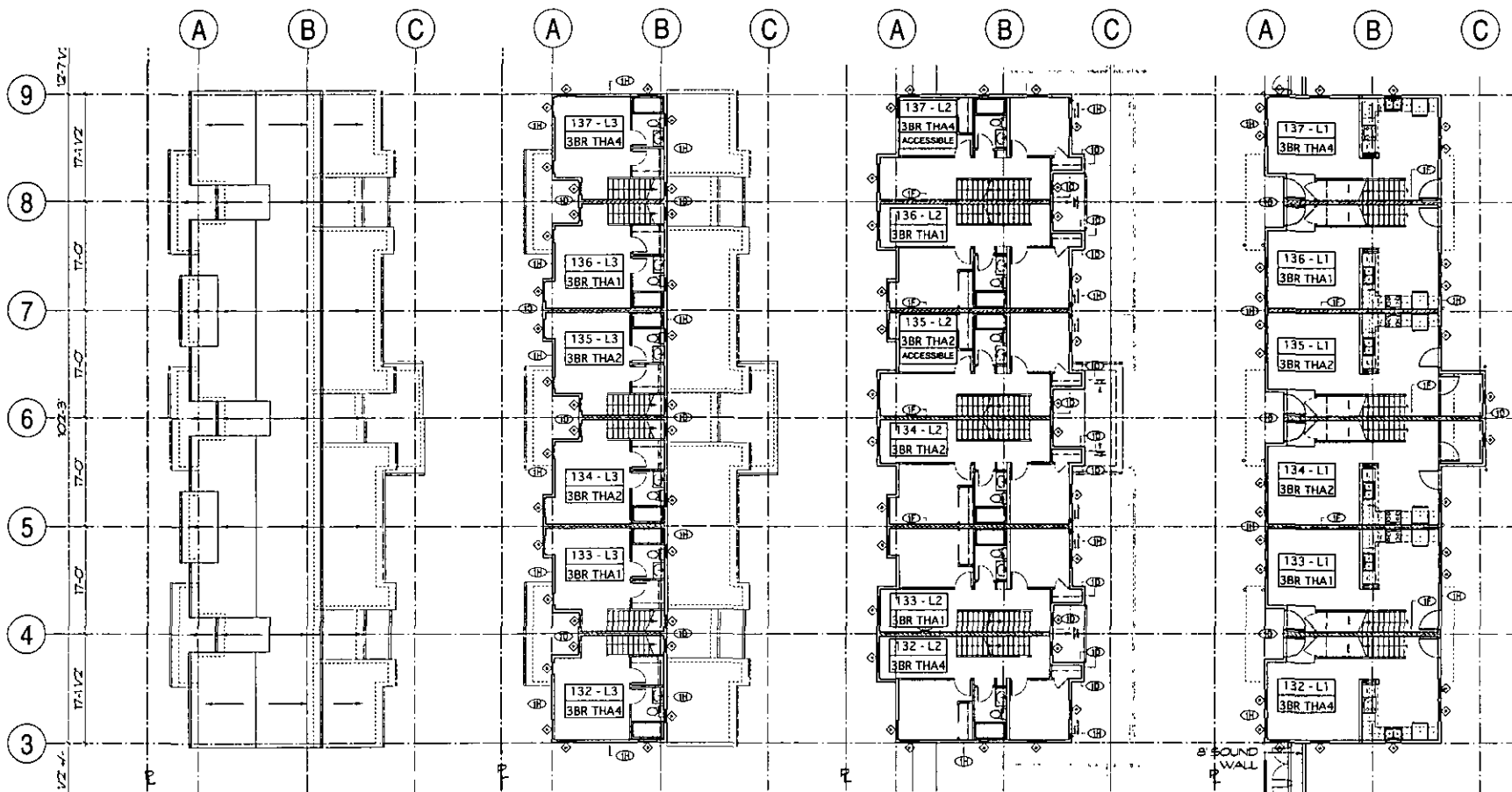
LION CREEK CROSSINGS

COUSELUM GARDENS
 PHASE IV
 OAKLAND, CA

BUILDING PLANS
 BLDG. C

NO.	DESCRIPTION	DATE
1	NOI SUBMITTAL	02.21.09
2	SCHEMATIC DESIGN	07.02.09
3	PLANNING SUBMITTAL	09.04.09
4	REV. PLANNING SUBMITTAL	01.01.10
5	OPENING DEVELOPMENT	01.01.10

DATE: 01.07.09
 JOB NO: 07130
 DRAWN:

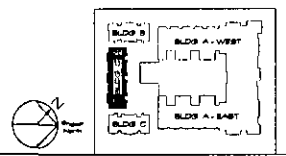


4 **BUILDING C - ROOF PLAN**
 SCALE: 1/8" = 1'-0"

3 **BUILDING C - THIRD FLOOR**
 SCALE: 1/8" = 1'-0"

2 **BUILDING C - SECOND FLOOR**
 SCALE: 1/8" = 1'-0"

1 **BUILDING C - FIRST FLOOR**
 SCALE: 1/8" = 1'-0"



ELEVATION SHEET NOTES

- 1 Composite Wood Siding (CWS) or Shingle Wood Siding and Soffits
- 2 Weathered Pine Siding and Soffits or Cement and Gypsum Siding
- 3 Composite Wood Panels (CWP)
- 4 Solid Wood Trim, Painted Finish
- 5 1/2" x 1/2" Board Wood, Cement Powder Finish
- 6 1/2" x 1/2" Board Wood, Cement Powder Finish
- 7 1/2" x 1/2" Board Wood, Cement Powder Finish
- 8 1/2" x 1/2" Board Wood, Cement Powder Finish
- 9 1/2" x 1/2" Board Wood, Cement Powder Finish
- 10 1/2" x 1/2" Board Wood, Cement Powder Finish
- 11 Aluminum Window Plus Siding and Casement, Dark Bronze Finish
- 12 Stormed Window Door Sashes with Dark Bronze Finish
- 13 Metal Doors of Unit Entries Painted
- 14 Green Screen Lattice or Wall
- 15 Cement Powder with Heavy Color Finish
- 16 Cement Powder with Heavy Color Finish
- 17 Cement Powder with Heavy Color Finish
- 18 Cement Powder with Heavy Color Finish
- 19 Cement Powder with Heavy Color Finish
- 20 Cement Powder with Heavy Color Finish
- 21 Cement Powder with Heavy Color Finish
- 22 Cement Powder with Heavy Color Finish
- 23 Cement Powder with Heavy Color Finish
- 24 Cement Powder with Heavy Color Finish
- 25 Cement Powder with Heavy Color Finish
- 26 Cement Powder with Heavy Color Finish
- 27 Cement Powder with Heavy Color Finish
- 28 Cement Powder with Heavy Color Finish
- 29 Cement Powder with Heavy Color Finish
- 30 Cement Powder with Heavy Color Finish
- 31 Cement Powder with Heavy Color Finish
- 32 Cement Powder with Heavy Color Finish
- 33 Cement Powder with Heavy Color Finish
- 34 Cement Powder with Heavy Color Finish
- 35 Cement Powder with Heavy Color Finish
- 36 Cement Powder with Heavy Color Finish
- 37 Cement Powder with Heavy Color Finish
- 38 Cement Powder with Heavy Color Finish
- 39 Cement Powder with Heavy Color Finish
- 40 Cement Powder with Heavy Color Finish
- 41 Cement Powder with Heavy Color Finish
- 42 Cement Powder with Heavy Color Finish
- 43 Cement Powder with Heavy Color Finish
- 44 Cement Powder with Heavy Color Finish
- 45 Cement Powder with Heavy Color Finish
- 46 Cement Powder with Heavy Color Finish
- 47 Cement Powder with Heavy Color Finish
- 48 Cement Powder with Heavy Color Finish
- 49 Cement Powder with Heavy Color Finish
- 50 Cement Powder with Heavy Color Finish
- 51 Cement Powder with Heavy Color Finish
- 52 Cement Powder with Heavy Color Finish
- 53 Cement Powder with Heavy Color Finish
- 54 Cement Powder with Heavy Color Finish
- 55 Cement Powder with Heavy Color Finish
- 56 Cement Powder with Heavy Color Finish
- 57 Cement Powder with Heavy Color Finish
- 58 Cement Powder with Heavy Color Finish
- 59 Cement Powder with Heavy Color Finish
- 60 Cement Powder with Heavy Color Finish
- 61 Cement Powder with Heavy Color Finish
- 62 Cement Powder with Heavy Color Finish



OWNERS
LION CREEK LOCAL DEVELOPMENT CORPORATION
 WITH
RELIANT CALIFORNIA

1100 K STREET
 SUITE 200
 OAKLAND, CA 94607
 510.243.5511
 510.763.4343 FAX

LION CREEK CROSSINGS
 COLUMBIAN GARDENS
 PHASE IV
 OAKLAND, CA

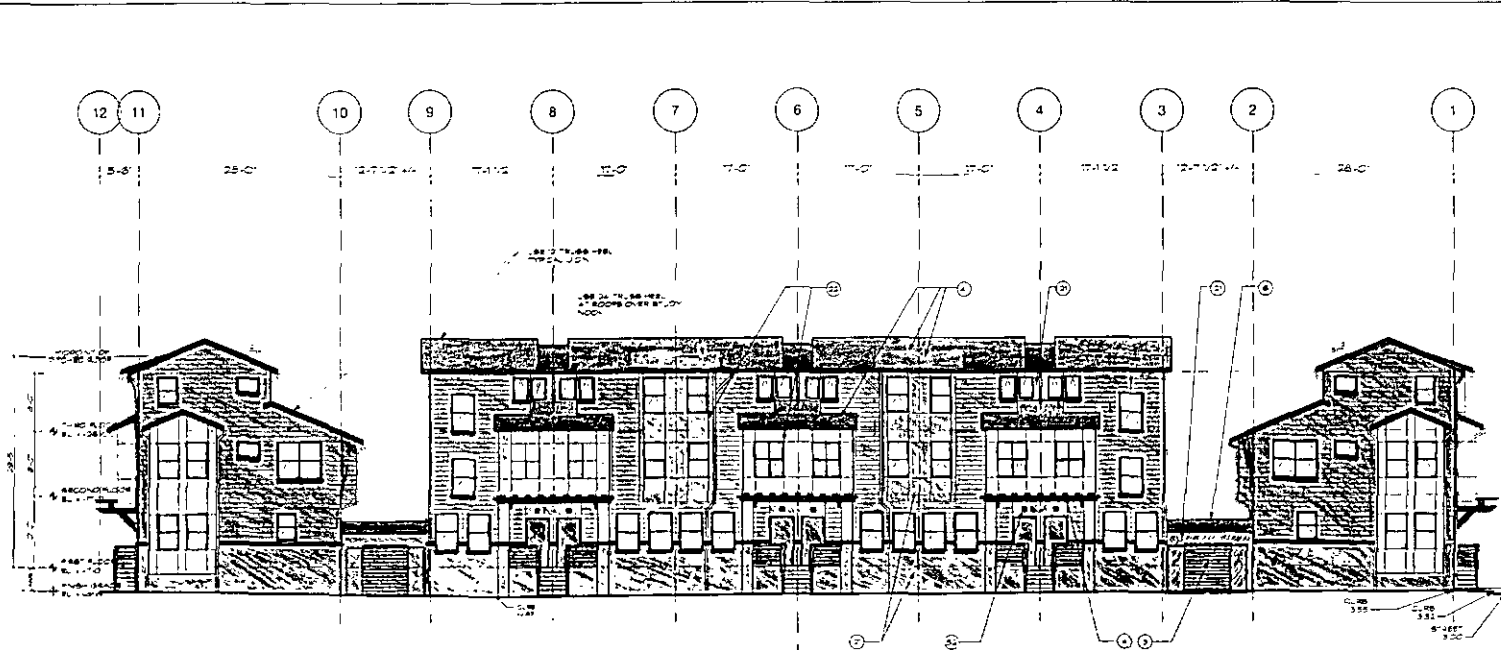
**NORTH ELEVATION (LION WAY)
 AND
 SOUTH ELEVATION (SNELL STREET)**

NO.	DESCRIPTION	DATE
1	INITIALS	10/20/10
2	REVISIONS	11/20/10
3	REVISIONS	12/10/10
4	REVISIONS	01/10/11
5	REVISIONS	02/10/11
6	REVISIONS	03/10/11
7	REVISIONS	04/10/11
8	REVISIONS	05/10/11
9	REVISIONS	06/10/11
10	REVISIONS	07/10/11
11	REVISIONS	08/10/11
12	REVISIONS	09/10/11
13	REVISIONS	10/10/11
14	REVISIONS	11/10/11
15	REVISIONS	12/10/11
16	REVISIONS	01/10/12
17	REVISIONS	02/10/12
18	REVISIONS	03/10/12
19	REVISIONS	04/10/12
20	REVISIONS	05/10/12
21	REVISIONS	06/10/12
22	REVISIONS	07/10/12
23	REVISIONS	08/10/12
24	REVISIONS	09/10/12
25	REVISIONS	10/10/12
26	REVISIONS	11/10/12
27	REVISIONS	12/10/12
28	REVISIONS	01/10/13
29	REVISIONS	02/10/13
30	REVISIONS	03/10/13
31	REVISIONS	04/10/13
32	REVISIONS	05/10/13
33	REVISIONS	06/10/13
34	REVISIONS	07/10/13
35	REVISIONS	08/10/13
36	REVISIONS	09/10/13
37	REVISIONS	10/10/13
38	REVISIONS	11/10/13
39	REVISIONS	12/10/13
40	REVISIONS	01/10/14
41	REVISIONS	02/10/14
42	REVISIONS	03/10/14
43	REVISIONS	04/10/14
44	REVISIONS	05/10/14
45	REVISIONS	06/10/14
46	REVISIONS	07/10/14
47	REVISIONS	08/10/14
48	REVISIONS	09/10/14
49	REVISIONS	10/10/14
50	REVISIONS	11/10/14
51	REVISIONS	12/10/14
52	REVISIONS	01/10/15
53	REVISIONS	02/10/15
54	REVISIONS	03/10/15
55	REVISIONS	04/10/15
56	REVISIONS	05/10/15
57	REVISIONS	06/10/15
58	REVISIONS	07/10/15
59	REVISIONS	08/10/15
60	REVISIONS	09/10/15
61	REVISIONS	10/10/15
62	REVISIONS	11/10/15
63	REVISIONS	12/10/15
64	REVISIONS	01/10/16
65	REVISIONS	02/10/16
66	REVISIONS	03/10/16
67	REVISIONS	04/10/16
68	REVISIONS	05/10/16
69	REVISIONS	06/10/16
70	REVISIONS	07/10/16
71	REVISIONS	08/10/16
72	REVISIONS	09/10/16
73	REVISIONS	10/10/16
74	REVISIONS	11/10/16
75	REVISIONS	12/10/16
76	REVISIONS	01/10/17
77	REVISIONS	02/10/17
78	REVISIONS	03/10/17
79	REVISIONS	04/10/17
80	REVISIONS	05/10/17
81	REVISIONS	06/10/17
82	REVISIONS	07/10/17
83	REVISIONS	08/10/17
84	REVISIONS	09/10/17
85	REVISIONS	10/10/17
86	REVISIONS	11/10/17
87	REVISIONS	12/10/17
88	REVISIONS	01/10/18
89	REVISIONS	02/10/18
90	REVISIONS	03/10/18
91	REVISIONS	04/10/18
92	REVISIONS	05/10/18
93	REVISIONS	06/10/18
94	REVISIONS	07/10/18
95	REVISIONS	08/10/18
96	REVISIONS	09/10/18
97	REVISIONS	10/10/18
98	REVISIONS	11/10/18
99	REVISIONS	12/10/18
100	REVISIONS	01/10/19

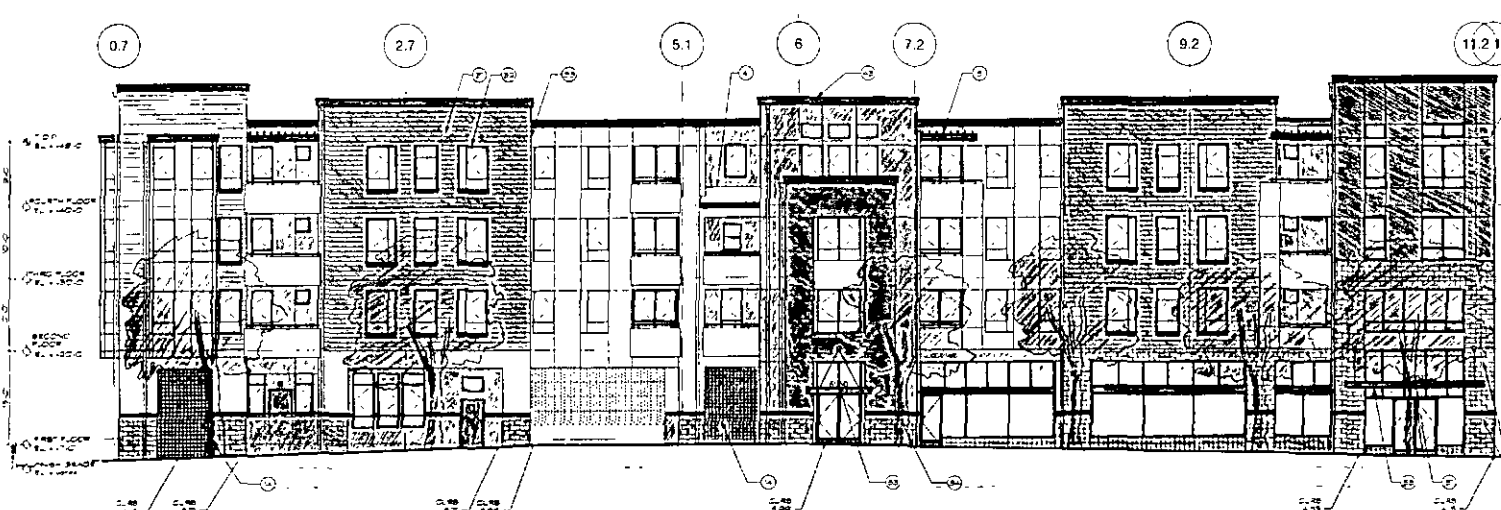
DATE: 10/20/10
 DRAWN: TDA
 DESIGNED: TDA

10/20/10

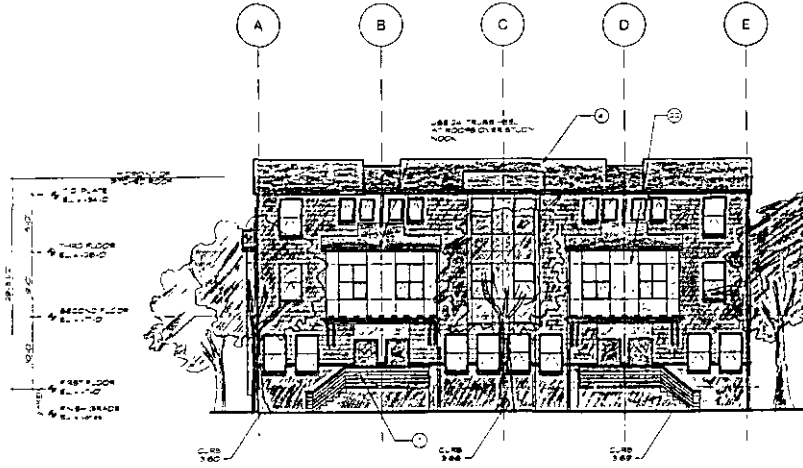
A3.1



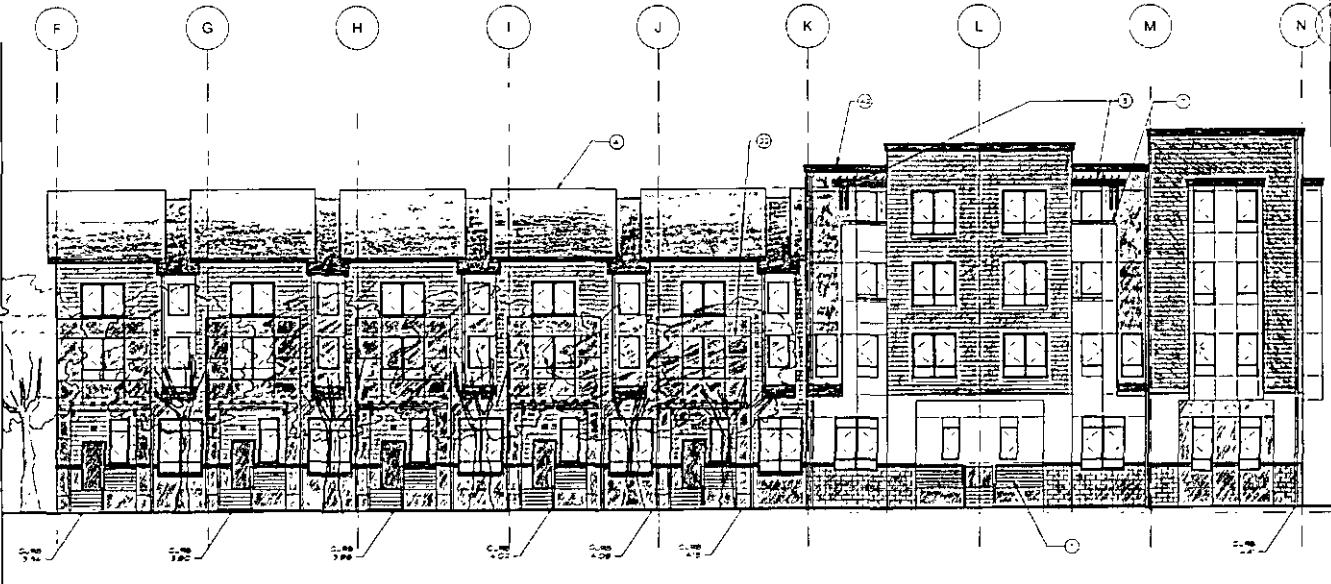
2 SOUTH ELEVATION @ SNELL STREET
 Scale: 1/8" = 1'-0"



1 NORTH ELEVATION @ LION WAY
 Scale: 1/8" = 1'-0"



2 PARTIAL EAST ELEVATION (70TH AVENUE, SOUTH END)
Scale 1/8" = 1'-0"



1 PARTIAL EAST ELEVATION (70TH AVENUE, NORTH END)
Scale 1/8" = 1'-0"

ELEVATION SHEET NOTES

- 1 Composite Wood Siding (CWS) or Plywood Panel, Raincoat and Balconies
- 2 Weathered Gable and Porches of Common and Garage Entries
- 3 Composite Wood Siding (CWS)
- 4 Solid Wood Trim w/ Painted Finish
- 5 3/4" Tall Bound Wall, Cement Powder Coat
- 6 Metal Trim Powder Coated
- 7 Painted Cement Powder Siding (CPS) with Raincoat Carved Rectangular Tile Shave horizontal above of Balconies
- 8 Aluminum Windows, Flush, Awning and Casement Dark Bronze Frame
- 9 Straightform Vinyl Siding (VSD) with Dark Bronze Frame
- 10 Metal Doors at Unit Entries Painted
- 11 Green Screen Lattice at Wall
- 12 Cement Powder with Regal Coat Finish
- 13 Cement Joints in Cement Powder
- 14 Clear Aluminum Raincoat in Cement Powder Finish
- 15 Windows Recessed in Cement Powder
- 16 Cementitious Job Siding in Exposure
- 17 Windows Recessed with Painted 2x Wood Trim in Job Siding
- 18 Trimless Concrete Concrete in Job Siding
- 19 Composite Siding Siding (CWS) or 5/2 Siding (Dark Brown)
- 20 Paint in Cement Powder Concrete Color in Raincoat Wall
- 21 Straightform Vinyl Siding (VSD) with Raincoat Finish
- 22 1/2" Metal Lathing at Office Entries Dark Bronze Frame
- 23 Building-mounted Lighting with Dark Bronze Frame
- 24 Metal and Stone Siding at Office Entries Dark Bronze Frame
- 25 Cement Tile Base Subunit Painted
- 26 Dark Windows Project 3/4" from Face of Building
- 27 Painted Awning with Wood Siding above Painted Unit Entries

TDA Thomas Dolan Architecture
 Architectural
 Interior Design
 Planning and
 Construction
 Management
 1101 14th St.
 Suite 100
 Oakland, CA 94612
 415.763.1133 FAX

OWNERS
 LANT BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 3177
 RIALTO CALIFORNIA

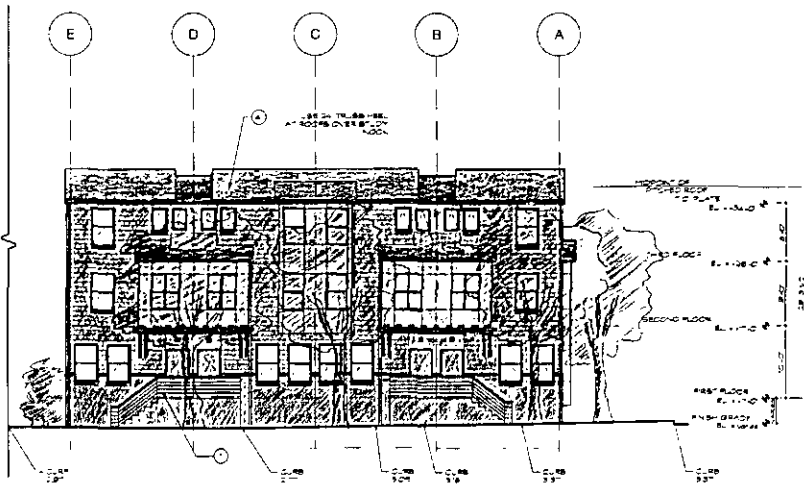
11014 14TH STREET
 SUITE 100
 OAKLAND, CA
 94612
 415.763.1133 PH
 415.763.1133 FAX

LION CREEK CROSSINGS
 CONIUM GARDENS
 PHASE IV
 OAKLAND, CA

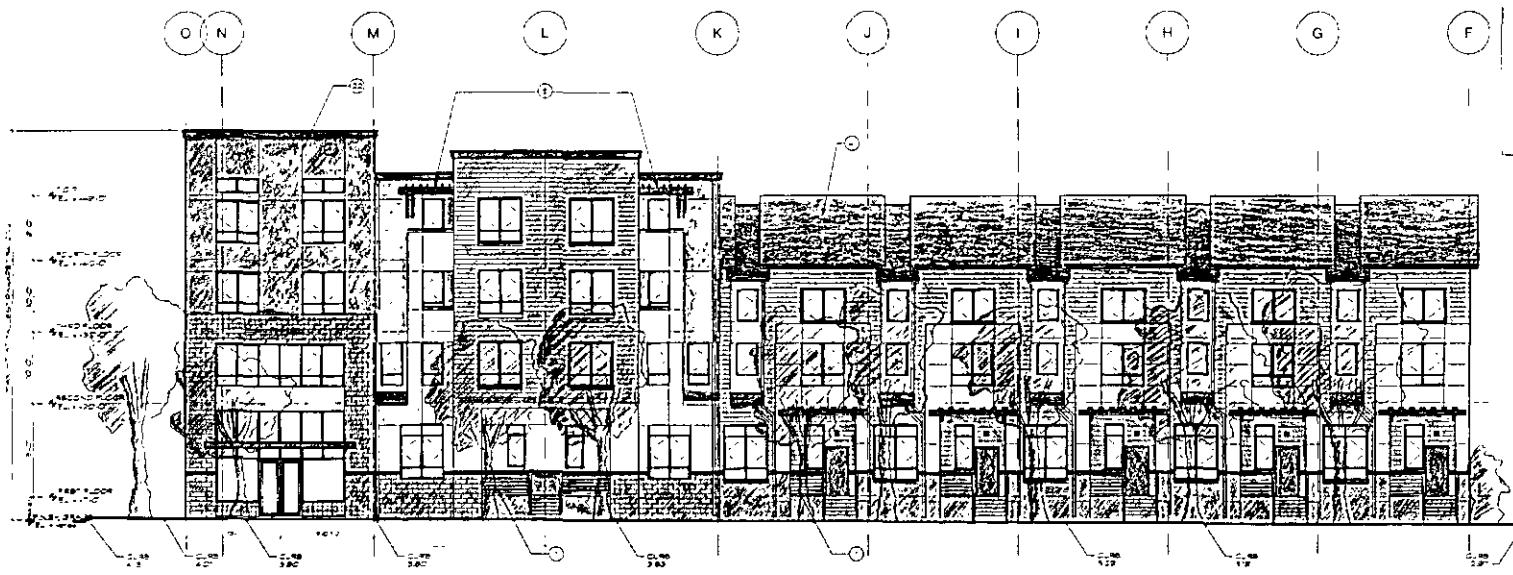
EAST
 ELEVATION
 (70TH AVENUE)

DATE	DESCRIPTION	DATE
08/15/17	ISSUE FOR PERMITS	08/15/17
07/20/17	REVISIONS	07/20/17
07/10/17	REV. PLANNING MEETING	07/10/17
06/20/17	FINAL CONSTRUCTION	06/20/17

DATE: 08/15/17
 JOB NO: 17-12
 DRAWN:



2 PARTIAL EAST ELEVATION (69TH AVENUE, SOUTH END)
Scale 1/8" = 1'-0"



WEST ELEVATION (2ND) HALF PARTIAL EAST ELEVATION (69TH AVENUE NORTH END)
Scale 1/8" = 1'-0"

ELEVATION SHEET NOTES

- 1 Composite Wood Siding (10") or Shingle Roof Siding and Sillings
- 2 Window and Doors and Frames in Common and Garage Entries
- 3 Composite Wood Siding (5-6")
- 4 Solid Wood Trim's (Pine) Finish
- 5 6" to 8" Solid Wood Cement Plaster Finish
- 6 Vinyl Trim's Powder Coated
- 7 Painted Cement Plaster Siding (30") with Random Colored Reinforced Glass Brick masonry above in Sections
- 8 Aluminum Window Frame Finishing and Coatings Dark Bronze Finish
- 9 Stained Wood Door Entries with Dark Bronze Finish
- 10 Vinyl Doors or Unit Entries Painted
- 11 Green Screen Lattice in Mail
- 12 Cement Plaster with Integral Color Finish
- 13 Control Joints in Cement Plaster
- 14 Dark Aluminum Reveals in Cement Plaster Finish
- 15 Window Reveals in Cement Plaster
- 16 Cement Plaster with 5/8" x 1 1/2" Sillings
- 17 Window Reveals with Painted or Wood Trim or 1/2" Sillings
- 18 Window Outside Corners or 1/2" Sillings
- 19 Composite Siding Siding (12" or 15" Sillings) Dark Brown
- 20 Year Cement Plaster Concrete Core of Precast Walls
- 21 Stairs with Roped Surface Roof of Entrance Building
- 22 12" Vinyl Laminating or Office Entries Dark Bronze Finish
- 23 Staircase Lighting with Dark Bronze Finish
- 24 Vinyl and Glass Finishing of Office Entries Dark Bronze Finish
- 25 Cement Tile Base "Subway" Pattern
- 26 Box Window Project 3" from Face of Building
- 27 Recessed Lighting with Wood Brackets above Painted Unit Entries

Thomas Dolan Architects
Architect
Interior Design
Planning and Development
Construction

1415 14TH ST. #200
OAKLAND, CA 94612
415.764.1111 FAX
415.764.1112 FAX

OWNER
FANUC BAY AREA LOCAL DEVELOPMENT CORPORATION
10111
RELAND CALIFORNIA

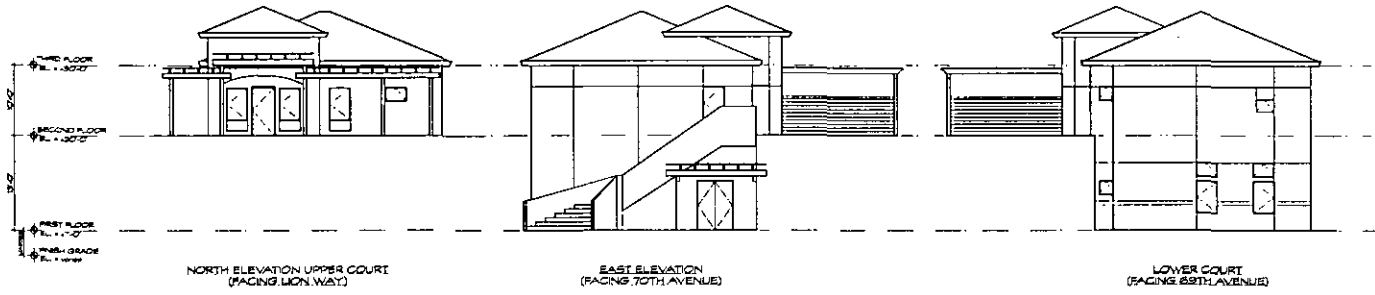
1000 MARKET STREET
SUITE 200
OAKLAND, CA 94607
415.764.1111 FAX
415.764.1112 FAX

LION CREEK CROSSINGS
COLIUM CARRIERS
PHASE IV
OAKLAND, CA

WEST ELEVATION
(69TH AVENUE)

NO.	DESCRIPTION	DATE
1	SCHEMATIC DEVELOPMENT	01/20/14
2	SCHEMATIC DEVELOPMENT	01/20/14
3	SCHEMATIC DEVELOPMENT	01/20/14
4	SCHEMATIC DEVELOPMENT	01/20/14
5	SCHEMATIC DEVELOPMENT	01/20/14
6	SCHEMATIC DEVELOPMENT	01/20/14
7	SCHEMATIC DEVELOPMENT	01/20/14
8	SCHEMATIC DEVELOPMENT	01/20/14
9	SCHEMATIC DEVELOPMENT	01/20/14
10	SCHEMATIC DEVELOPMENT	01/20/14

DATE: 01/20/14
JOB NO: 0110
DRAWN:
SHEET NO: **A3.3**



2 COMMUNITY BUILDING ELEVATIONS
Scale: 1/8" = 1'-0"



1 WEST ELEVATION UPPER COURT (FACING TOWNHOMES), EAST SIMILAR
Scale: 1/8" = 1'-0"

- ### ELEVATION SHEET NOTES
1. Composite Wood Siding (A37) or Phoenix Fiber Siding and Balconies
 2. Wrought Iron Screens and Panels of Canopies and Garage Entrances
 3. Composite Wood Panels (B-47)
 4. Solid Wood Trim, Painted Finish
 5. 8" Tall Bound Wall, Cement Plaster Finish
 6. Metal Trim, Stainless Steel
 7. Painted Cement Plaster Siding (D6) with Powder Coated Rectangular Tube Steel Handrail above, or Balconies
 8. Aluminum Windows, Paint, Awning, and Casement, Dark Bronze Finish
 9. Brightest Windows, Clear System with Dark Bronze Finish
 10. Metal Doors or Unit Entries, Painted
 11. Green Bronze Lattice on Wall
 12. Cement Plaster with Integrated Color Finish
 13. Cement Plaster
 14. Clear Aluminum Reveals in Cement Plaster Finish, T
 15. Windows Recessed in Cement Plaster
 16. Continuous Lap Siding 7" Exposure
 17. Windows Recessed with Painted 2x Wood Trim or Lath Siding
 18. Trim over Outside Corners of Lap Siding
 19. Composite Siding Siding, B12 or B13 (Dark Brown)
 20. Foam Cement Plaster Canopy Detail at Porch Entry
 21. Energy Star Rated Built-Up Roof or Membrane Building
 22. 1/2" Metal Latching on Office Entries, Dark Bronze Finish
 23. Building-Mounted Lighting with Dark Bronze Finish
 24. Hand and Glass Awnings of Office Entries, Dark Bronze Finish
 25. Ceramic Tile Base, Subway Pattern
 26. Sun Windows Project 3 from Face of Building
 27. Painted Finishing with Wood Structure above Painted Unit Entries

TDA
Thomas Dolan Architects
Architects
Urban Design
Planning and
Development
Construction
Tel: 510.387.3353
Fax: 510.387.3353
www.tda.com

OWNERS
EAST BAY ASIAN LOCAL DEVELOPMENT CORPORATION WITH RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA 94607
510.387.3353 PH.
510.763.4143 FAX

LION CREEK CROSSINGS
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

COURTYARD AND PODIUM ELEVATIONS

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	01.21.09
	34 HEMATIC DESIGN	07.26.08
	PLANNING SUBMITTAL	09.04.08
	REV PLANNING SUBMITTAL	10.09.08
	DEMON DEVELOPMENT	01.07.09

DATE: 01.21.09
JOB NO.: 07.128
DRAWN:

ELEVATION SHEET NOTES

1. Composite Wood Siding (A2) or Rivers Front Porches and Balconies
2. Wrought Iron Gates and Fences or Common and Garage Entrances
3. Composite Wood Fences (B-6)
4. Solid Wood Trim, Painted Finish
5. 6" Tall Bound Wood Cement Plaster Finish
6. Metal Trim Powder Coated
7. Painted Cement Plaster Siding (D6) with Powder Coated Rectangular Tube Sash Handles above of Balconies
8. Aluminum Windows, Doors, Awnings, and Casework, Dark Bronze Finish
9. Shoji-style Window/Door System with Dark Bronze Finish
10. Metal Doors of Unit Entrances, Painted
11. Green Screen Lattice on Wall
12. Cement Plaster with Integral Color Finish
13. Control Joints in Cement Plaster
14. Clear Aluminum Raincoats in Cement Plaster, Finish T
15. Windows Recessed in Cement Plaster
16. Continuous Low Siding 7" Elevation
17. Windows Recessed with Painted 2x Wood Trim or Low Siding
18. Trimless Outside Corners of Low Siding
19. Composite Stone Siding, 6" x 12" or 8" x 12" Shape (Dark Bronze)
20. Painted Cement Plaster Cornice Detail at Porch/ Walk
21. Energy Star Rated Built-Up Roof or Blower Building
22. 12" Metal Lantern or Office Entrance, Dark Bronze Finish
23. Building-mounted Lighting with Dark Bronze Finish
24. Metal and Glass Awnings of Office Entrance, Dark Bronze Finish
25. Ceramic Tile Base, "Stucco" Pattern
26. Six Windows, Project 3" from Face of Building
27. Recessed Awning with Wood Brackets above Painted Unit Entrance

TDA Thomas Dublin Architects
 Architects
 Urban Design
 Planning and
 Developments
 Consultants
 4115 15th Street
 San Francisco, CA 94114
 Tel: (415) 774-7200
 Fax: (415) 774-7201
 www.tda.com

Exhibition View
 177 Market Street
 Oakland, California
 94612 U.S.A.

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5353 PH.
 510.763.4143 FAX

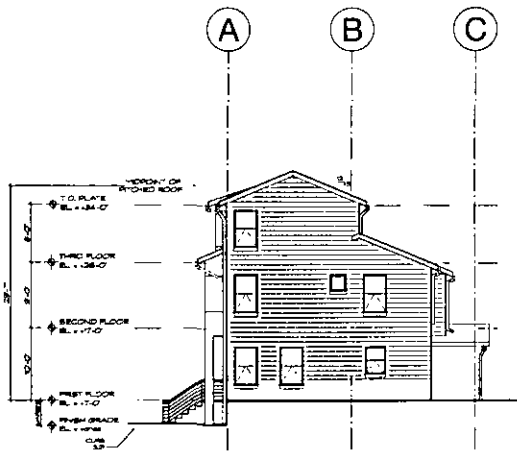
**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

**NORTH LOWER
 COURT ELEVATION
 AND
 BUILDING 3
 ELEVATIONS**

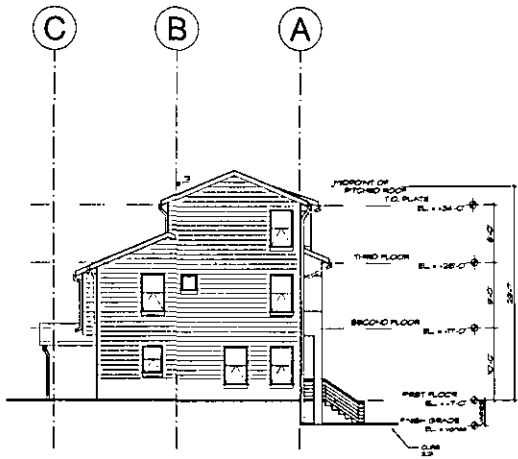
REVISION	DESCRIPTION	DATE
1	NOVA SUBMITTAL	10.23.07
2	SCHEMATIC DESIGN	07.08.08
3	PLANNING SUBMITTAL	09.04.08
4	REV. PLANNING SUBMITTAL	10.21.08

DATE: 10.21.08
 JOB NO: 07.128
 DRAWN:

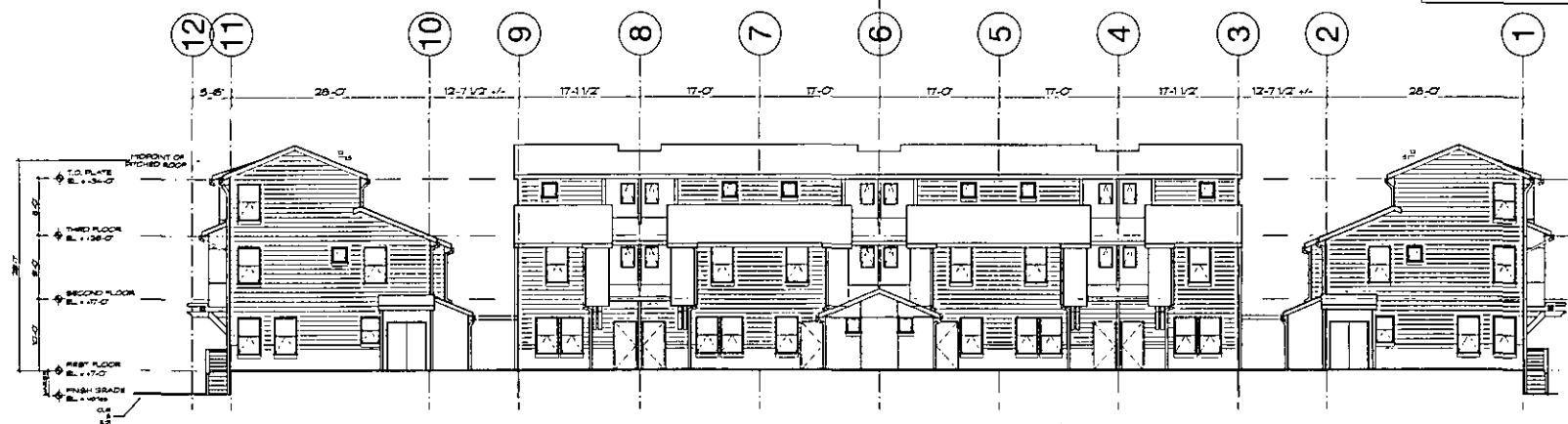
SHEET NO. **A3.5**



2 BUILDING 3 EAST ELEVATION
 Scale: 1/8" = 1'-0"



3 BUILDING 3 WEST ELEVATION
 Scale: 1/8" = 1'-0"



2 NORTH ELEVATION @ LOWER TERRACE - FACING SNELL STREET
 Scale: 1/8" = 1'-0"



Thomas Dolan
Architects
Urban Design
Planning and
Development Consultants
41510 5197300
415102 5197308
41510 5197308
www.thomasdolan.com
Foster/Clark: West
171 Wilson Avenue
Oakland, California
94612 U.S.A.

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
ATTN:
RELATED CALIFORNIA

310 Ash STREET
SUITE 200
OAKLAND, CA
94607

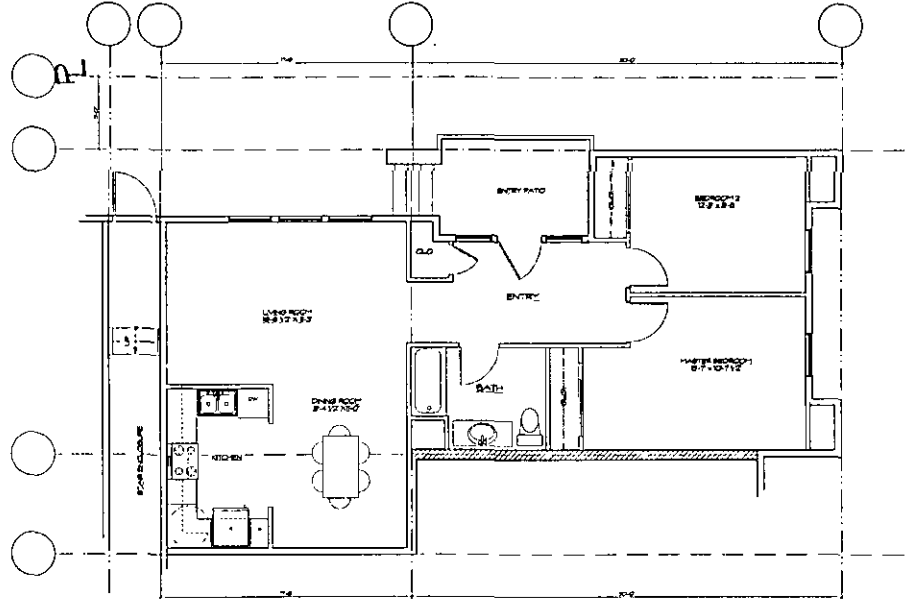
510.287.5353 PH.
510.763.4143 FAX

LION CREEK
CROSSINGS
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

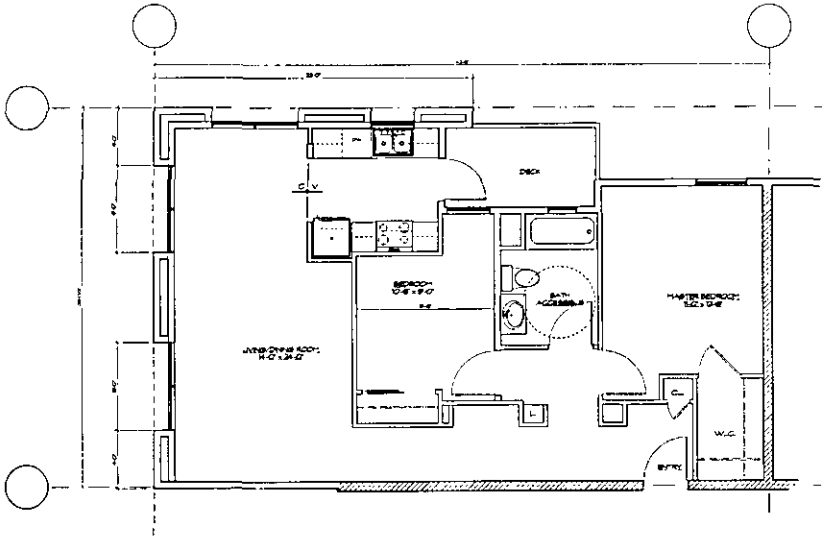
ENLARGED UNIT
PLANS:
2 BR FLAT A
2 BR FLAT B
2 BR FLAT D

DATE	DESCRIPTION	DATE
	INITIAL SUBMITTAL	01/20/07
	REVISIONS TRACK	07/02/07
	PLANNING SUBMITTAL	08/06/07
	ENV PLANNING SUBMITTAL	08/02/07
	TRACK DEVELOPMENT	01/07/08

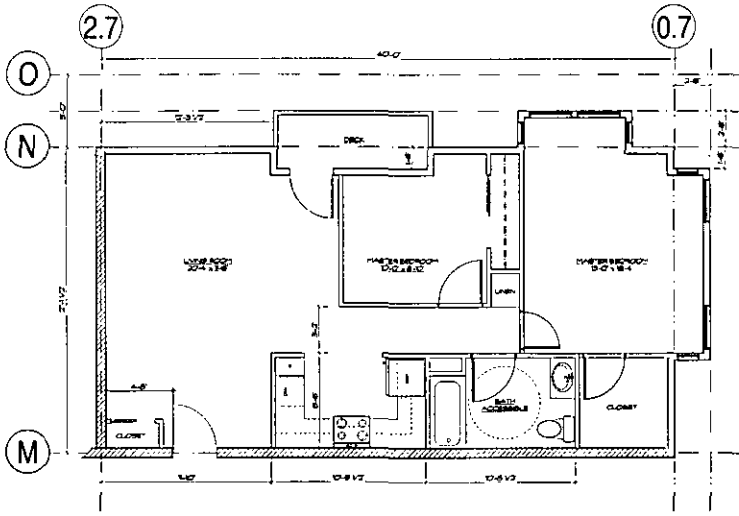
DATE: 01/07/08
REV NO: 01/08
DRAWN: JH



2 2 BEDROOM FLAT D-962 S.F. (1 OCCURRENCES)
Scale: 1/4" = 1'-0"



3 2 BEDROOM FLAT A (6 OCCURRENCES)
Scale: 1/4" = 1'-0"



1 2 BEDROOM FLAT B (6 OCCURRENCES)
Scale: 1/4" = 1'-0"



Thomas Dolan Architects
 Architects
 Urban Design
 Planning and
 Development Consultant
 41 (140) 835 7300
 San Francisco, CA 94102
 www.thomasdolan.com
 Escondido, WA
 173 River Street
 Chubbuck, California
 94607 U.S.A.

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5553 PH
 510.763.4143 FAX

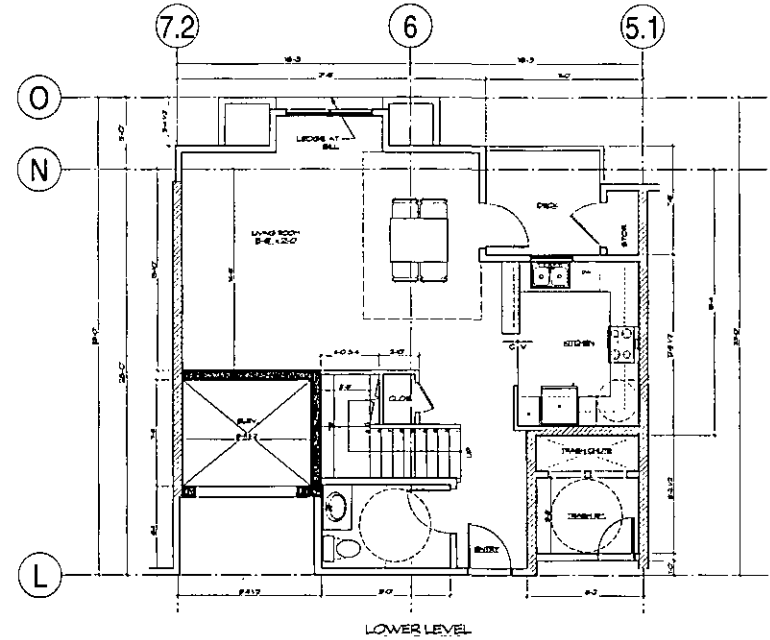
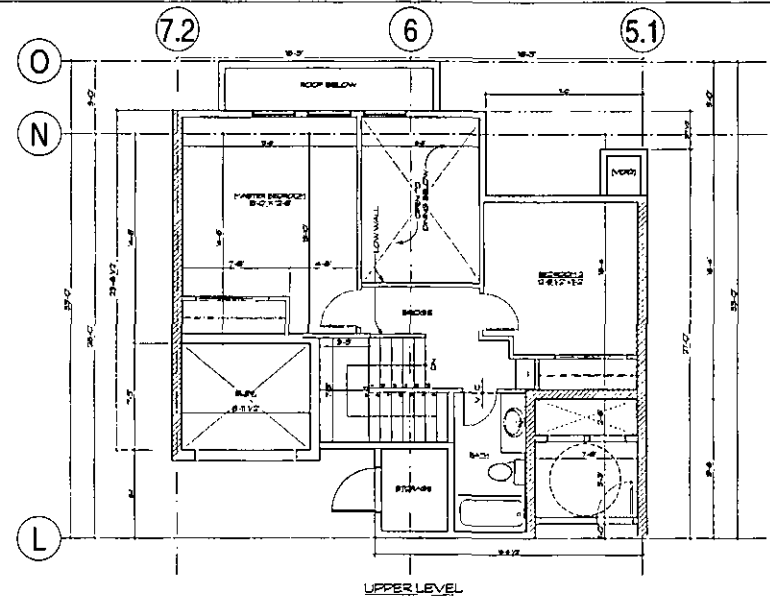
LION CREEK CROSSINGS

COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

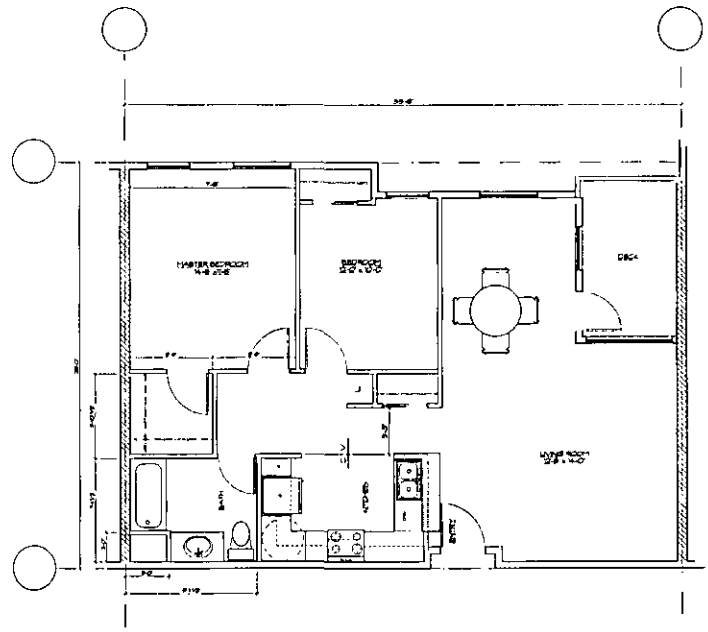
ENLARGED UNIT
 PLANS:
 2 BR FLAT C
 2 BR TH B

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	12.21.07
	SCHEMATIC DESIGN	07.08.08
	PLANNING SUBMITTAL	07.08.08
	REV. PLANNING SUBMITTAL	08.27.08
	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
 JOB NO.: 07.139
 DRAWN:



1 2 BEDROOM TOWNHOME B - 926 S.F. (1 OCCURRENCES)
 Scale: 1/4" = 1'-0"



2 2 BEDROOM FLAT C (16 OCCURRENCES)
 Scale: 1/4" = 1'-0"



Thomas DeLa
Architecture
 Architecture
 Urban Design
 Planning and
 Development Consulting
 Tel: (916) 499-7200
 Fax: (916) 499-7200
 4200 S. Brockway Ave.
 www.thomasdelata.com
 Escondido, CA
 92025, U.S.A.

OWNERS

**EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA**

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5353 PH.
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**

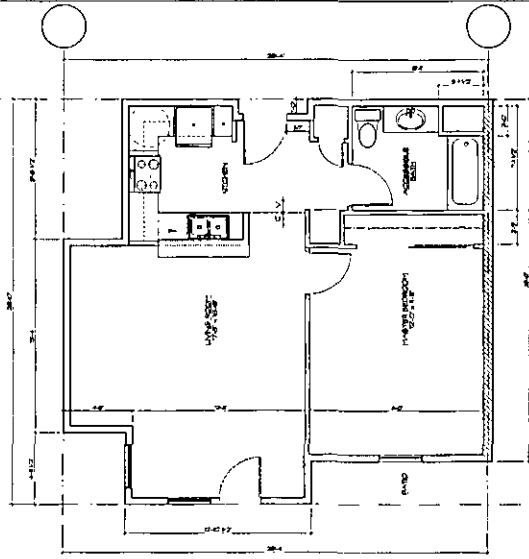
**COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA**

**ENLARGED UNIT
 PLANS:
 1 BR FLAT A
 1 BR FLAT B
 2 BR FLAT E
 3 BR TH B**

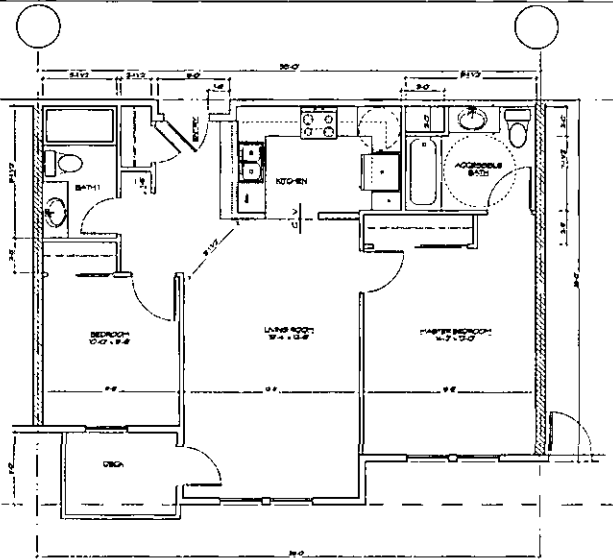
DATE	DESCRIPTION	BY/TT
	NOVA SUBMITTAL	10/21/07
	SCHEMATIC DESIGN	07/02/06
	PLANNING SUBMITTAL	05/06/06
	REV. PLANNING SUBMITTAL	03/01/06
	DESIGN DEVELOPMENT	01/02/06

DATE: 10/21/07
 JOB NO.: 0710
 DRAWN:

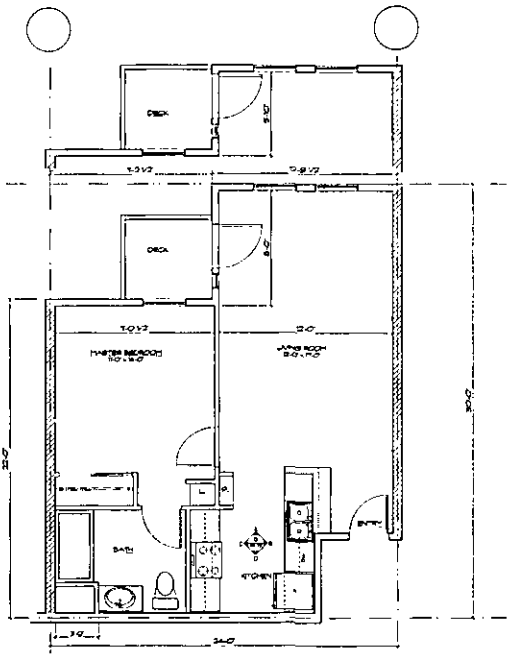
SHEET NO. **A4.12**



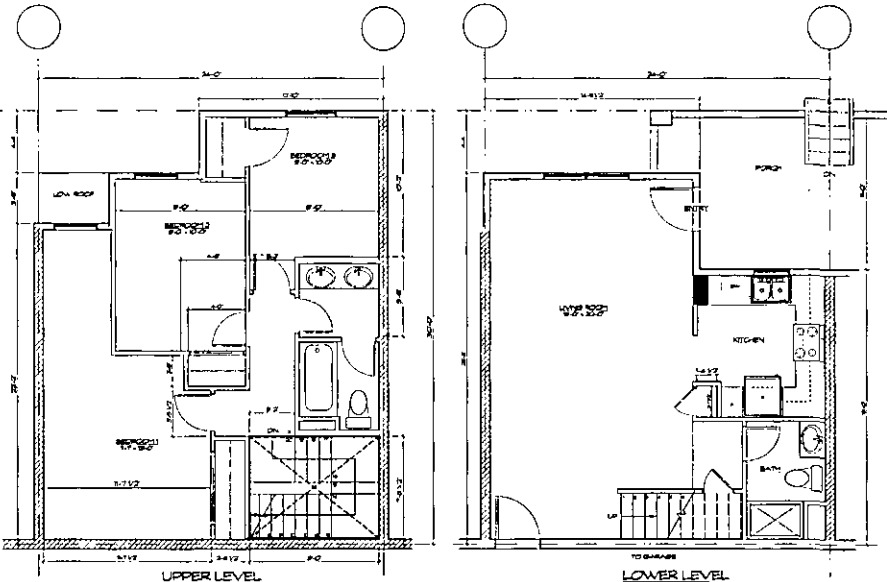
4 1 BEDROOM FLAT B (4 OCCURRENCES)
 Scale: 1/4" = 1'-0"



2 2 BEDROOM FLAT E-863 S.F. (4 OCCURRENCES)
 Scale: 1/4" = 1'-0"



3 1 BEDROOM FLAT A (16 OCCURRENCES)
 Scale: 1/4" = 1'-0"



1 3 BEDROOM TOWNHOME B - 1166 S.F. (4 OCCURRENCES)
 Scale: 1/4" = 1'-0"



**Thomas Dolan
Architecture**
Architects
Urban Design
Planning and
Development Consultants
441 0146 639 7286
441 0146 639 7286
441 0146 639 7286
www.tda-arch.com
Established 1976
171 18th Street
Oakland, California
94607 U.S.A.

OWNERS

**EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION**
RETS
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5353 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**

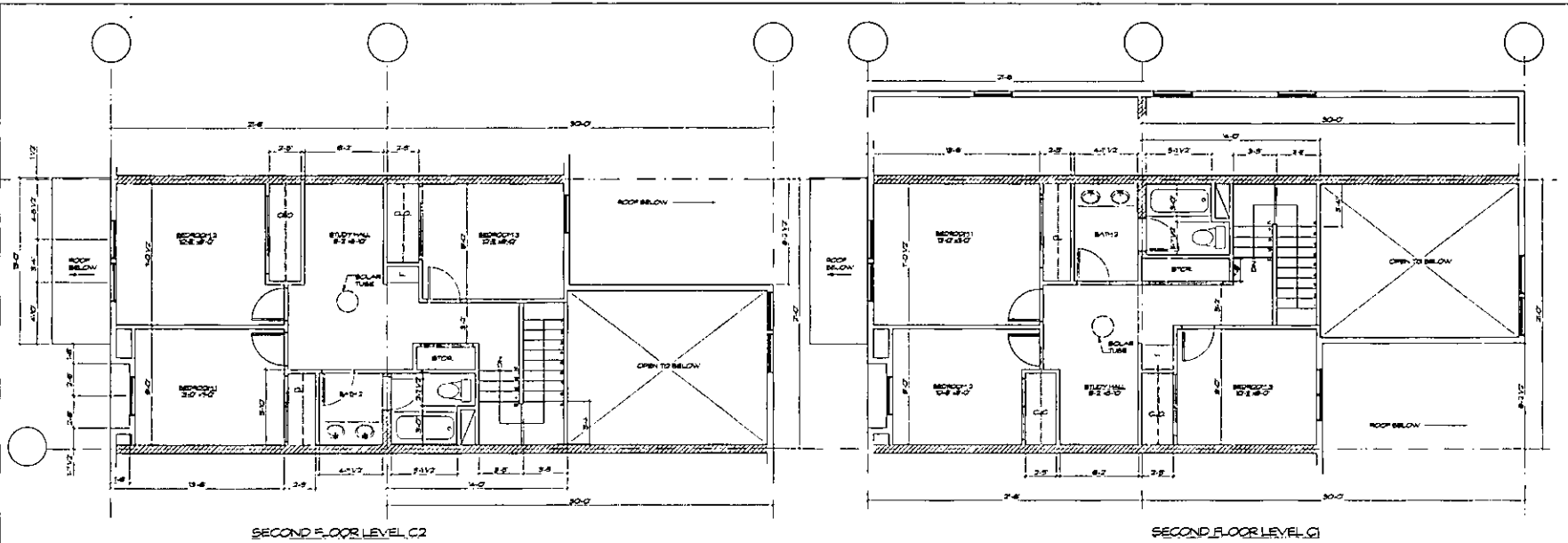
COLIFLUM GARDENS
PHASE IV
OAKLAND, CA

**ENLARGED UNIT
PLANES:
2 BR TH A
3 BR TH C**

REV#	DESCRIPTION	DATE
1	PROF SUBMITTAL	10.23.07
2	SCHEMATIC DESIGN	07.26.07
3	PLANNING SUBMITTAL	06.06.07
4	REV. PLANNING SUBMITTAL	03.21.07
5	DESIGN DEVELOPMENT	01.27.07

DATE: 01.27.07
JOB NO: 0713
DRAWN:

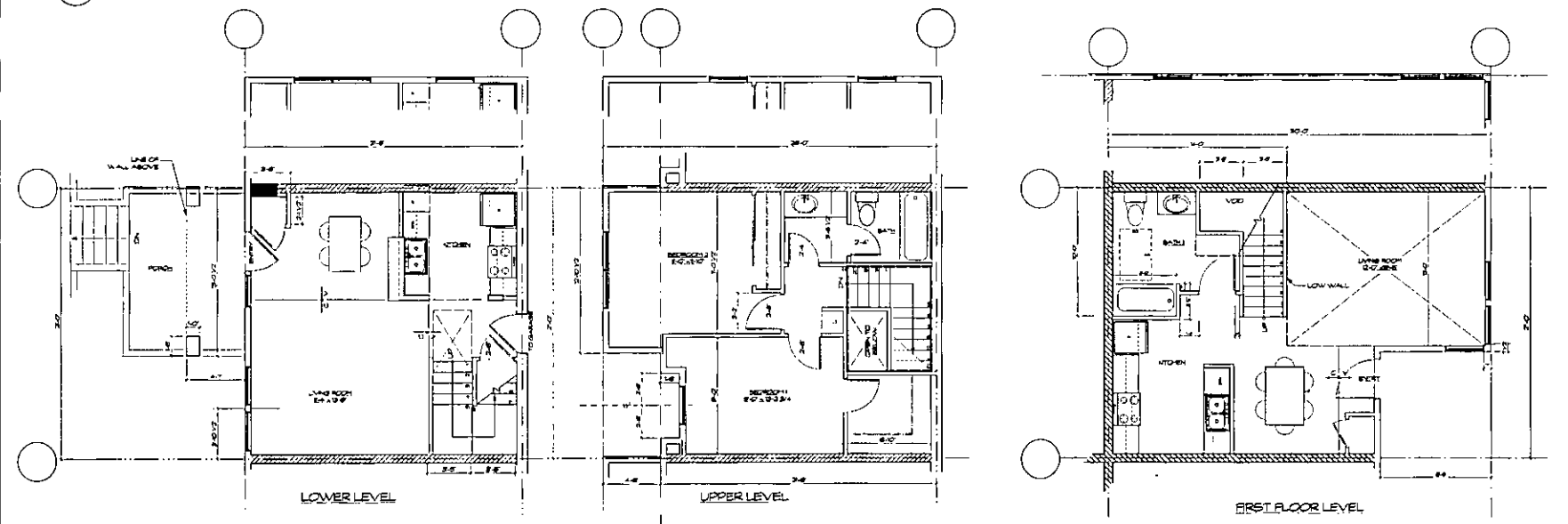
SHFT NO: **A4.13**



SECOND FLOOR LEVEL C2

SECOND FLOOR LEVEL C1

2 3 BEDROOM TOWNHOME C UPPER LEVEL - 1142 S.F. (10 OCCURRENCES)
Scale: 1/4" = 1'-0"



LOWER LEVEL

UPPER LEVEL

FIRST FLOOR LEVEL

3 2 BEDROOM TOWNHOME A - 875 S.F. (10 OCCURRENCES)
Scale: 1/4" = 1'-0"

1 3 BEDROOM TOWNHOME C - 1142 S.F. (10 OCCURRENCES)
Scale: 1/4" = 1'-0"



**Thomas Delon
Architect**
Architecture
Urban Design
Planning and
Development Conditions
Tel: (916) 439-7288
Fax: (916) 439-7289
tda@tdaarchitect.com
www.tdaarch.com
Redwood City
173 Mission Street
Oakland, California
94612 U.S.A.

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 ANA STREET
SUITE 200
OAKLAND, CA
94607
510.287.5353 PH.
510.763.4143 FAX

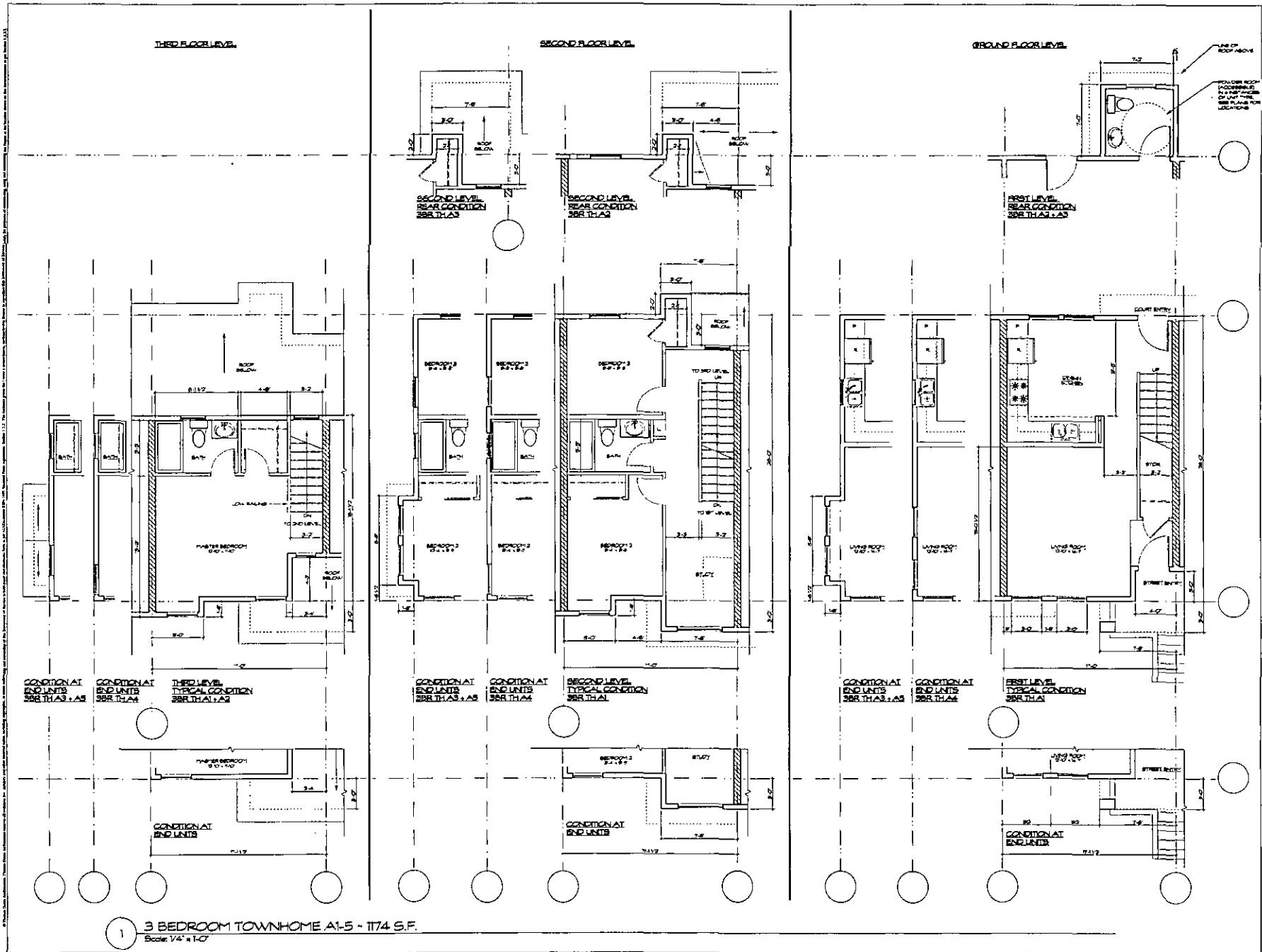
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**ENLARGED UNIT
PLANS:
3 BR TH A**

MARK	DESCRIPTION	DATE
1	NOTA SUBMITTAL	10.23.07
2	SCHEDULE SUBMITTAL	07.02.08
3	PLANNING SUBMITTAL	08.04.08
4	KEY PLANNING SUBMITTAL	10.01.08
5	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
BY: JMD
DRAWN:

SHEET NO. **A4.14**



1 3 BEDROOM TOWNHOME A1-5 - 1174 S.F.
Scale: 1/4" = 1'-0"



**Thomas Dolan
Architecture**
 Architecture
 Urban Design
 Planning and
 Development
 Construction

415 15th St #200
 San Francisco, CA 94109
 www.thomasdolan.com

Registration No.
 173 Public Service
 Oakland, California
 94612-1124

OWNERS:

**EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION**
 38131
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.3333 PH.
 510.763.4143 FAX

**LION CREEK
CROSSINGS**

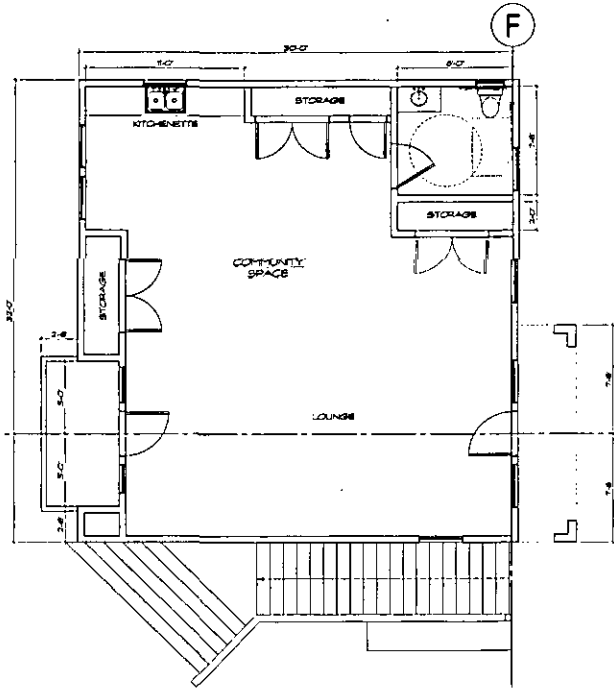
COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

**ENLARGED PLANS
COMMUNITY BUILDING
LAUNDRY ROOM (BLOG A)
LOBBY (BLOG A)**

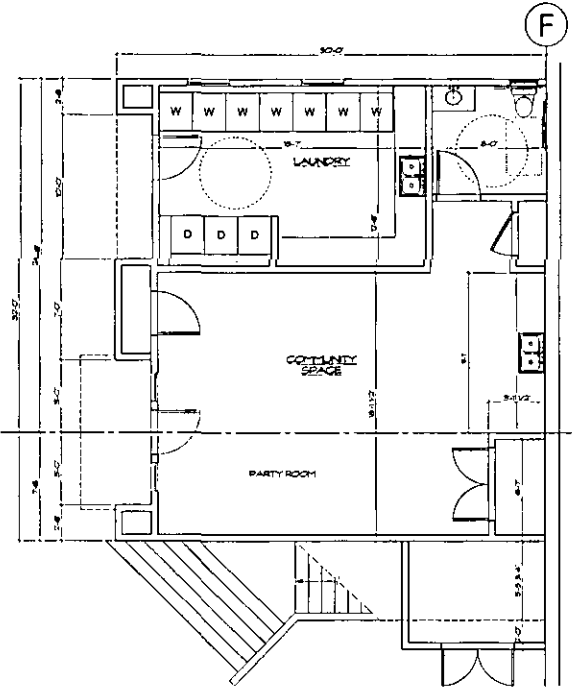
REV	DESCRIPTION	DATE
1	NOVA INITIALS	02.23.07
2	SCHEMATIC DESIGN	03.02.07
3	PLANNING SUBMITTAL	03.04.07
4	KEY PLANNING SUBMITTAL	03.12.07
5	DESIGN DEVELOPMENT	04.27.07

DATE: 01.07.08
 JOB NO: 07139
 DRAWN:

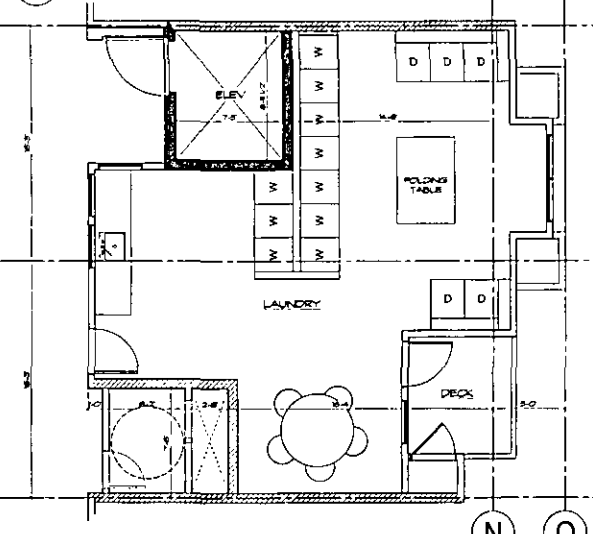
SHEET NO. **A4.15**



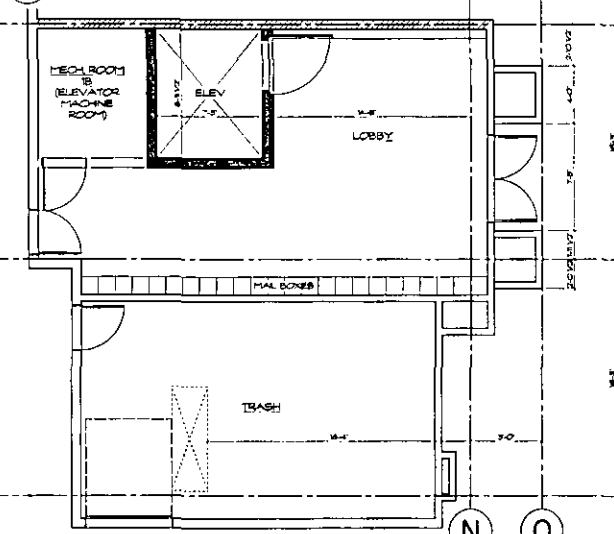
4 COMMUNITY BUILDING - SECOND FLOOR
 Scale: 1/4" = 1'-0"



3 COMMUNITY BUILDING - GROUND FLOOR
 Scale: 1/4" = 1'-0"



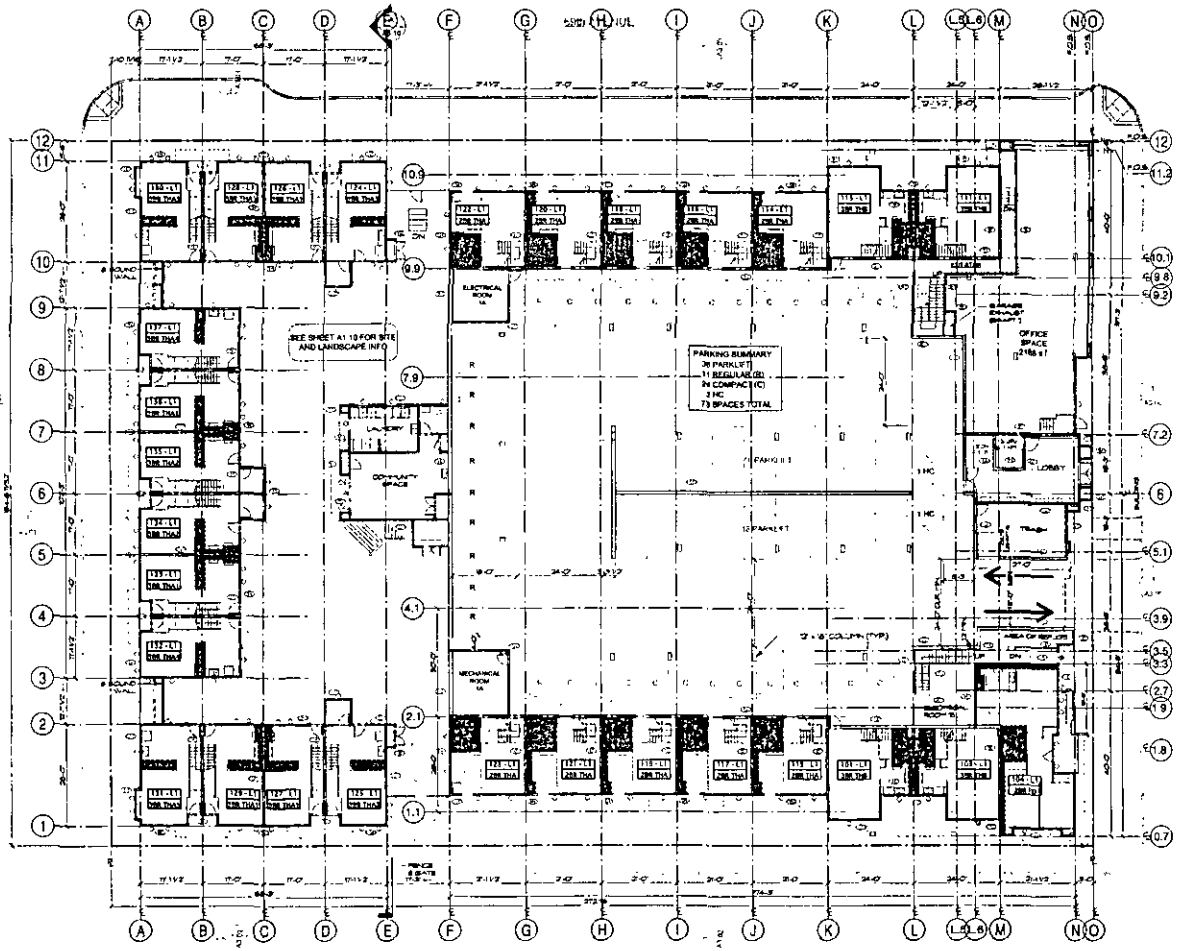
2 LAUNDRY ROOM (SECOND FLOOR)
 Scale: 1/4" = 1'-0"



1 LOBBY (GROUND FLOOR)
 Scale: 1/4" = 1'-0"



**Thomas Dolan
Architecture**
 Urban Design
 Planning and
 Development Consultants
 4401 61st Street
 Oakland, CA 94612
 Tel: (510) 839-2200
 Fax: (510) 839-7338
 www.tdarch.com
 Architecture: Wm
 173 Filbert Street
 Oakland, California
 94607 U.S.A.



OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 10714
 RELATED CALIFORNIA

510 6th STREET
 SUITE 200
 OAKLAND, CA
 94617
 510.287.5553 PHL
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**

COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

**GROUND
 FLOOR PLAN**

DATE	DESCRIPTION	DATE
06.23.09	PLANNING SUBMITTAL	06.23.09
07.02.09	SCHEMATIC DESIGN	07.02.09
08.04.09	PLANNING SUBMITTAL	08.04.09
08.04.09	KEY PLANNING SUBMITTAL	08.04.09
09.07.09	DESIGN DEVELOPMENT	09.07.09

LEGEND

- DROPPED SCOOP
- LAND CLEARING
- BUILDING STRUCTURE



1 GROUND FLOOR RCP PLAN
 Scale: 1/16" = 1'-0"

DATE: 6/23/09
 JOB NO.: 07.12
 DRAWN:

SHEET NO. **A5.10**



Thomas Dolan Architects
 Architects
 Urban Design
 Planning and
 Development Consultants
 tel. (415) 899-7200
 fax. (415) 899-7208
 4150 15th Street, Suite 200
 Oakland, CA 94612
 www.tda-arch.com

OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

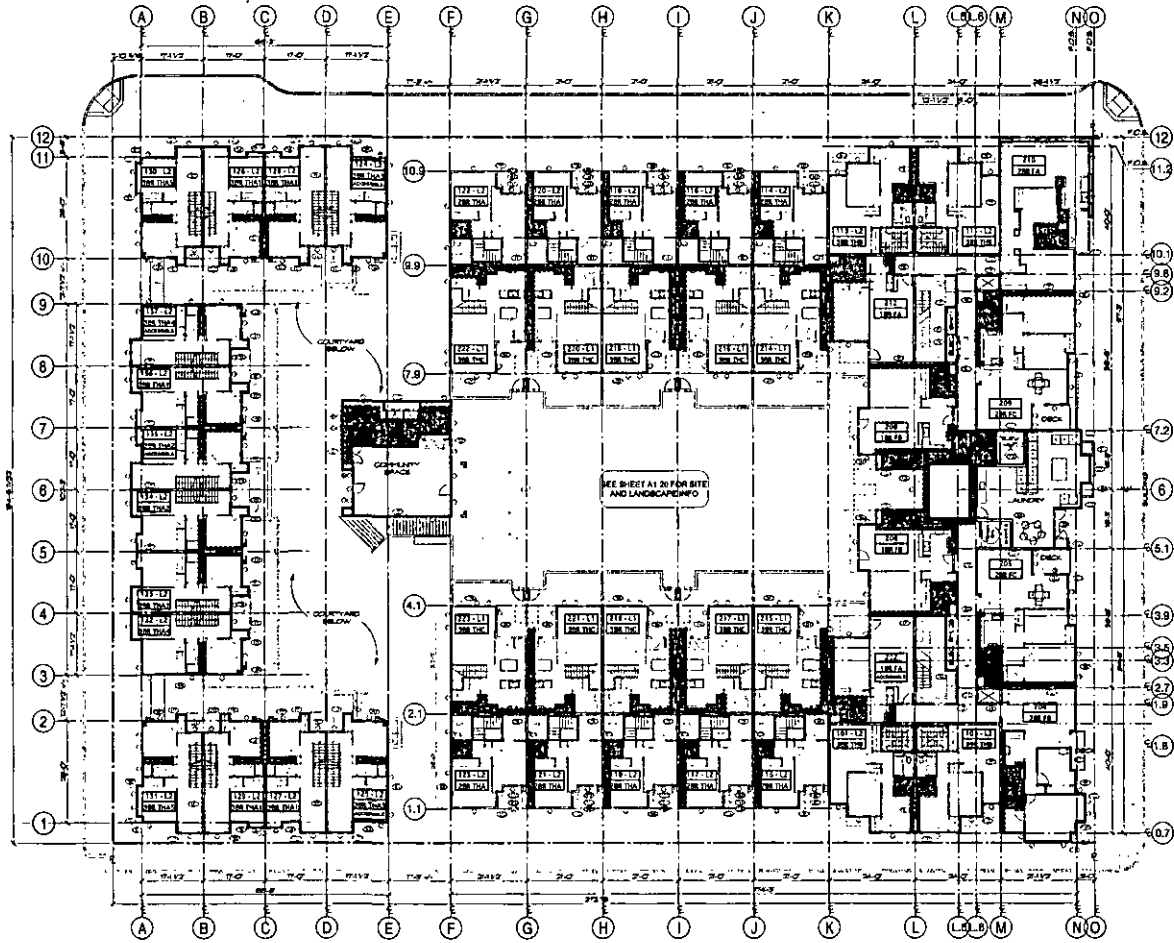
310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5353 PH.
 510.763.4143 FAX



LION CREEK CROSSINGS

COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

SECOND FLOOR PLAN



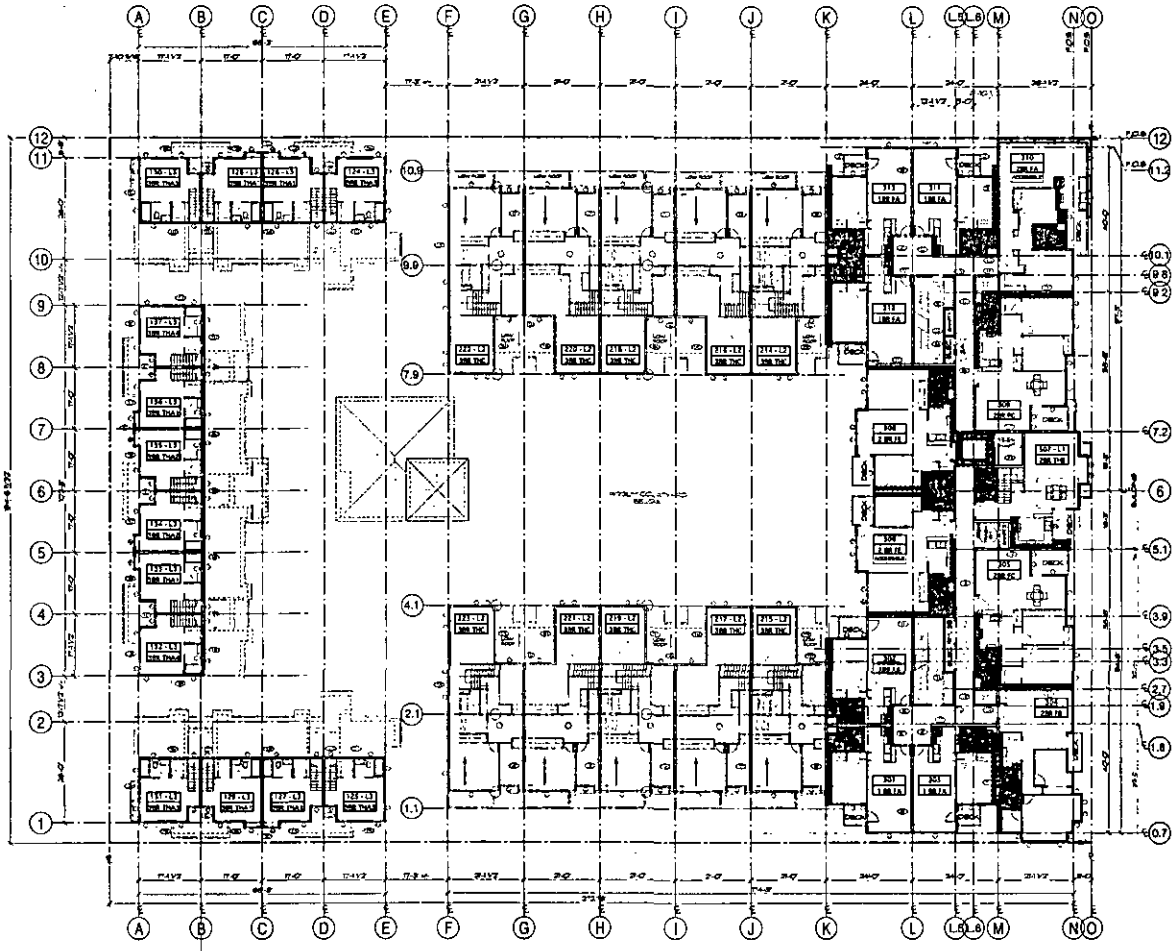
LEGEND

-  DROPPED COPY
-  HARD CELING BELOW STRUCTURE

DATE	DESCRIPTION	DATE
	SCHEMATIC DESIGN	08.23.07
	PLANNING/SUBMITTAL	09.26.07
	KEY PLANNING/SUBMITTAL	09.27.07
	DESIGN DEVELOPMENT	09.27.07

DATE: 01.07.09
 JOB NO.: 07.128
 DRAWN:

1 SECOND FLOOR RCP PLAN
 Scale: 1/16" = 1'-0"



OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
SITE
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5555 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**

COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**THIRD FLOOR
PLAN**

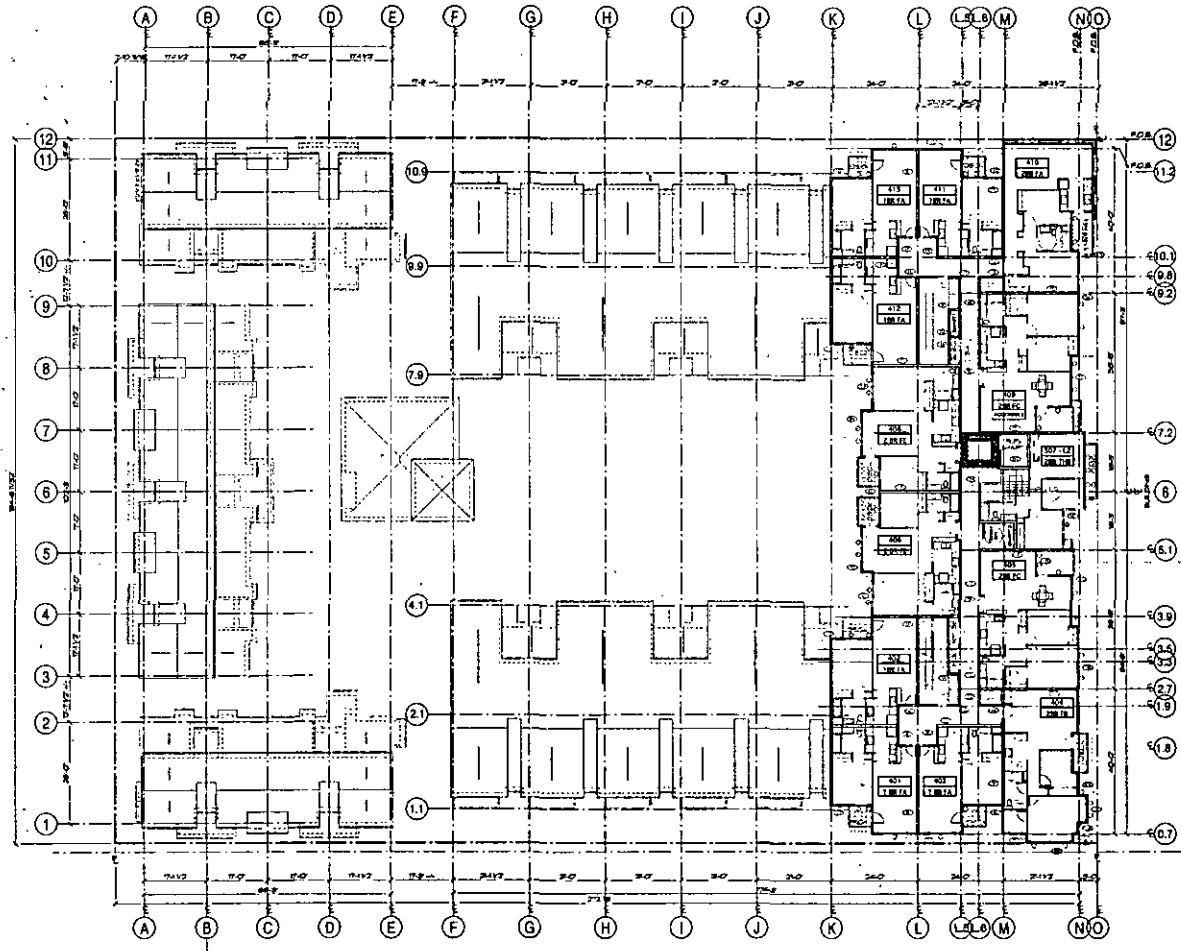
REVISION	DESCRIPTION	DATE
1	REVISION SUBMITTAL	02.23.07
2	SCHEMATIC DESIGN	07.02.07
3	PLANNING SUBMITTAL	09.04.07
4	REV. PLANNING SUBMITTAL	10.01.07
5	DESIGN DEVELOPMENT	01.07.08

DATE: 11/27/07
JOB NO.: 07-12
DRAWN:

1 THIRD FLOOR RCP PLAN
Scale: 1/16" = 1'-0"



**Thomas Dolan
Architects**
Architect
Linear Design
Planning and
Development Consultant
4400 E 17th Street
Suite 4100 Denver, CO 80202
Tel: 303.733.7200
Fax: 303.733.7201
www.tda-arch.com
Registered in
California, Colorado,
Illinois, and
New York



OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
ATTN:
RELATED CALIFORNIA

310 86 STREET
SUITE 200
OAKLAND, CA
94607
510.287.5355 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**

COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**FOURTH FLOOR
PLAN**

LEGEND

	DROPPED CEILING
	HARD CEILING BELOW STRUCTURE

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	05.20.09
	SCHEMATIC DESIGN	07.06.09
	PLANNING SUBMITTAL	08.18.09
	REV. PLANNING SUBMITTAL	08.18.09
	DECK DEVELOPMENT	09.07.09

DATE: 01.07.10
JOB NO: 07.124
DRAWN:

1 FOURTH FLOOR RCP PLAN
Scale: 1/16" = 1'-0"

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 PH.
 510.763.4143 FAX

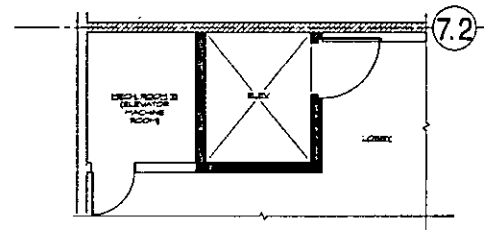
**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

ELEVATOR
 SECTION &
 DETAILS

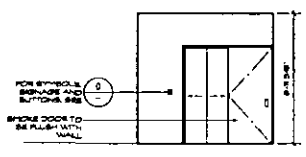
DATE	DESCRIPTION	DATE
	SCHEMATIC DESIGN	08.23.07
	ARCHITECTURAL DESIGN	07.01.08
	PLANNING SUBMITTAL	06.01.08
	KEY PLANNING SUBMITTAL	06.01.08
	DESIGN DEVELOPMENT	06.07.08

DATE: 06.07.08
 JOB NO.: 07.10
 DRAWN: -

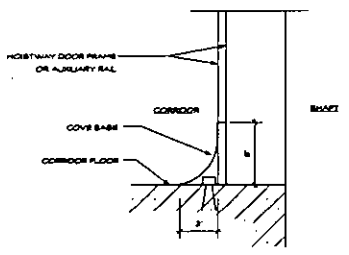
SHEET NO. **A7.00**



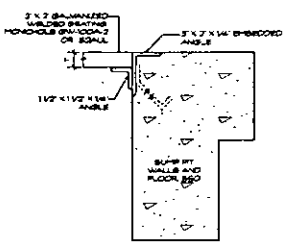
8 GROUND FLOOR ELEV. PLAN
 scale: 1/4" = 1'-0"



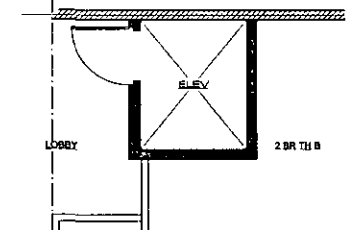
12 TYPICAL ELEVATION
 scale: 1/4" = 1'-0"



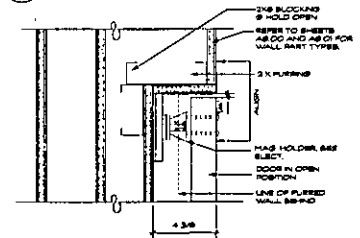
16 SMOKE CURTAIN COVE BASE
 N.T.S.



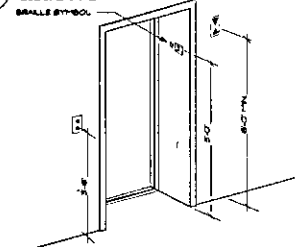
20 SUMP PIT DETAIL
 scale: 3/4" = 1'-0"



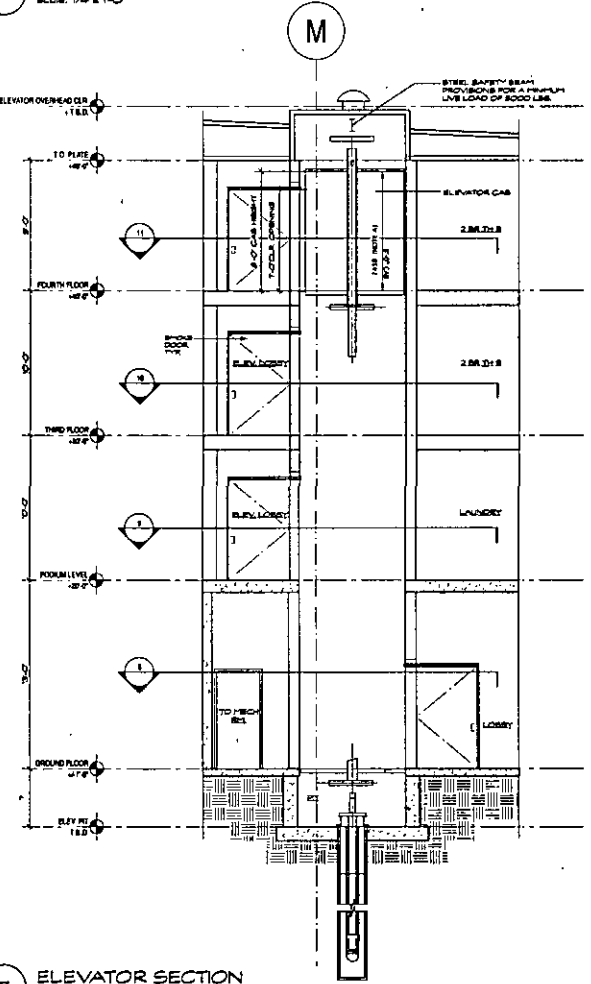
11 FOURTH FLOOR ELEV. PLAN
 scale: 1/4" = 1'-0"



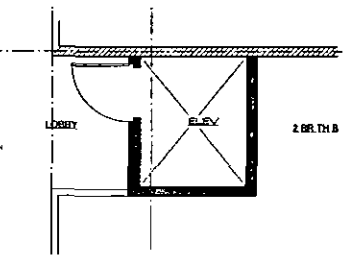
15 SMOKE DOOR DETAIL
 scale: 3/4" = 1'-0"



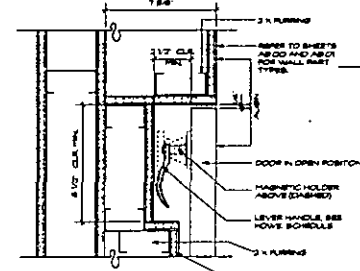
19 ELEVATOR ENTRANCE
 N.T.S.



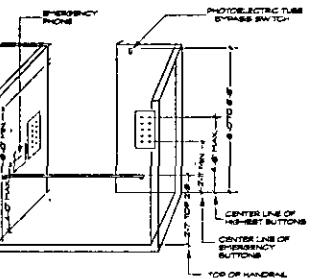
7 ELEVATOR SECTION
 scale: 1/4" = 1'-0"



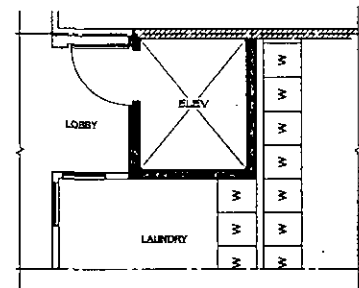
10 THIRD FLOOR ELEV. PLAN
 scale: 1/4" = 1'-0"



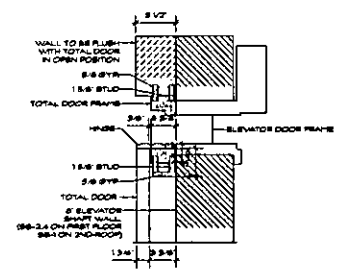
14 SMOKE DOOR DETAIL
 scale: 3/4" = 1'-0"



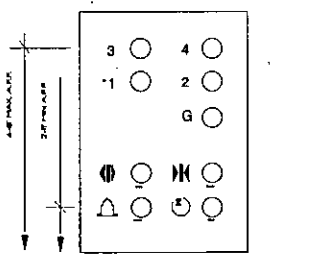
18 ELEVATOR CAB
 N.T.S.



9 PODIUM LEVEL ELEV. PLAN
 scale: 1/4" = 1'-0"



13 FRAMING @ SMOKE DOOR
 scale: 1/2" = 1'-0"



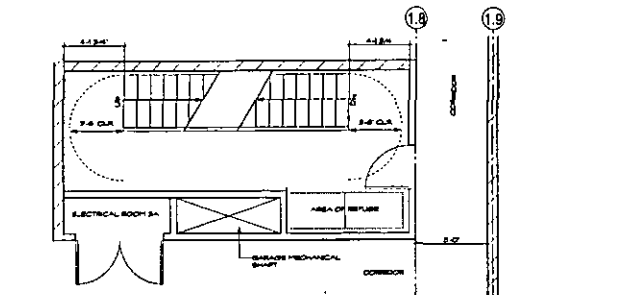
17 CONT. MOUNTING HEIGHT
 N.T.S.



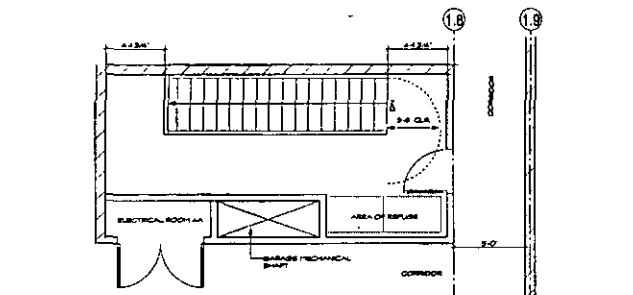
Thomas Deza Architects
 Architecture
 Interior Design
 Planning and
 Development
 Construction

tel. (510) 839-7286
 fax. (510) 839-7288
 1440 9th Street, Suite 200
 Oakland, CA 94612

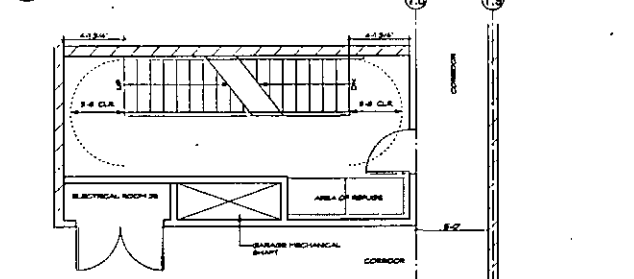
Est. 1988
 175 Market Street
 Oakland, California
 94607 U.S.A.



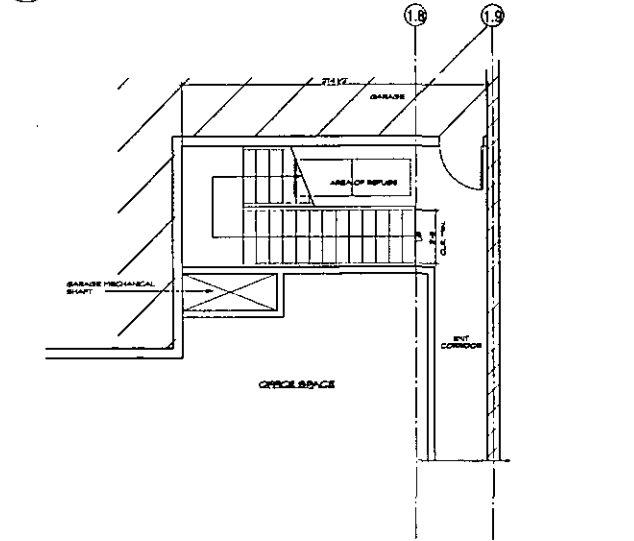
5 THIRD FLOOR ENLGD STAIR PLAN
 scale: 1/4" = 1'-0"



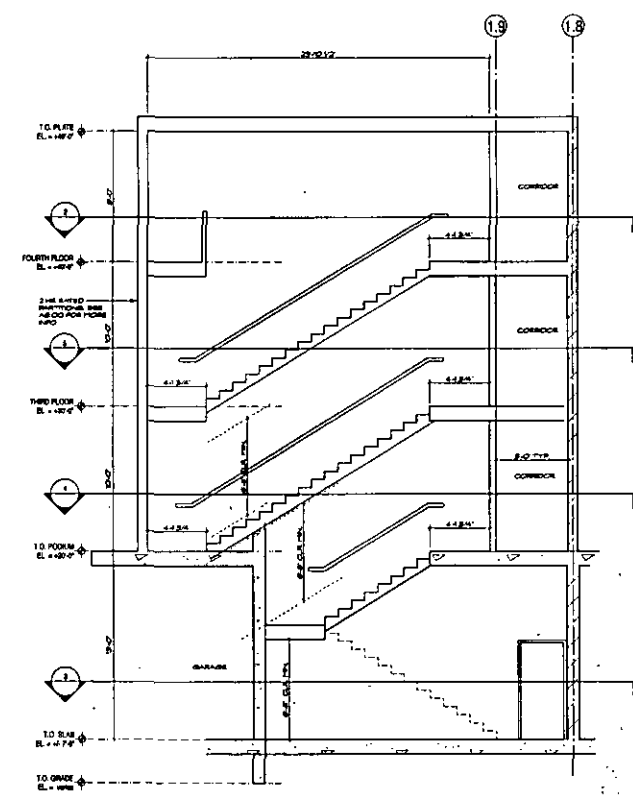
2 FOURTH FLOOR ENLGD STAIR PLAN
 scale: 1/4" = 1'-0"



4 PODIUM ENLGD STAIR PLAN
 scale: 1/4" = 1'-0"



3 GROUND FLOOR ENLGD STAIR PLAN
 scale: 1/4" = 1'-0"



1 WEST ACCESSIBLE EXIT STAIR SECTION- STAIR 1
 scale: 1/2" = 1'-0"

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA

310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607

510.287.5353 PH.
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

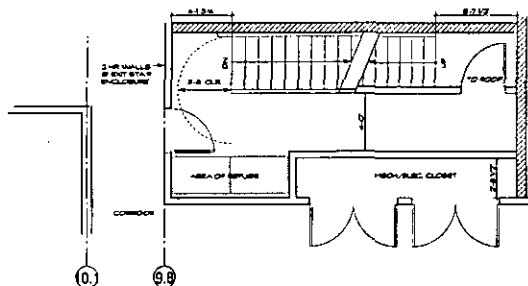
STAIR 1 WEST
 SECTION

DATE	DESCRIPTION	DATE
08.20.07	NOVA SUBMITTAL	08.20.07
07.24.08	SCHEMATIC DESIGN	07.24.08
08.04.08	PLANNING SUBMITTAL	08.04.08
10.21.08	KEY PLANNING SUBMITTAL	10.21.08
11.27.08	DESIGN DEVELOPMENT	11.27.08

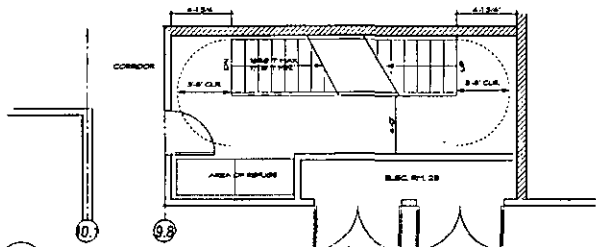
DATE: 08.20.07
 JOB NO.: 07120
 DRAWN BY: [signature]

A7.01

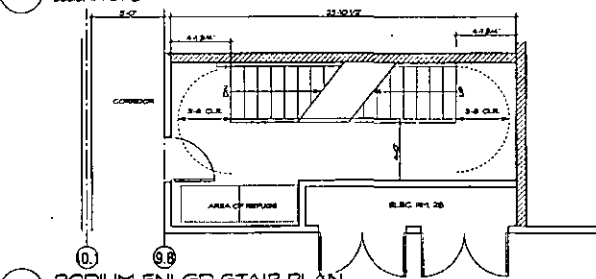
SHEET NO.



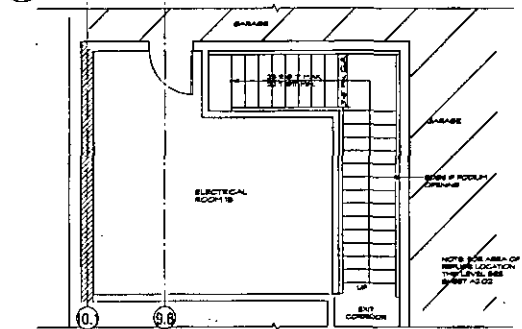
6 FOURTH FLOOR ENLGD STAIR PLAN
scale: 1/4" = 1'-0"



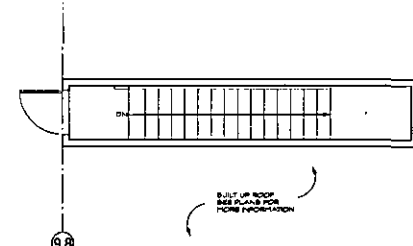
5 THIRD FLOOR ENLGD STAIR PLAN
scale: 1/4" = 1'-0"



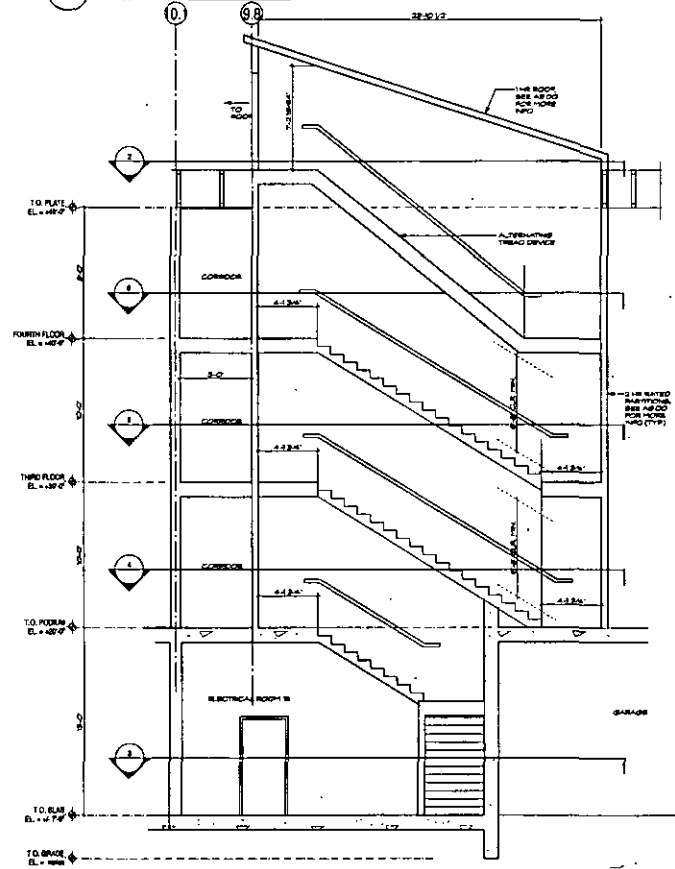
4 PODIUM ENLGD STAIR PLAN
scale: 1/4" = 1'-0"



3 GROUND FLOOR ENLGD STAIR PLAN
scale: 1/4" = 1'-0"



2 ROOF ENLGD STAIR PLAN
scale: 1/4" = 1'-0"



1 EAST ACCESSIBLE EXIT STAIR SECTION-STAIR 2
scale: 1/4" = 1'-0"

TDA Thomas Dolan
Architects
Architecture
Interior Design
Planning and
Development
Construction
tel: (510) 837 7200
fax: (510) 837 7300
www.tda-arch.com
www.tda-arch.com
1770 Broadway
Oakland, California
94612 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5553 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

STAIR 2 EAST
SECTION

DATE	DESCRIPTION	DATE
08.25.07	NOVA SUBMITTAL	08.25.07
09.02.08	SCHEMATIC DESIGN	09.02.08
09.16.08	PLANNING SUBMITTAL	09.16.08
10.01.08	REV. PLANNING SUBMITTAL	10.01.08
01.07.09	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
JOB NO: 07.124
DRAWN:

A7.02



**Thomas Dolan
Architecture**
Architects
Urban Design
Planning and
Development
Consultants
Tel: (510) 819-7200
Fax: (510) 819-7204
E-mail: tda@thomasdolan.com
www.thomasdolan.com
Tobacco Alley West
173 Filbert Street
Oakland, California
94607 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5553 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

WALL
SECTIONS

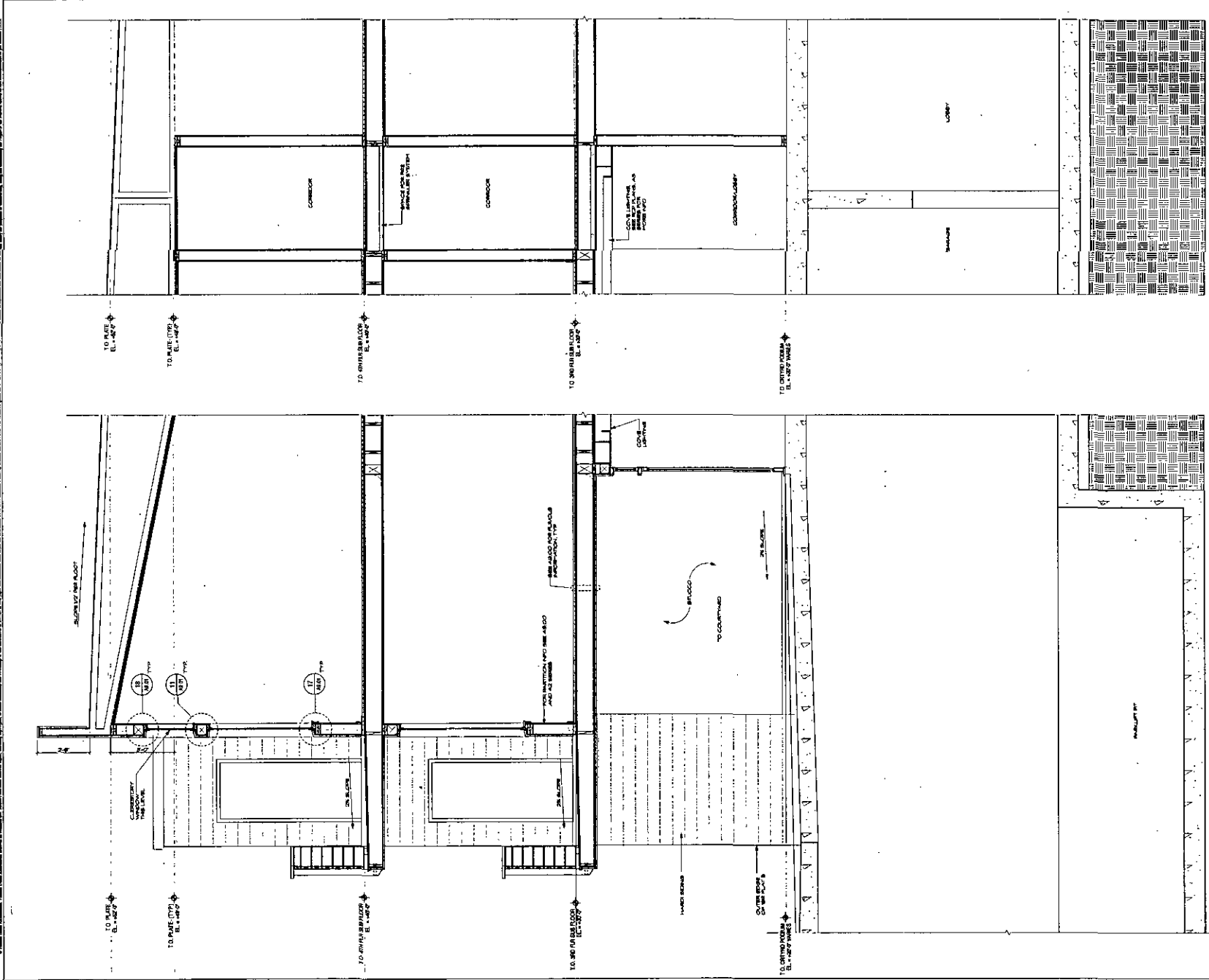
DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	10.21.07
	SCHEMATIC DESIGN	07.02.08
	PLANNING SUBMITTAL	09.04.08
	KEY PLANNING SUBMITTAL	10.01.08
	DESIGN DEVELOPMENT	10.24.08
	DRIVEN DEVELOPMENT	11.11.08

DATE: 11.13.09
JOB NO: 07.10
DRAWN:

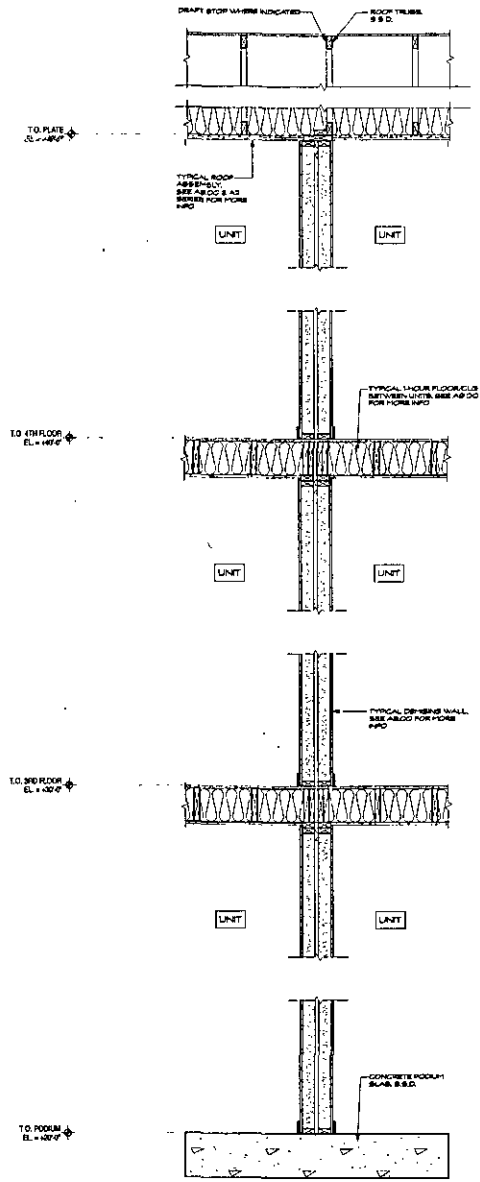
SHEET NO. **A8.01**

1 SECTION @ INTERIOR CORRIDOR
SCALE: 1/2" = 1'-0"

2 SECTION @ CANTILEVERED DECKS FACING COURTYARD
SCALE: 1/2" = 1'-0"



1. The information on this drawing is based on the information provided by the client. The architect does not warrant the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client. The architect is not responsible for the accuracy of the information provided by the client.



2 TYPICAL PARTY WALL SECTION
 Scale: 3/4" = 1'-0"

TDA Thomas Deles
 Architecture
 Architects
 Urban Design
 Planning and
 Development
 Consultants
 Tel: (510) 837-7200
 Fax: (510) 837-7208
 E-Mail: tda@tdaarch.com
www.tda-arch.com
 Embarkadero West
 175 Filbert Street
 Oakland, California
 94607 U.S.A.

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH:
 RELATED CALIFORNIA

 310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5353 PH.
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

DATE	DESCRIPTION	DATE
05.23.07	NOVA SUBMITTAL	
07.03.08	SCHEMATIC DESIGN	
08.08.08	PLANNING SUBMITTAL	
10.01.08	REV. PLANNING SUBMITTAL	
01.07.09	DESIGN DEVELOPMENT	

DATE: 01.07.09
 JOB NO.: 07.129
 DRAWN:

SHEET NO. **A8.02**



**Thomas Dehn
Architects**
Architect
Urban Design
Planning and
Development
Consultant
415 519 7200
415 519 7200
415 519 7200
www.thomasdehn.com
San Francisco
175 Filbert Street
Oakland, California
94612 U.S.A.

OWNERS
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 9th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5553 PH.
510.763.4143 FAX

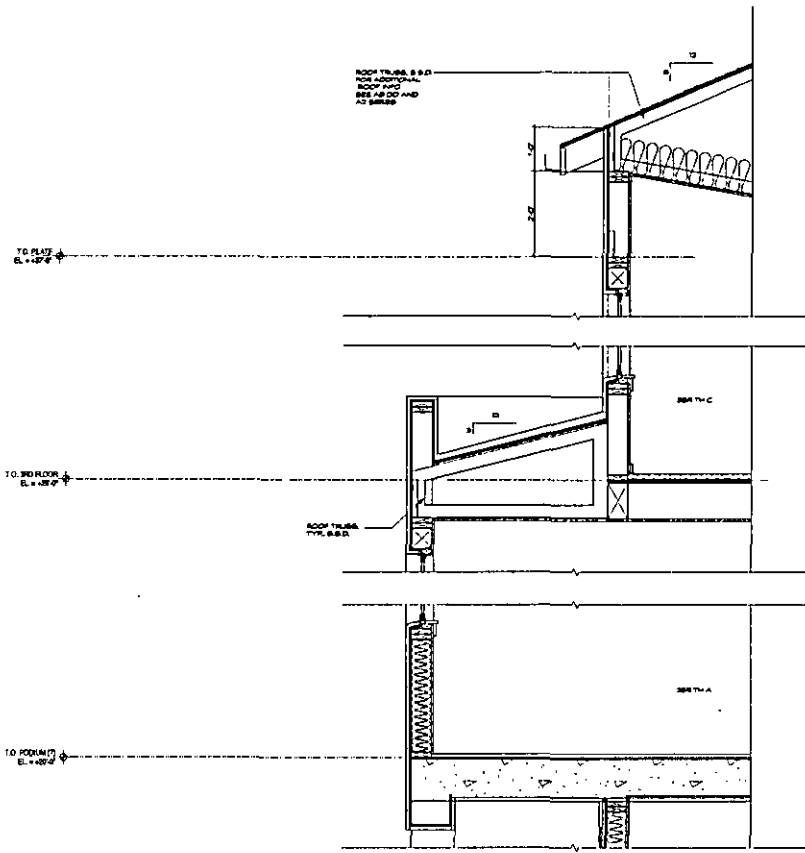
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**WALL
SECTIONS**

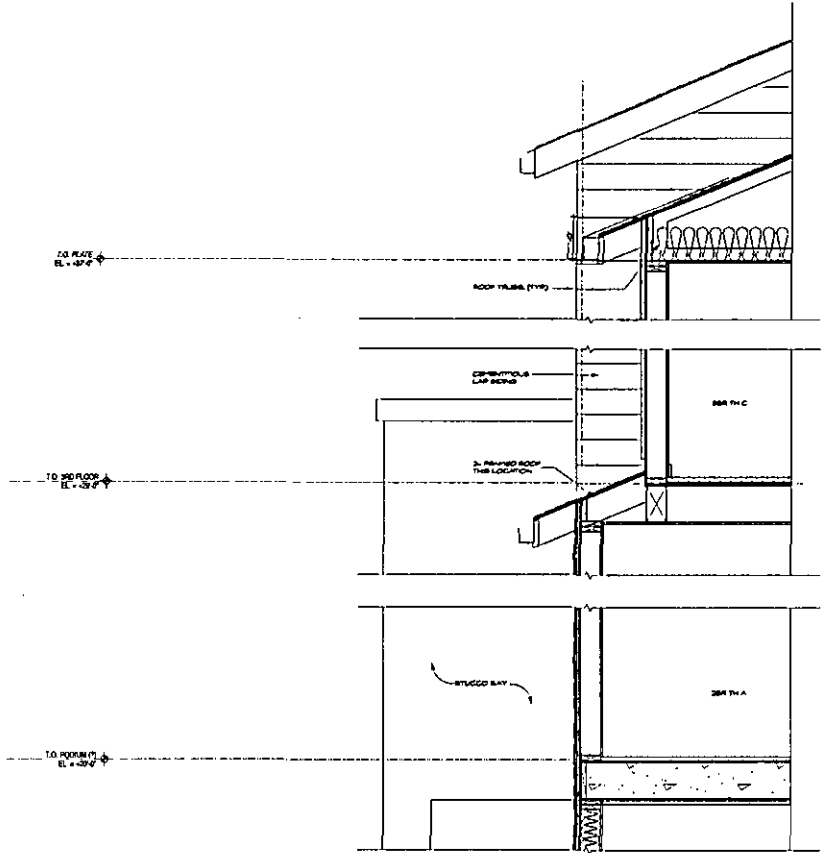
REV	DESCRIPTION	DATE
01	NOVA SUBMITTAL	10.23.07
02	SCHEMATIC DESIGN	07.02.08
03	PLANNING SUBMITTAL	09.04.08
04	KEY PLANNING SUBMITTAL	05.01.09
05	DESIGN DEVELOPMENT	10.24.09
06	DESIGN DEVELOPMENT	12.11.09

DATE: 12.11.09
JOB NO. 07-120
DRAWN

PROJECT NO. **A8.10**



1 SECTION @ 2BR TH A AND 3BR TH C AT PODIUM AT PORCH
scale: 3/4" = 1'-0"



2 WALL SECTION 2BR TH A & 3BR TH C
scale: 3/4" = 1'-0"

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

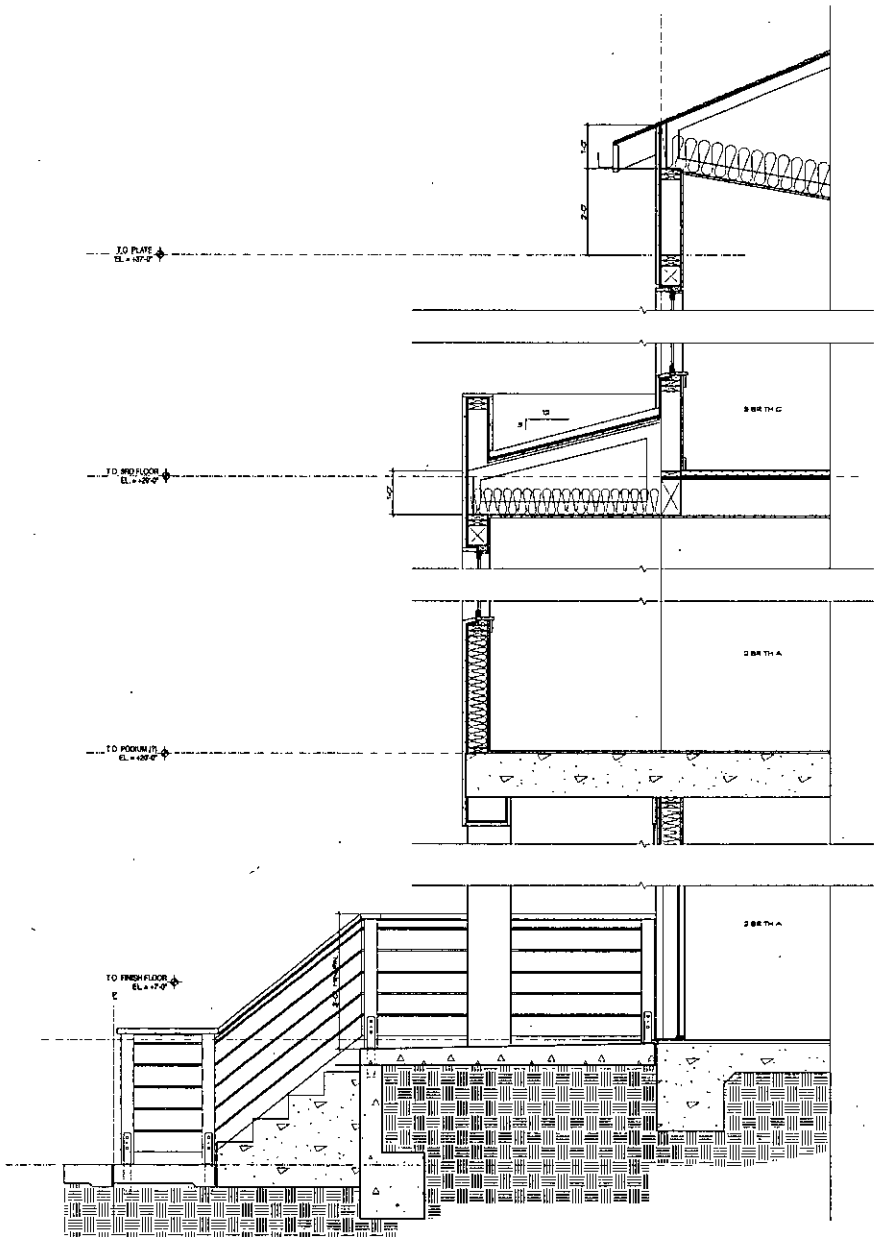
510.287.5353 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

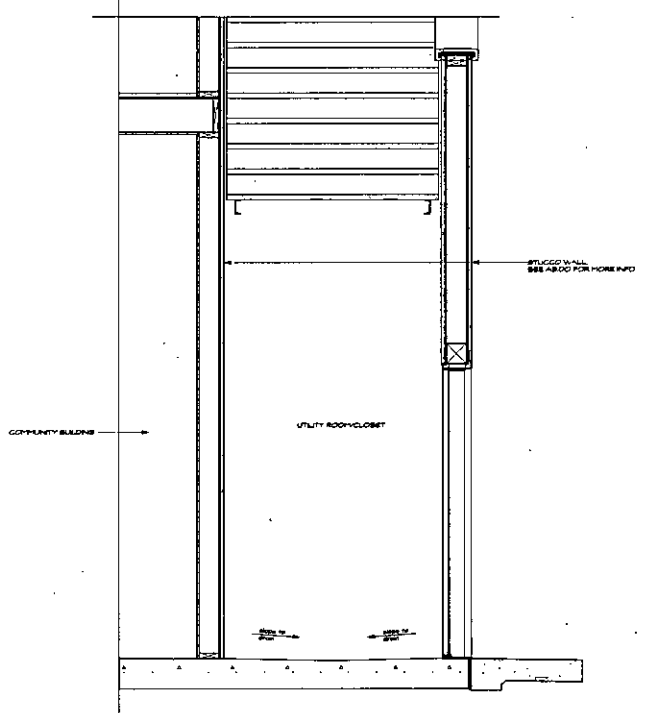
WALL
SECTIONS

NO.	DESCRIPTION	DATE
	NOVA SUBMITTAL	10.23.07
	SCHEMATIC DESIGN	07.02.08
	PLANNING SUBMITTAL	09.04.08
	REV. PLANNING SUBMITTAL	10.01.08
	DESIGN DEVELOPMENT	10.30.08
	DESIGN DEVELOPMENT	11.12.08

DATE: 11.12.08
JOB NO. 07.120
DRAWN

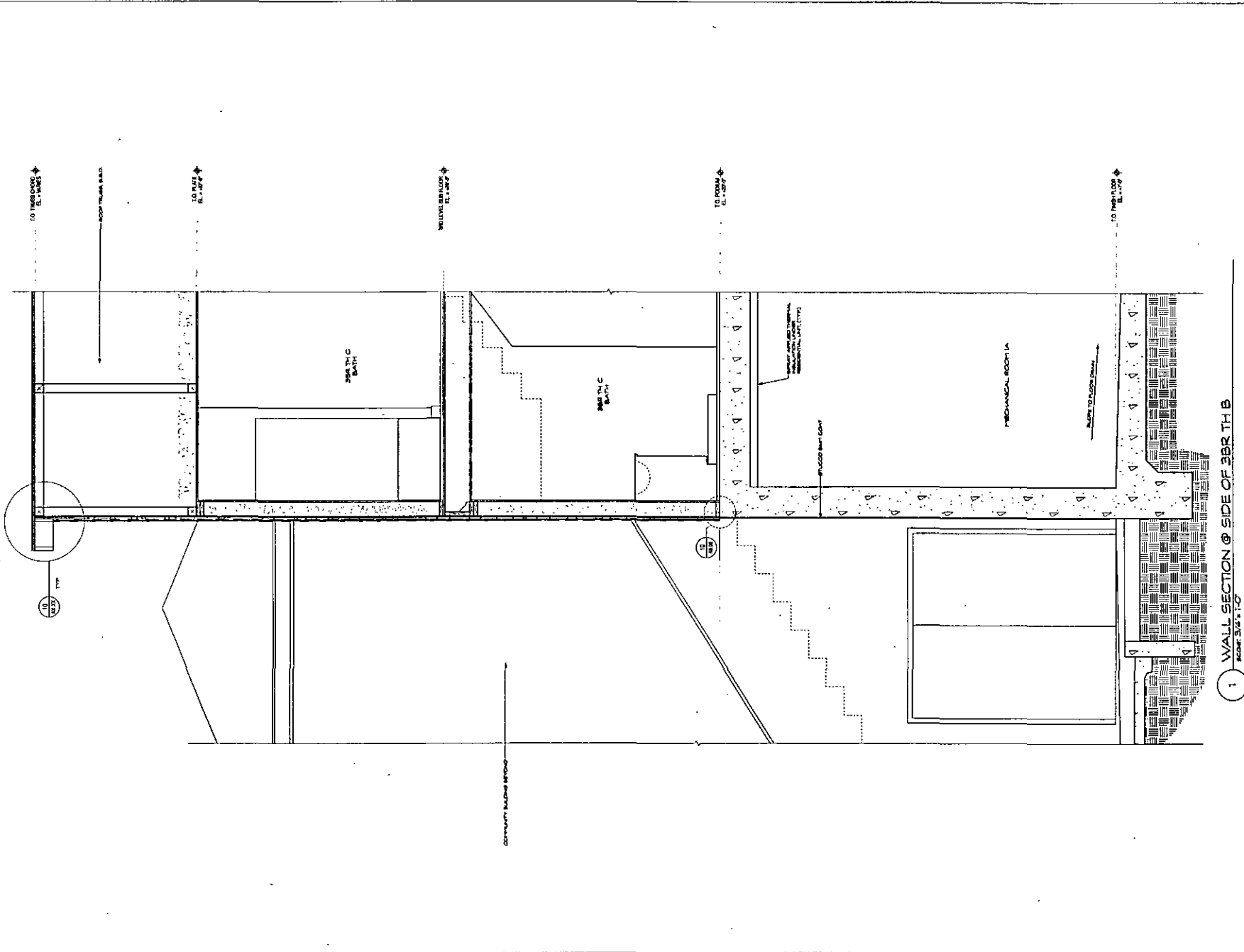


1 WALL SECTION 2BR TH A & 3BR TH C THRU STUCCO BAY
scale: 3/4" = 1'-0"



2 SECTION THRU EXTERIOR STAIR AT COMMUNITY BUILDING
scale: 3/4" = 1'-0"

G



TDA Thomas Dubois
Architects
Architect
Interior Design
Planning and
Development
Consultants
tel. (510) 439 7206
fax. (510) 439 7206
e-mail: tda@tda.com
www.tda.com
Established 1974
177 Filbert Street
Oakland, California
94612 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 84 STREET
SUITE 200
OAKLAND, CA
94607
510.287.5353 PH.
510.763.4143 FAX

1 WALL SECTION @ SIDE OF 3BR TH B
SCALE: 3/8" = 1'-0"

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

WALL
SECTIONS

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	08.23.07
	PERMITS DESIGN	07.03.08
	PLANNING SUBMITTAL	09.24.08
	REV PLANNING SUBMITTAL	08.08.08
	DESIGN DEVELOPMENT	01.07.08

DATE: 01.07.08
JOB NO: 07.130
DRAWN:

SHEET NO. **A8.12**



TDA Thomas Dolan
Architects

Architecture
Urban Design
Planning and
Development
Consulting

tel: (510) 870 7200
fax: (510) 870 7200
www.tda-arch.com
Rastropoulos Way
171 2nd Street
Oakland, California
94612 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 9th STREET
SUITE 200
OAKLAND, CA
94607

510.287.3353 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**

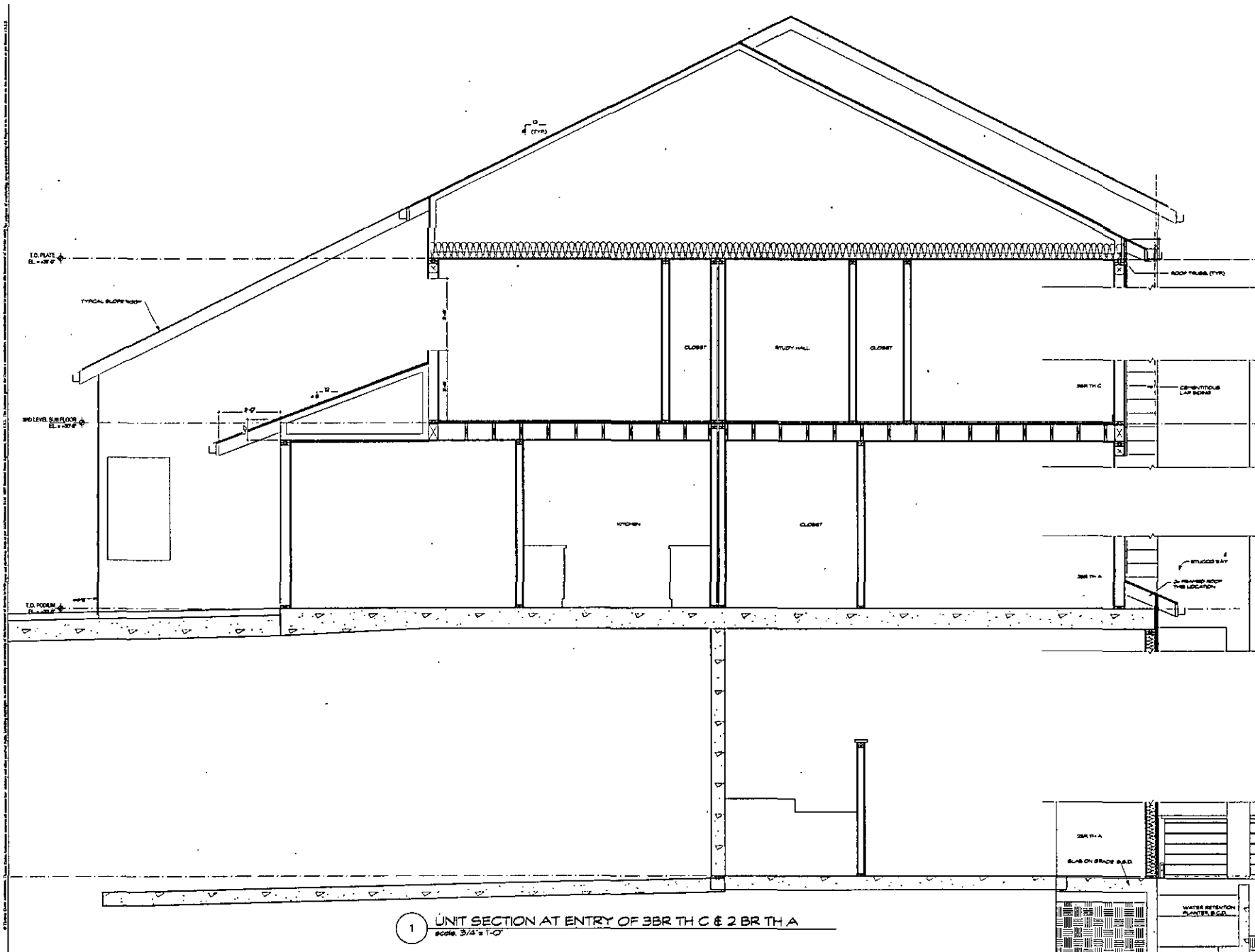
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**WALL
SECTIONS**

DATE	DESCRIPTION	DATE
08.23.07	SCHEMATIC DESIGN	07.02.06
09.04.06	PLANNING SUBMITTAL	08.01.06
08.01.06	REV. PLANNING SUBMITTAL	08.01.06
08.01.06	DESIGN DEVELOPMENT	

DATE: 01.07.09
JOB NO: 07.128
DRAWN:

SHEET NO. **A8.14**



1 UNIT SECTION AT ENTRY OF 3BR TH C & 2 BR TH A
scale: 3/4" = 1'-0"



**Thomas Dolan
Architects**
Architecture
Urban Design
Planning and
Development
Consultation
Tel. (510) 439-7200
Fax. (510) 439-7208
E-Mail: tda@tda.com
www.tda-arch.com
Fosterbury Way
217 Fosterbury
Oakland, California
94612 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607
510.287.5353 PH.
510.763.4143 FAX

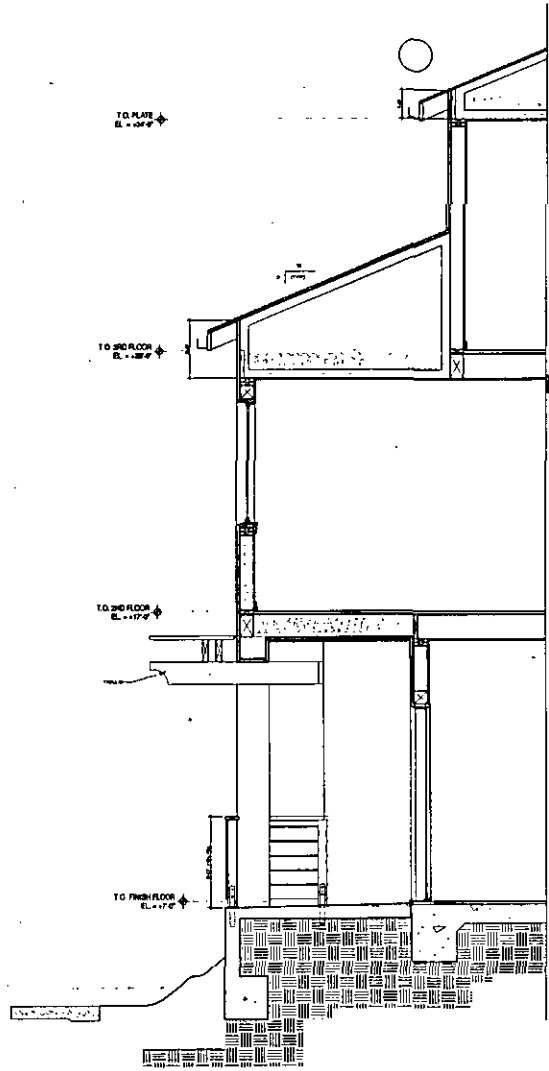
**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

WALL
SECTIONS

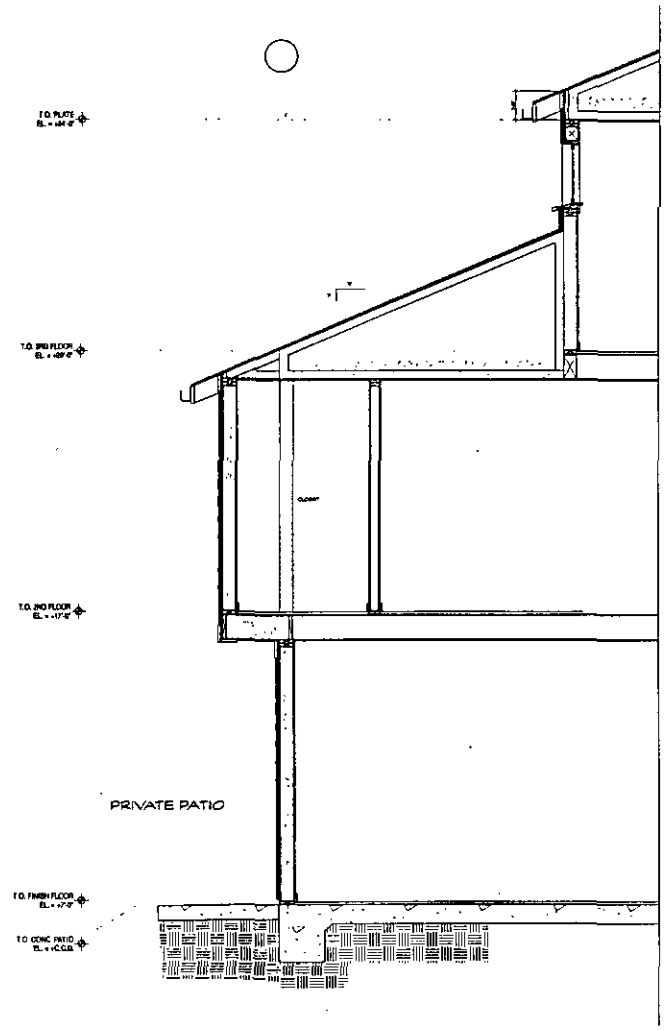
DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	10.22.07
	PERMITS/DESK	07.08.08
	PLANNING SUBMITTAL	09.08.08
	ENV PLANNING SUBMITTAL	09.08.08
	DESK DEVELOPMENT	09.24.08
	DESK DEVELOPMENT	12.17.08

DATE: 12.11.09
JOB NO.: 07.128
DRAWN:

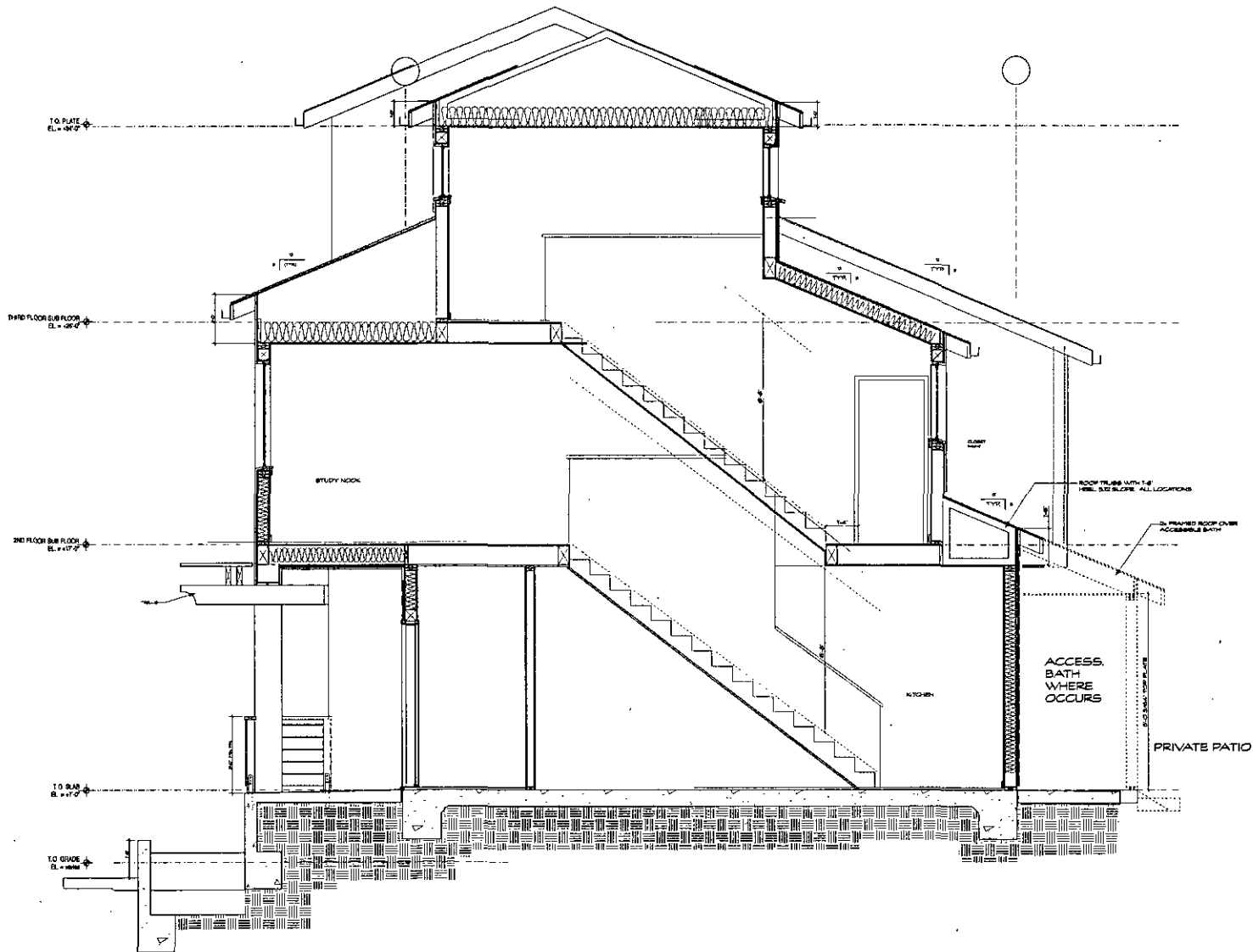
SHEET NO.: **A8.20**



2 WALL SECTION 3BR TH A @ 70TH AVENUE ENTRY
scale: 3/4" = 1'-0"



1 WALL SECTION 3BR TH A @ PRIVATE PATIO
scale: 3/4" = 1'-0"



2 UNIT SECTION AT STAIR- 3 BR TH A
 scale: 3/4" = 1'-0"

TDA Thomas Dolan
 Architects
 Architecture
 Urban Design
 Planning and
 Development
 Consultation
 tel: (510) 839 7200
 fax: (510) 839 7200
 e-mail: @thomasdolans.com
 www.thomasdolans.com
 173 Filbert Street
 Oakland, California
 94607 U.S.A.

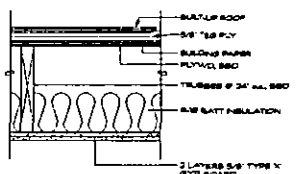
OWNERS
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA
 310 8th STREET
 SUITE 200
 OAKLAND, CA
 94607
 510.287.5553 PH.
 510.763.4143 FAX

**LION CREEK
 CROSSINGS**
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

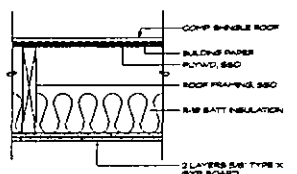
WALL SECTIONS

DATE	DESCRIPTION	DATE
05.23.07	NORA SUBMITTAL	05.23.07
07.02.07	SCHEMATIC DESIGN	07.02.07
09.04.07	PLANNING SUBMITTAL	09.04.07
10.01.07	REV PLANNING SUBMITTAL	10.01.07
01.07.08	DESK/IN DEVELOPMENT	01.07.08

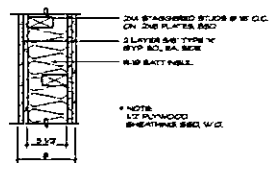
DATE: 01.07.08
 JOB NO.: 07.139
 DRAWN: JM
A8.21
 SHEET NO.



7 1 HR ROOF/CLG. @ LOW SLOPE



3 1 HR ROOF/CLG. @ SLOPE

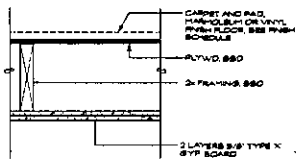


2G STAIR/ELEVATOR/TRASH SHAFT WALL

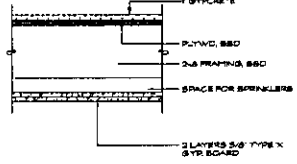
PARTITION NOTES:

1. ALL WOOD STUDS HOUR RATING
2. PARTITION TYPES 0 & 1 HAVE NOT BEEN FOLLOWED FOR CLARITY
3. ALL WALLS TO BE NON-COMBUSTIBLE. ALL RESIDENTIAL FLOORS TO BE TYPE V, 1-HOUR CONSTRUCTION.

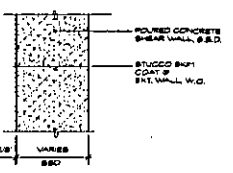
TDA Thomas Dolan Architecture
 Architecture
 Urban Design
 Planning and
 Development
 Consultants
 441 (181) 419 7200
 441 (415) 419 7200
 441 (415) 419 7200
 1777 Third Street
 Oakland, California
 94612 U.S.A.



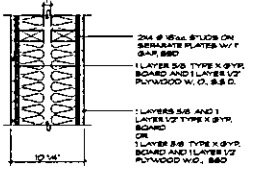
6 TYP. INT. FLR/CLG @ T.H.



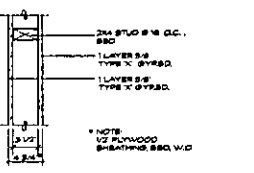
2 TYP. INT. CORRIDOR FLR/CLG



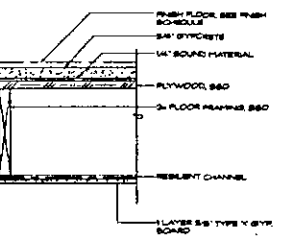
1K FURRING AT CONCRETE WALL



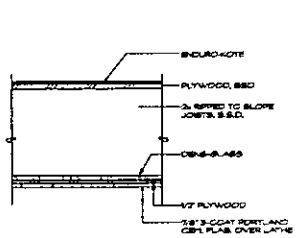
1F DEMISING WALL



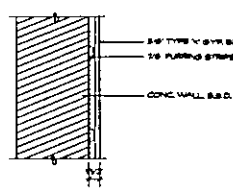
1C INT. PARTITION WALL



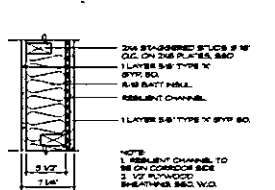
5 TYP. DEMISING FLR & CLG.



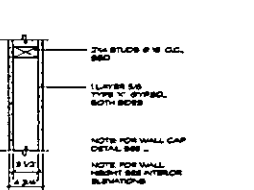
1 TYP. DECK CONSTRUCTION



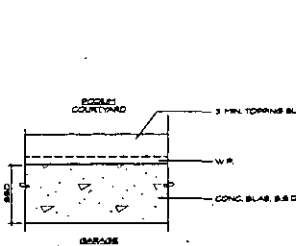
1J 10\"/>



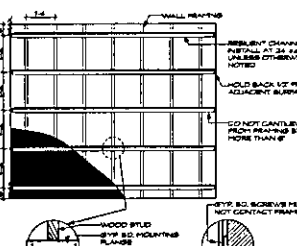
1E INT. CORRIDOR WALL



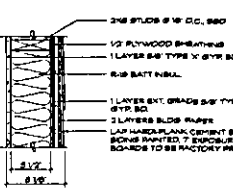
1B PARTIAL HEIGHT PARTITION WALL



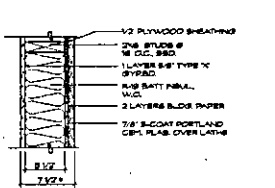
4 TYP. DEMISING FLR & CLG.



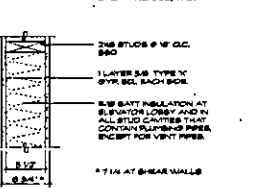
2 RES. CHANNEL INSTALLATION



1H EXT. WALL W/CEMENT BOARD SIDING



1D EXT. WALL W/CEM. PLASTER



1A INT. PLUMB/PART/SHAFT WALL

OWNERS:
 EAST BAY ASIAN LOCAL
 DEVELOPMENT
 CORPORATION
 WITH
 RELATED CALIFORNIA
 310 6th STREET -
 SUITE 200
 OAKLAND, CA
 94607
 510 287.5353 PH.
 510.763.4143 FAX

LION CREEK CROSSINGS
 COLISEUM GARDENS
 PHASE IV
 OAKLAND, CA

PARTITION TYPES

REV	DESCRIPTION	DATE
001	NOVA SUBMITTAL	10.23.07
002	SCHEMATIC DESIGN	07.23.07
003	PLANNING SUBMITTAL	09.26.07
004	REV PLANNING SUBMITTAL	10.01.07
005	DESIGN DEVELOPMENT	11.07.07

DATE: 11.07.07
 JOB NO: 07.124
 DRAWN: JM

Sheet No. **A9.00**

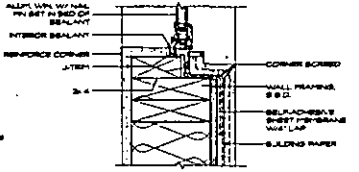
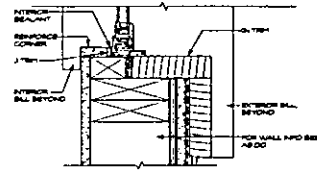
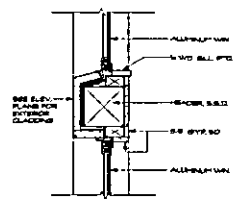
4 DETAIL
Scale:

8 DETAIL
Scale:

12 DETAIL
Scale:

16 DETAIL
Scale:

20 DETAIL
Scale:



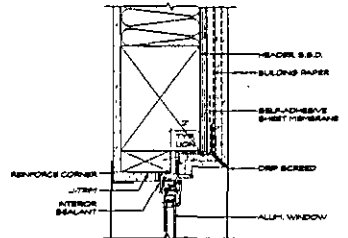
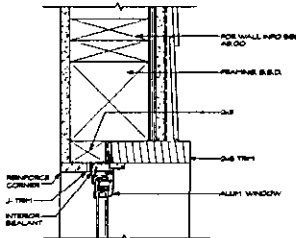
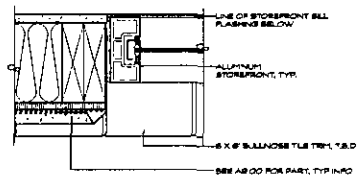
3 DETAIL
Scale:

7 DETAIL
Scale:

11 DETAIL @ CLERESTORY
Scale: 1 1/2" = 1'-0"

15 TYP. WINDOW
JAMB @ CEMENT. SIDING
Scale: 3" = 1'-0"

19 TYP. WINDOW
JAMB @ STUCCO FINISH
Scale: 3" = 1'-0"



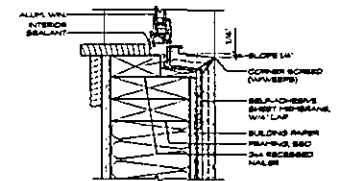
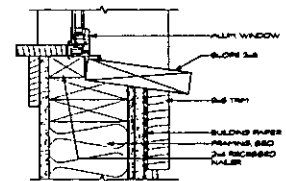
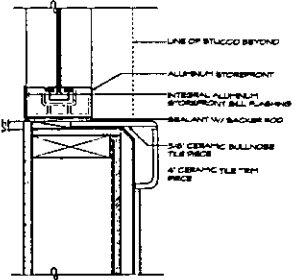
2 DETAIL
Scale:

6 DETAIL
Scale: 1 1/2" = 1'-0"

10 WIN. JAMB AT STOREFRONT
Scale: 3" = 1'-0"

14 TYP. WINDOW
HEAD @ CEMENT. SIDING
Scale: 3" = 1'-0"

18 TYP. WINDOW
SILL @ STUCCO FINISH
Scale: 3" = 1'-0"



1 DETAIL
Scale:

5 DETAIL
Scale: 1 1/2" = 1'-0"

9 SILL AT STOREFRONT
Scale: 3" = 1'-0"

13 TYP. WINDOW
SILL @ CEMENT. SIDING
Scale: 3" = 1'-0"

17 TYP. WINDOW
SILL @ STUCCO FINISH
Scale: 3" = 1'-0"

OWNER:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5553 PH.
510.763.4143 FAX

LION CREEK
CROSSINGS
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

WINDOW
DETAILS

NO.	DESCRIPTION	DATE
1	NOMA SUBMITTAL	08.25.07
2	SCHEMATIC DESIGN	07.02.07
3	PLANNING SUBMITTAL	09.01.06
4	REV. PLANNING SUBMITTAL	08.01.06
5	DESIGN DEVELOPMENT	04.07.06

DATE: 08.07.07
JOB NO.: 05.118
DRAWN: JH
SHEET NO.: **A9.01**



Thomas Dolan
Architects
Urban Design
Planning and
Development
Construction
4151818 7300
Tel. (510) 875-7200
12400 Old Bayview
www.tdarch.com

Embarcadero West
174 Filbert Street
Oakland, California
94607 U.S.A.

OWNERS:

EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5555 PH.
510.763.4143 FAX

LION CREEK
CROSSINGS

COLISEUM GARDENS
PHASE IV
OAKLAND, CA

WINDOW
SCHEDULE

REV#	DESCRIPTION	DATE
1	ISSUE FOR SUBMITTAL	08.23.09
2	SCHEMATIC DESIGN	07.05.09
3	PLANNING SUBMITTAL	07.06.09
4	KEY PLANNING SUBMITTAL	08.01.09
5	ISSUE FOR DEVELOPMENT	08.27.09

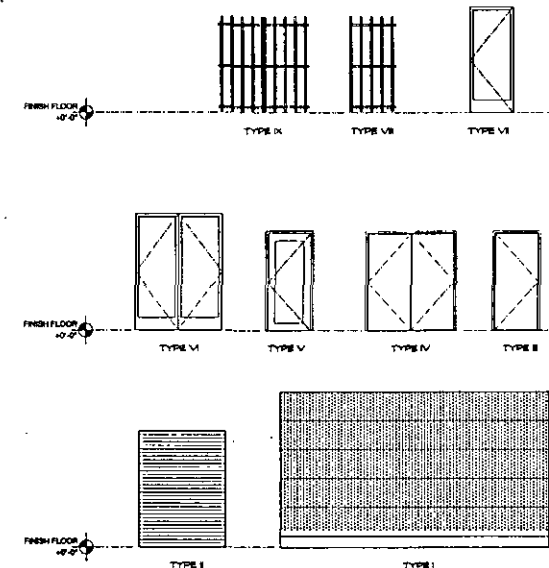
DATE: 01.07.10
JOB NO: 00.120
DRAWN:

SHEET NO. **A9.03**



1 WINDOW SCHEDULE
Scale: 1/4" = 1'-0"

MARK	SIZE	TYPE MATERIAL		FINISH	LOCATION	GLASSING	HARDWARE	FIRE	DETAILS	NOTES	
		DOOR	FRAME								
						TYPE	GROUP	RATING	HEAD	JAMB	SL.
FIRST FLOOR COMMON AREA DOORS											
EXTERIOR											
101	6'-0" X 7'-6"	V			LOBBY STOREFRONT						
102	5'-0" X 7'-6"	V			OFFICE STOREFRONT						
103	6'-0" X 6'-0"	V			OFFICE STOREFRONT						
104	6'-0" X 6'-0"	V			OFFICE STOREFRONT						
105	5'-0" X 6'-0"	V			ENT STAIR						
106	5'-0" X 6'-0"	V			LOWER COURT TO GARAGE						
107	5'-0" X 6'-0"	V			COMMUNITY BUILDING						
108	5'-0" X 6'-0"	V			COMMUNITY BUILDING						
109	5'-0" X 6'-0"	V			LOWER COURT TO GARAGE						
110	5'-0" X 6'-0"	V			ENT STAIR						
111	5'-0" X 6'-0"	V			ELECTRICAL CLOSET						
112	5'-0" X 6'-0"	V			ELECTRICAL METER CLOSET						
113	5'-0" X 6'-0"	V			ELECTRICAL METER CLOSET						
114	5'-0" X 6'-0"	V			ELECTRICAL METER CLOSET						
115	5'-0" X 6'-0"	V			ELECTRICAL METER CLOSET						
116	5'-0" X 6'-0"	V			ELECTRICAL CLOSET						
INTERIOR											
117	5'-0" X 6'-0"	V			ELEVATOR SHOCK DOOR						
118	5'-0" X 6'-0"	V			MECHANICAL ROOM 1B						
119	5'-0" X 6'-0"	V			LOBBY TO GARAGE						
120	5'-0" X 6'-0"	V			TRASH TO GARAGE						
121	5'-0" X 6'-0"	V			AREA OF REFUSE TO GARAGE						
122	5'-0" X 6'-0"	V			ELECTRICAL ROOM 1B						
123	5'-0" X 6'-0"	V			MECHANICAL ROOM 1A						
124	5'-0" X 6'-0"	V			ELECTRICAL ROOM 1A						
125	5'-0" X 6'-0"	V			GARAGE TO ENT STAIR						
126	5'-0" X 6'-0"	V			COMMUNITY BUILDING CLOSET						
127	5'-0" X 6'-0"	V			COMMUNITY BUILDING BATHROOM						
128	5'-0" X 6'-0"	V			COMMUNITY BUILDING CLOSET						
129	5'-0" X 6'-0"	V			COMMUNITY BUILDING CLOSET						
SECOND FLOOR COMMON AREA DOORS											
EXTERIOR											
201	6'-0" X 7'-0"	V			ROOM TO CORRIDOR						
202	5'-0" X 6'-0"	V			COMMUNITY BUILDING TO ROOM						
203	5'-0" X 6'-0"	V			COMMUNITY BUILDING DECK						
INTERIOR											
204	5'-0" X 6'-0"	V			STAIR 1						
205	5'-0" X 6'-0"	V			ELECTRICAL ROOM 2A						
206	5'-0" X 6'-0"	V			ELEVATOR SHOCK DOOR						
207	5'-0" X 6'-0"	V			CORRIDOR TO LAUNDRY						
208	5'-0" X 6'-0"	V			LAUNDRY TO DECK						
209	5'-0" X 6'-0"	V			LAUNDRY CLOSET						
210	5'-0" X 6'-0"	V			TRASH						
211	5'-0" X 6'-0"	V			ELECTRICAL ROOM 2B						
212	5'-0" X 6'-0"	V			ELECTRICAL ROOM 2B						
213	5'-0" X 6'-0"	V			STAIR 2						
214	5'-0" X 6'-0"	V			COMMUNITY BRACE CLOSET						
215	5'-0" X 6'-0"	V			COMMUNITY BRACE CLOSET						
216	5'-0" X 6'-0"	V			COMMUNITY BRACE CLOSET						
217	5'-0" X 6'-0"	V			COMMUNITY BRACE BATHROOM						
218	5'-0" X 6'-0"	V			COMMUNITY BRACE CLOSET						
THIRD FLOOR COMMON AREA DOORS											
EXTERIOR											
301	5'-0" X 6'-0"	V			STAIR 1						
302	5'-0" X 6'-0"	V			ELECTRICAL ROOM 3A						
303	5'-0" X 6'-0"	V			ELEVATOR SHOCK DOOR						
304	5'-0" X 6'-0"	V			TRASH						
305	5'-0" X 6'-0"	V			ELECTRICAL ROOM 3B						
306	5'-0" X 6'-0"	V			ELECTRICAL ROOM 3B						
307	5'-0" X 6'-0"	V			STAIR 2						
FOURTH FLOOR COMMON AREA DOORS											
EXTERIOR											
401	5'-0" X 6'-0"	V			STAIR 1						
402	5'-0" X 6'-0"	V			ELECTRICAL ROOM 4A						
403	5'-0" X 6'-0"	V			ELEVATOR SHOCK DOOR						
404	5'-0" X 6'-0"	V			TRASH						
405	5'-0" X 6'-0"	V			ELECTRICAL ROOM 4B						
406	5'-0" X 6'-0"	V			ELECTRICAL ROOM 4B						
407	5'-0" X 6'-0"	V			STAIR 2						
EXTERIOR DOORS AT UNITS											
U01	5'-0" X 6'-0"	V			DOORS INTO UNITS	NONE					
U02	5'-0" X 6'-0"	V			CORRIDORS INTO UNITS	NONE		20 MIN.			
U03	5'-0" X 6'-0"	V			DOORS ONTO BALCONIES/DECKS	NONE					
INTERIOR DOORS AT UNITS											
U11	5'-0" X 6'-0"	V			FIRST FLOOR BATHROOM DOORS	NONE					
U12	5'-0" X 6'-0"	V			SECOND FLOOR BEDROOM AND BATHROOM DOORS	NONE					
BATHS											
B01	5'-0" X 10'-0"	V			GARAGE DOOR						
B02	5'-0" X 5'-0"	V			ROLL-UP TRASH DOOR						
B03	5'-0" X 6'-0"	V			STREET TO LOWER COURT						
B04	5'-0" X 6'-0"	V			LOWER COURT						
B05	5'-0" X 6'-0"	V			CLOSET UNDER EXTERIOR STAIRS						
B06	5'-0" X 6'-0"	V			STREET TO LOWER COURT						
B07	5'-0" X 9'-0"	V			STREET TO LOWER COURT						



2 DOOR SCHEDULE
Scale: 1/4" = 1'-0"

1 DOOR TYPES
Scale: 1/4" = 1'-0"

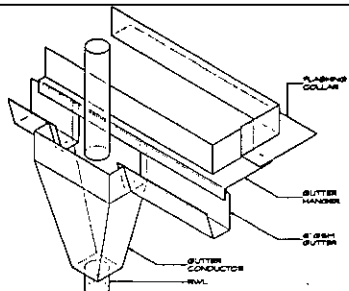
TDA Thomas Dahn Architects
 Address: Union Chapel Planning and Development Consultant
 Tel: (510) 895 7200
 Fax: (510) 839 7800
 Email: tda@tda.net.au
 Website: www.tda.net.au
 171 Wilson Street, Oakland, CA 94607, USA

OWNERS
EAST BAY ASIAN LOCAL DEVELOPMENT CORPORATION WITH RELATED CALIFORNIA
 310 9th STREET SUITE 300 OAKLAND, CA 94607
 510.287.5353 PH. 510.769.4143 FAX

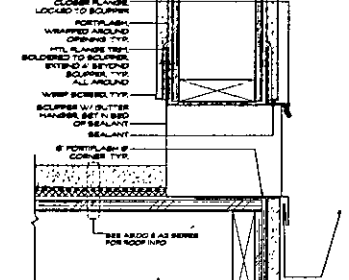
LION CREEK CROSSINGS
 COLISEUM GARDENS PHASE IV OAKLAND, CA
DOOR SCHEDULE

NO.	DESCRIPTION	DATE
1	NOVA SUBMITTAL	11/07/09
2	SCHEMATIC DESIGN	07/02/09
3	PLANNING SUBMITTAL	06/04/09
4	KEY PLANNING SUBMITTAL	04/27/09
5	DESIGN DEVELOPMENT	04/07/09

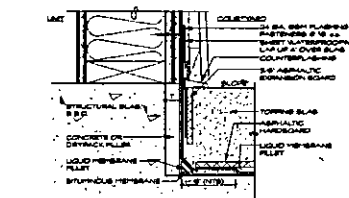
DATE: 11/07/09
 JOB NO.: 07120
 DRAWN:
 SHEET NO.: **A9.04**



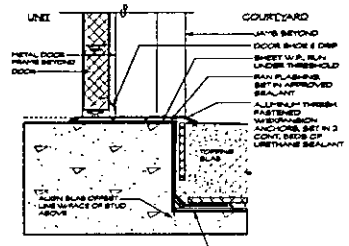
4 GUTTER CONDUCTOR DETAIL
N.T.S.



3 SCUPPER DETAIL
Scale:



2 STANDARD PODIUM TO WALL CONDITION
Scale: 3/4\"/>



1 TYP. DOOR SILL AT PODIUM
Scale: 3/4\"/>

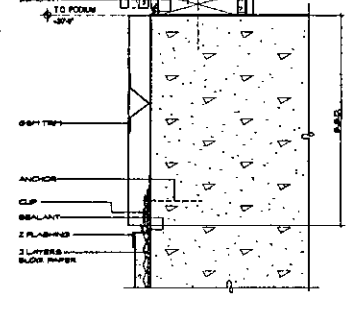
8 DETAIL
Scale:

7 DETAIL
Scale:

6 DOOR JAMB AT SIDELIGHT
Scale: 3/4\"/>

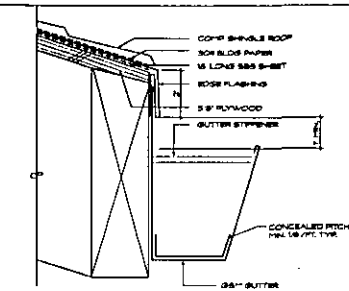
5 STOREFRONT DOOR SILL AT SIDEWALK
Scale: 3/4\"/>

12 DETAIL
Scale: 3/4\"/>



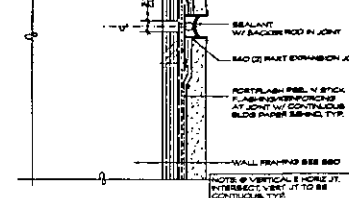
10 GSM TRIM AT PODIUM TRANSITION
Scale: 3/4\"/>

9 TYP. TILE W.O. @ SIDEWALK
Scale: 3/4\"/>



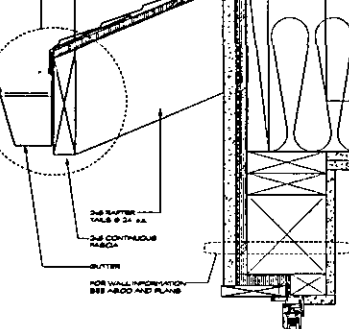
16 GUTTER DETAIL
Scale: 6/8\"/>

15 SIDING/SIDING OUTSIDE CORNER
Scale: 6/8\"/>



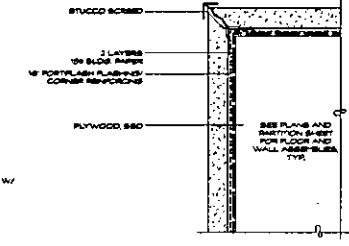
14 STUCCO EXPANSION JOINT
Scale: 6/8\"/>

13 STUCCO CONTROL JOINT
Scale: 6/8\"/>



19 TYPICAL EAVE DETAIL
Scale: 3/4\"/>

18 TYP. STUCCO INSIDE CORNER
Scale: 6/8\"/>



17 TYP. STUCCO OUTSIDE CORNER
Scale: 6/8\"/>

TDA Thomas Dolan Architects
Architecture
Urban Design
Planning and
Development
Consultants
401 (510) 437-7226
Fax: (510) 437-7206
4010 8th Street
Oakland, California
94607 U.S.A.

OWNERS:
EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION
WITH
RELATED CALIFORNIA
310 8th STREET
SUITE 200
OAKLAND, CA
94607
510.287.3353 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**
COLISEUM GARDENS
PHASE IV
OAKLAND, CA

EXTERIOR
DETAILS

DATE	DESCRIPTION	DRAWN
10.25.07	ARCH. ELEMENTAL	10.25.07
07.08.08	SCHEMATIC DESIGN	07.08.08
09.04.08	PLANNING ELEMENTAL	09.04.08
10.18.08	REV. PLANNING ELEMENTAL	10.18.08
01.07.09	DESIGN DEVELOPMENT	01.07.09

DATE: 01.07.09
JOB NO.: 07.128
DRAWN: JH
SHEET NO.: A9.06



**Thomas Dolan
Architecture**
Architects
Urban Design
Planning and
Development
Construction

tel: (510) 839-7200
fax: (510) 839-7508
t.dolan@tad-a.com
www.tad-a.com

Embarkation Way
175 Filbert Street
Oakland, California
94612 U.S.A.

OWNERS:
**EAST BAY ASIAN LOCAL
DEVELOPMENT
CORPORATION**
WITH
RELATED CALIFORNIA

310 8th STREET
SUITE 200
OAKLAND, CA
94607

510.287.5553 PH.
510.763.4143 FAX

**LION CREEK
CROSSINGS**

COLISEUM GARDENS
PHASE IV
OAKLAND, CA

**FINISH
SCHEDULE**

ROOM	FLOORING		BASE	WALL		BASE	CEILING	
	MATERIAL	FINISH		MATERIAL	FINISH		MATERIAL	FINISH
ALL DWELLING UNITS INTERIOR FINISHES								
ENTRY (from exterior)			WOOD	GWB	S-P			
ENTRY (from exterior)	SV		WOOD					
LIVING	CPT		WOOD	GWB	S-P			
DINING	CPT		WOOD	GWB	S-P			
KITCHEN	SV		WOOD	GWB	S-G-P			
WALL/STAIRS	CPT		WOOD	GWB	S-P			
BEDROOMS	CPT		WOOD	GWB	S-P			
BATHROOMS	SV		RUBBER	GWB	S-G-P			
UTILITY ROOMS (1st floor)	CONC.	SEALED	RUBBER	GWB	S-G-P		CONC.	
UTILITY ROOMS (2nd floor)	CONC.	SEALED	RUBBER	GWB	S-G-P			
UTILITY ROOMS (3rd/4th floors)	SV		RUBBER	GWB				
LOBBY (1st floor)	CONC.	STAINED	WOOD	GWB			GWB	
LOBBY (2nd floor)	CONC.	STAINED	WOOD	GWB				
LOBBY (3rd/4th floors)	CT		WOOD	GWB				
LAUNDRY (1st floor)	CONC.	STAINED	RUBBER	GWB				
LAUNDRY (2nd floor)	CONC.	SEALED	RUBBER	GWB				
COMMON ROOM (1st floor)	CONC.	STAINED	WOOD	GWB				
COMMON ROOM (2nd floor)	CT		WOOD	GWB				
TOILET (1st floor)	CONC.	STAINED	RUBBER	GWB		FRP		
TOILET (2nd floor)	SV		RUBBER	GWB		FRP		
TRASH ROOM (1st floor)	CONC.	SEALED	RUBBER	GWB			CONC.	
TRASH ROOM (2nd floor)	CONC.	SEALED	RUBBER	GWB		FRP		
TRASH ROOM (3rd/4th floors)	SV		RUBBER	GWB		FRP		
CORRIDOR (1st floor)	CT		WOOD	GWB				
CORRIDOR (2nd/3rd floors)	CT		WOOD	GWB				
ISLAND #2	RUBBER		RUBBER	GWB				
ISLAND #3	CONC.		CONC.	S-G-P			CONC.	
RETAIL	CONC.	STAINED	WOOD	GWB			GWB/GLOSS T/C TILE	

ABBREVIATIONS:
 CT CARPET TILES
 CPT CARPET (ROLL)
 VCT VINYL-COMPOSITION TILE
 SV SHEET VINYL
 GWP GYPSUM WALL BOARD
 S-G-P SEMI-GLOSS PAINT
 CONC. CONCRETE
 FRP FIBER-REINFORCED PANELS
 S-P SATIN FINISH PAINT

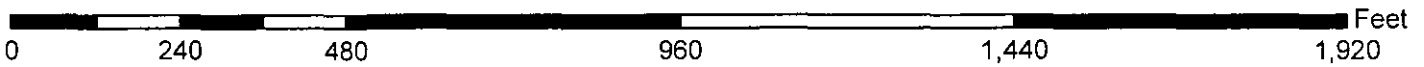
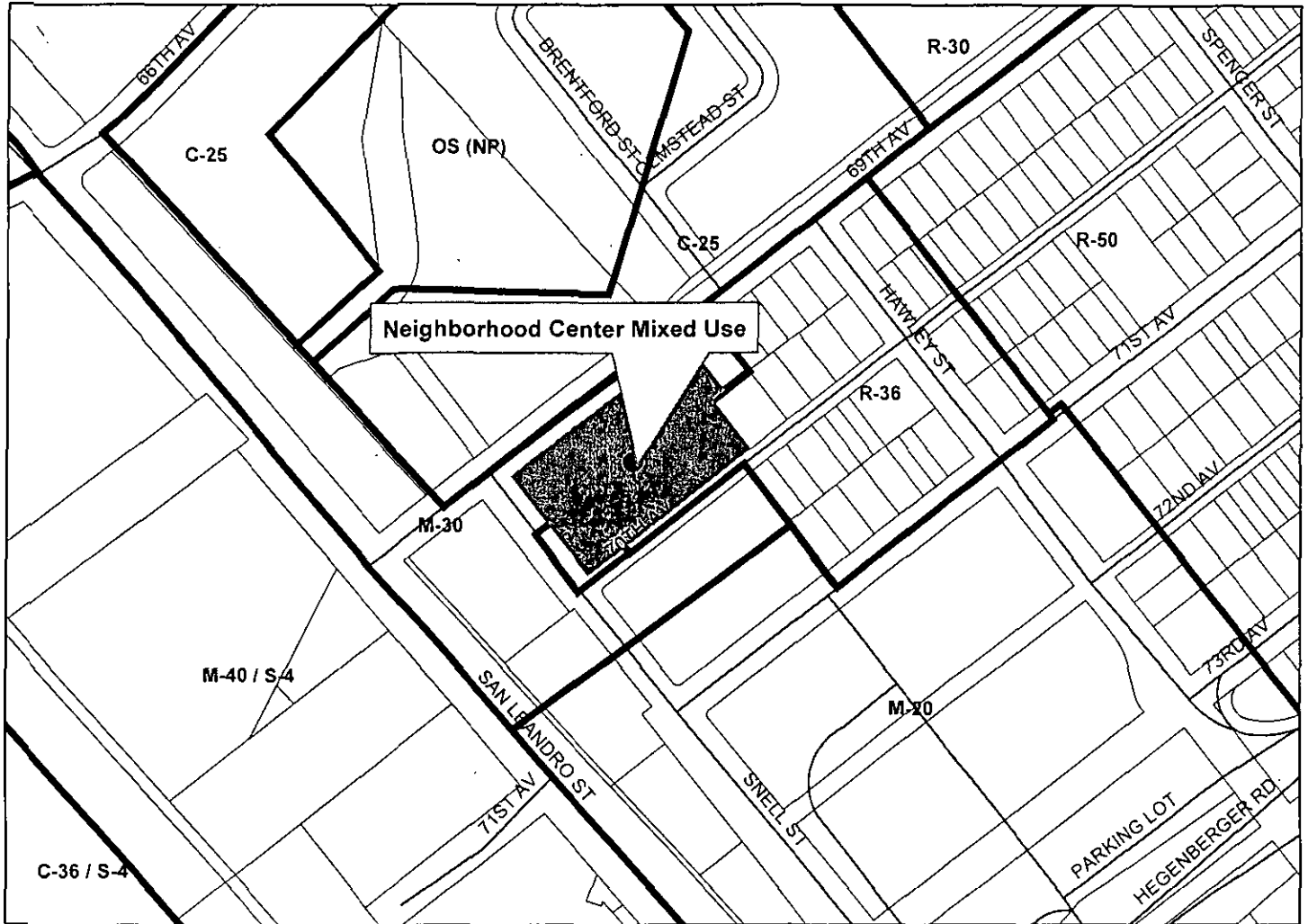
1 FINISH SCHEDULE
Scale: 1/4" = 1'-0"

DATE	DESCRIPTION	DATE
	NOVA SUBMITTAL	10.23.07
	SCHEMATIC DESIGN	07.02.07
	PLANNING SUBMITTAL	09.24.06
	REV. PLANNING SUBMITTAL	10.21.06

DATE: 10.23.07
 JOB NO. 07.120
 DRAWN:

REVISION NO. **A9.08**

Exhibit A
Amendment to General Plan
Lion Creek Crossings Phase IV
Snell Street Between 69th & 70th Ave.



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: C-25

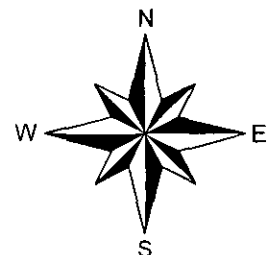
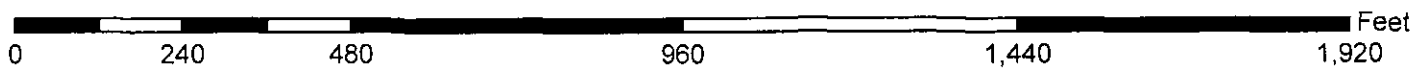
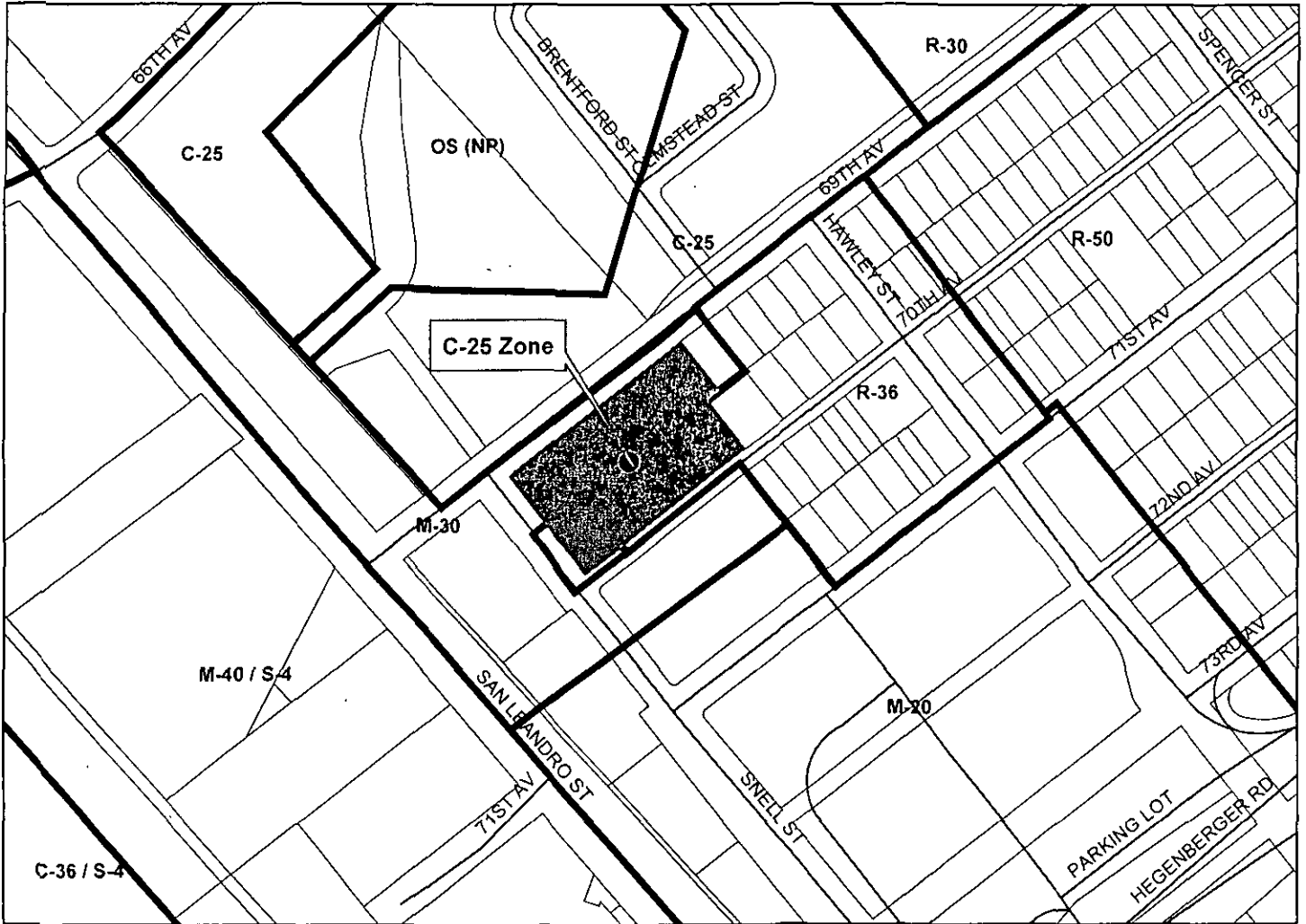
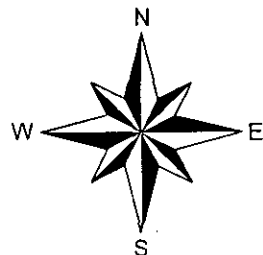


Exhibit A
Amendment to Zoning Map
Lion Creek Crossings Phase IV
Snell Street Between 69th & 70th Ave.



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: C-25



THE MATERIAL SUBMITTED AS

ATTACHMENT D

The February 4, 2009

Planning Commission Report

**IS TOO VOLUMINOUS TO BE
INCLUDED IN THE ON-LINE AGENDA
PACKET. A COPY OF THIS
DOCUMENT IS AVAILABLE FOR
VIEWING IN THE OFFICE OF THE
CITY CLERK AT
1 FRANK H. OGAWA PLAZA,
RM 101, OAKLAND, CA 94612**

FILED
OFFICE OF THE CITY CLERK
OAKLAND
2009 FEB 11 PM 4:18

APPROVED AS TO FORM AND LEGALITY
Hlee
DEPUTY CITY ATTORNEY

OAKLAND CITY COUNCIL

RESOLUTION NO. _____ C.M.S.

RESOLUTION AMENDING THE GENERAL PLAN LAND USE DESIGNATION FOR LION CREEK CROSSING PHASE IV FROM "MIXED HOUSING TYPE RESIDENTIAL" AND "URBAN RESIDENTIAL" TO "NEIGHBORHOOD CENTER MIXED USE"

WHEREAS, the approximately 1.1-acre site of the Lion Creek Crossing Phase IV Residential Project ("Project"), located on 69th and 70th Avenues between Snell Street and the continuation of Lion Way, is currently designated "Mixed Housing Type Residential" and "Urban Residential" on the General Plan Land Use Diagram in the Land Use and Transportation Element of the Oakland General Plan; and

WHEREAS, the intent of the "Mixed Housing Type Residential" designation is to create, maintain, and enhance residential areas typically located near the City's major arterials and characterized by a mix of single family homes, townhouses, small multi-unit buildings, and neighborhood businesses where appropriate; and

WHEREAS, the intent of the "Urban Residential" designation is to create, maintain, and enhance areas of the City that are appropriate for multi-unit, mid-rise or high-rise residential structures in locations with good access to transportation and other services; and

WHEREAS, high-density residential uses are not consistent with the intent of the "Mixed Housing Type Residential" designation; and

WHEREAS, social service uses are not consistent with the intent of the "Urban Residential" designation; and

WHEREAS, the Oakland Housing Authority and their developers ("Applicant") filed an application for a general plan amendment, redevelopment plan amendment, rezoning, tentative parcel map, design review, conditional use permit, and variances ("Applications") to construct a 72-unit residential development at the Project site on September 4, 2008; and

WHEREAS, the application for the general plan amendment petitioned the City to amend the General Plan Land Use Designation for the Project site from “ Mixed Housing Type Residential” and “Urban Residential” to “Neighborhood Center Mixed Use”; and

WHEREAS, the intent of the “Neighborhood Center Mixed Use” designation is to identify, create, maintain and enhance mixed use neighborhood commercial centers; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on the the Project Applications on February 4, 2009; and

WHEREAS, at the February 4, 2009, public hearing, the Planning Commission adopted, and made appropriate findings for accepting the addended Mitigated Negative Declaration, approved the Applications for design review, conditional use permit, and variances (collectively called “Development Permits”), recommended approval of the general plan amendment to the City Council, recommended approval of the redevelopment plan amendment to the City Council and Redevelopment Agency, and recommended approval of the rezoning to the City Council; and

WHEREAS, the Planning Commission found, in part, that the Project is consistent with the “Neighborhood Center Mixed Use” designation and that the proposed general plan amendment will not cause the General Plan to become internally inconsistent; and

WHEREAS, the Planning Commission also found, in part, that the proposed general plan amendment is consistent with the overall goals, objectives, and policies of the General Plan in that the Project is a well-designed development on an underutilized and blighted infill site located in an urbanized area of the City near public transportation that will provide needed affordable housing and economic revitalization, and that the proposed general plan amendment is necessary to implement the Project; and

WHEREAS, the Community and Economic Development Committee of the City Council conducted a duly noticed meeting on the Project Applications on February 24, 2009, and recommended Project approval; and

WHEREAS, the City Council and Redevelopment Agency of the City of Oakland conducted a duly noticed joint public hearing on the Project Applications on March 3, 2009; and

WHEREAS, all interested parties were given the opportunity to participate in the public hearing by submittal of oral and written comments; and

WHEREAS, the public hearing was closed by the City Council and Redevelopment Agency on March 3, 2009; and

WHEREAS, the City Council independently reviewed and considered the findings made by the Planning Commission for approval of the Design Review, Conditional Use Permit, Variances, General Plan Amendment, Redevelopment Plan Amendment and Rezone, incorporated into the record by reference and included as Attachment D to the staff report, and hereby affirms said findings; and

WHEREAS, The City Council, acting as the Lead Agency, has independently reviewed, analyzed, and considered the Coliseum Gardens HOPE VI Revitalization MND/FONSI, and Addenda prior to acting on the approvals. Based upon such independent review, analysis, and consideration, and exercising its independent judgment, the City Council hereby finds the criteria of CEQA Guidelines Section 15162 requiring additional environmental review have not been met. Specifically, and without limitation, the City Council finds and determines that the project would not result in any new or more severe significant impacts, there is no new information of substantial importance that would result in any new or more severe significant impacts, there are no substantial changes in circumstances that would result in any new or more severe significant impacts, and there is no feasible mitigation measure or alternative that is considerably different from others previously analyzed that has not been adopted, based upon the accompanying City Council Agenda Report, and elsewhere in the record for this project; now, therefore, be it

RESOLVED: That the City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Applications and the Planning Commission's decision on the Project, hereby amends the General Plan land use designation of the Project site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use" as shown on the map attached to this Resolution as **Exhibit A**; and be it

FURTHER RESOLVED: That this decision is based, in part, on the February 24, 2009, Community and Economic Development Committee Agenda Report (which was forwarded to the City Council for its March 3, 2009, public hearing), the February 4, 2009, Planning Commission Report, and the Initial Study/Negative Declaration which are hereby incorporated by reference as if fully set forth herein; and be it

FURTHER RESOLVED: That in support of the City Council's decision to amend the General Plan, the City Council affirms and adopts as its findings and determinations (a) the February 24, 2009, Community and Economic Development Committee Agenda Report, and (b) the February 4, 2009, Planning Commission Report, including, without limitation, the discussion, findings, conclusions, and conditions of approval (each of which is hereby separately and independently adopted by this Council in full); and be it

FURTHER RESOLVED: That the City Council finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Determination with the appropriate agencies; and be it

FURTHER RESOLVED: That the record before this Council relating to the Project Applications includes, without limitation, the following:

1. the Project Applications, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;

3. all staff reports, decision letters and other documentation and information produced by or on behalf of the City, including without limitation the Initial Study/Negative Declaration and supporting technical studies, all related and/or supporting materials, and all notices relating to the Project Applications and attendant hearings;

4. all oral and written evidence received by the City staff, the Planning Commission, and the City Council before and during the public hearings on the Project Applications;

5. all matters of common knowledge and all official enactments and acts of the City, such as (a) the General Plan; (b) Oakland Municipal Code, including, without limitation, the Oakland real estate regulations and Oakland Fire Code; (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations; and be it

FURTHER RESOLVED: That the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, Suite 3315, Oakland, California; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, California; and be it

FURTHER RESOLVED: That the recitals contained in this resolution are true and correct and are an integral part of the City Council's decision.

IN COUNCIL, OAKLAND, CALIFORNIA, _____, 2009

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, DE LA FUENTE, KAPLAN, KERNIGHAN, NADEL, QUAN,
REID, AND PRESIDENT BRUNNER

NOES-

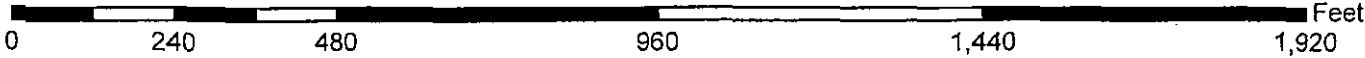
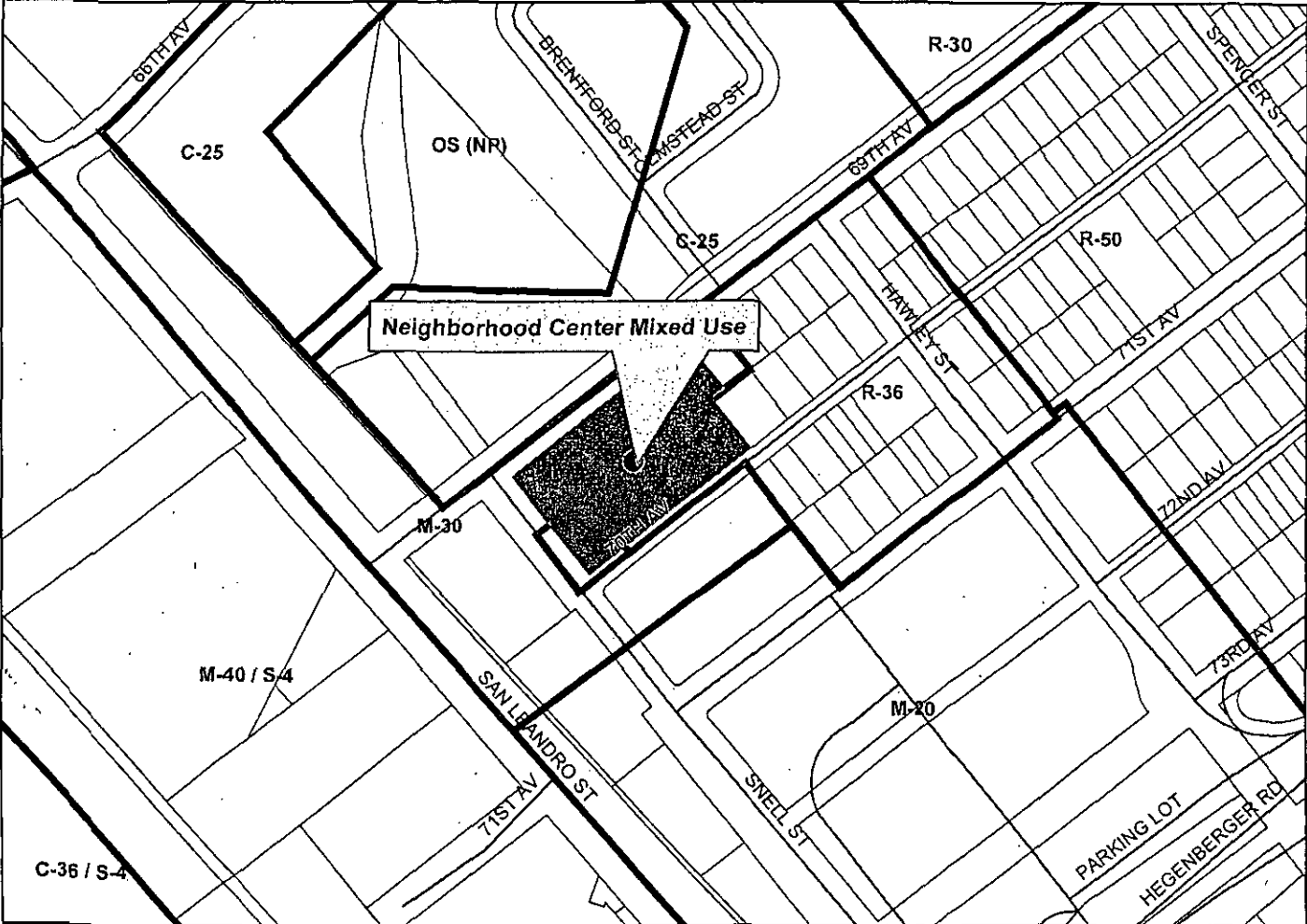
ABSENT-

ABSTENTION-

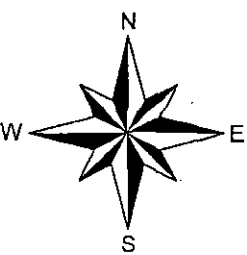
ATTEST: _____

LATONDA SIMMONS
City Clerk and Clerk of the Council
of the City of Oakland, California

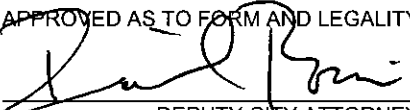
Exhibit A
Amendment to General Plan
Lion Creek Crossings Phase IV
Snell Street Between 69th & 70th Ave.



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: C-25



FILED
OFFICE OF THE CITY CLERK
OAKLAND
2009 FEB 11 PM 4:19

APPROVED AS TO FORM AND LEGALITY

DEPUTY CITY ATTORNEY

OAKLAND CITY COUNCIL

ORDINANCE NO. _____ C.M.S.

ORDINANCE ADOPTING THE SEVENTH AMENDMENT TO THE COLISEUM AREA REDEVELOPMENT PLAN AMENDING THE LAND USE DESIGNATION FOR THE LION CREEK CROSSING PHASE IV PROJECT FROM “MIXED HOUSING TYPE RESIDENTIAL” AND “URBAN RESIDENTIAL” TO “NEIGHBORHOOD CENTER MIXED USE”

WHEREAS, the City Council of the City of Oakland (“City Council”) adopted a Redevelopment Plan for the Coliseum Redevelopment Project Area (“Redevelopment Plan”) on July 25, 1995, as a redevelopment plan for the Coliseum Redevelopment Project Area (“Project Area”) pursuant to the California Community Redevelopment Law (Health and Safety Code Sections 33000, et seq.); and

WHEREAS, the Redevelopment Plan has been amended six times; and

WHEREAS, the Redevelopment Plan includes a land use map (“Redevelopment Land Use Map”) attached to the Redevelopment Plan as Attachment No. 3, which sets forth land use designations for the Project Area; and

WHEREAS, the approximately 1.1-acre site of the Lion Creek Crossing Phase V Residential Project (“Project”), located at on Snell Street between 69th and 70th Avenues (“Project Site”), is currently designated “Mixed Housing Type Residential” on the Redevelopment Land Use Map; and

WHEREAS, dense residential uses are not consistent with the “Mixed Housing Type Residential” designation; and

WHEREAS, the Oakland Housing Authority and their developers (“Applicant”) filed an application for a general plan amendment, redevelopment plan amendment, rezoning, design review, conditional use permit, and variances (“Applications”) to construct a 72-unit residential development at the Project Site on September 4, 2008; and

WHEREAS, the application for the redevelopment plan amendment (“Amendment”) petitioned the City to amend the Redevelopment Plan land use designation for the Project Site from “Mixed Housing Type Residential” to “Neighborhood Center Mixed Use”; and

WHEREAS, the intent of the “Urban Residential” designation is to create, maintain, and enhance areas of the City that are appropriate for multi-unit, mid-rise or high-rise residential structures in locations with good access to transportation and other services; and

WHEREAS, high-density residential uses are not consistent with the intent of the “Mixed Housing Type Residential” designation; and

WHEREAS, social service uses are not consistent with the intent of the “Urban Residential” designation; and

WHEREAS, the land use designation for the Project Site in the Oakland General Plan has been or will be revised, and the Redevelopment Agency desires that the Redevelopment Land Use Map in the Redevelopment Plan be consistent with the Land Use Diagram of the Oakland General Plan; and

WHEREAS, the Redevelopment Agency of the City of Oakland (“Redevelopment Agency”) has submitted to the City Council this proposed Amendment to the Redevelopment Plan; and

WHEREAS, Health and Safety Code Section 33450, et seq., authorizes a legislative body to amend a redevelopment plan after holding a public hearing; and

WHEREAS, this proposed Amendment does not propose any additional property for inclusion in the Project Area, nor does it increase or reduce the Project Area or affect the Redevelopment Agency’s authority to claim tax increment revenues; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on the Project Applications on February 4, 2009; and

WHEREAS, at the February 4, 2009, public hearing, the Planning Commission adopted, and made appropriate findings for accepting the addended Mitigated Negative Declaration/Finding of No Significant Impact (MND/FONSI), approved the Applications for design review, conditional use permit, and variances (collectively called “Development Permits”), recommended approval of the general plan amendment to the City Council, recommended approval of the redevelopment plan amendment to the City Council and Redevelopment Agency, and recommended approval of the rezoning to the City Council; and

WHEREAS, the Planning Commission found, in part, that the Project is consistent with the “Neighborhood Center Mixed Use” designation and that the proposed general plan amendment will not cause the General Plan to become internally inconsistent; and

WHEREAS, the Planning Commission also found, in part, that the proposed general plan amendment is consistent with the overall goals, objectives, and policies of the General Plan in that the Project is a well-designed development on a an underutilized and blighted infill site located in an urbanized area of the City near public transportation that will provide needed affordable housing and economic revitalization, and that the proposed general plan amendment is necessary to implement the Project; and

WHEREAS, the Community and Economic Development Committee of the City Council conducted a duly noticed meeting on the Project Applications on February 24, 2009, and recommended Project approval; and

WHEREAS, the City Council and Redevelopment Agency of the City of Oakland conducted a duly noticed joint public hearing on the Project Applications on March 3, 2009; and

WHEREAS, all interested parties were given the opportunity to participate in the public hearing by submittal of oral and written comments; and

WHEREAS, the public hearing was closed by the City Council and Redevelopment Agency on March 3, 2009; and

WHEREAS, the City Council, acting as the Lead Agency, has independently reviewed, analyzed, and considered the Coliseum Gardens HOPE VI Revitalization MND/FONSI and Addenda prior to acting on the approvals, and based upon such independent review, analysis, and consideration, and exercising its independent judgment, the City Council hereby finds the criteria of CEQA Guidelines Section 15162 requiring additional environmental review have not been met, and specifically, and without limitation, the City Council finds and determines that the Project would not result in any new or more severe significant impacts, there is no new information of substantial importance that would result in any new or more severe significant impacts, there are no substantial changes in circumstances that would result in any new or more severe significant impacts, and there is no feasible mitigation measure or alternative that is considerably different from others previously analyzed that has not been adopted, based upon the accompanying City Council Agenda Report, and elsewhere in the record for this Project;

NOW, THEREFORE, the Council of the City of Oakland does ordain as follows:

SECTION 1. The City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Applications and the Planning Commission's decision on the Project, hereby adopts the Seventh Amendment to the Redevelopment Plan for the Coliseum Redevelopment Project Area amending the land use designation of the Project Site from "Mixed Housing Type Residential" and "Urban Residential" to "Neighborhood Center Mixed Use" as shown on the map attached to this Ordinance as **Exhibit A**. This decision is based, in part, on the February 24, 2009, Community and Economic Development Committee Agenda Report (which was forwarded to the City Council and Redevelopment Agency for its March 3, 2009 public hearing), the February 4, 2009, Planning Commission Report, and the Mitigated Negative Declaration which are hereby incorporated by reference as if fully set forth herein.

SECTION 2. In support of the City Council's decision to amend the Redevelopment Plan for the Coliseum Redevelopment Project Area, the City Council affirms and adopts as its findings and determinations (a) the February 24, 2009, Community and Economic Development Committee Agenda Report, and (b) the February 4, 2009, Planning Commission Report, including, without limitation, the discussion, findings, conclusions, and conditions of approval (each of which is hereby separately and independently adopted by this Council in full).

SECTION 3. The City Council finds that it is necessary, desirable, and in the public interest to amend the Redevelopment Plan for the Coliseum Redevelopment Project Area for the reasons set forth herein and in the February 24, 2009, Community and Economic Development Committee Agenda Report and the February 4, 2009, Planning Commission Report.

SECTION 4. The City Council finds and determines that this Ordinance complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Determination with the appropriate agencies.

SECTION 5. The record before this Council relating to the Project Applications includes, without limitation, the following:

1. the Project Applications, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. all staff reports, decision letters and other documentation and information produced by or on behalf of the City, including without limitation the Mitigated Negative Declaration and supporting technical studies, all related and/or supporting materials, and all notices relating to the Project Applications and attendant hearings;
4. all oral and written evidence received by the City staff, the Planning Commission, and the City Council before and during the public hearings on the Project Applications; and
5. all matters of common knowledge and all official enactments and acts of the City, such as (a) the General Plan; (b) Oakland Municipal Code, including, without limitation, the Oakland real estate regulations and Oakland Fire Code; (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations.

SECTION 6. The custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, Suite 3315, Oakland, California; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, California.

SECTION 7. If any part of this Ordinance is held to be invalid for any reason, such decision shall not affect the validity of the remaining portion of this Ordinance, and this Council hereby declares that it would have passed the remainder of this Ordinance if such invalid portion thereof had been deleted.

SECTION 8. This Ordinance shall be in full force and effect immediately upon its passage as provided by Section 216 of the City Charter, if adopted by at least six members of Council, or upon the seventh day after final adoption if adopted by fewer votes.

SECTION 9. The recitals contained in this Ordinance are true and correct and are an integral part of the City Council's decision.

IN COUNCIL, OAKLAND, CALIFORNIA, _____, 2009

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, DE LA FUENTE, KAPLAN, KERNIGHAN, NADEL, QUAN, REID, AND PRESIDENT BRUNNER

NOES-

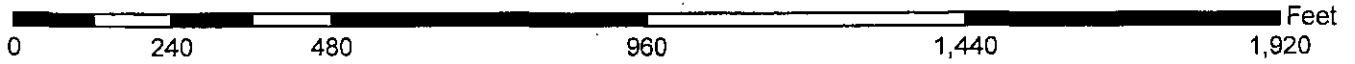
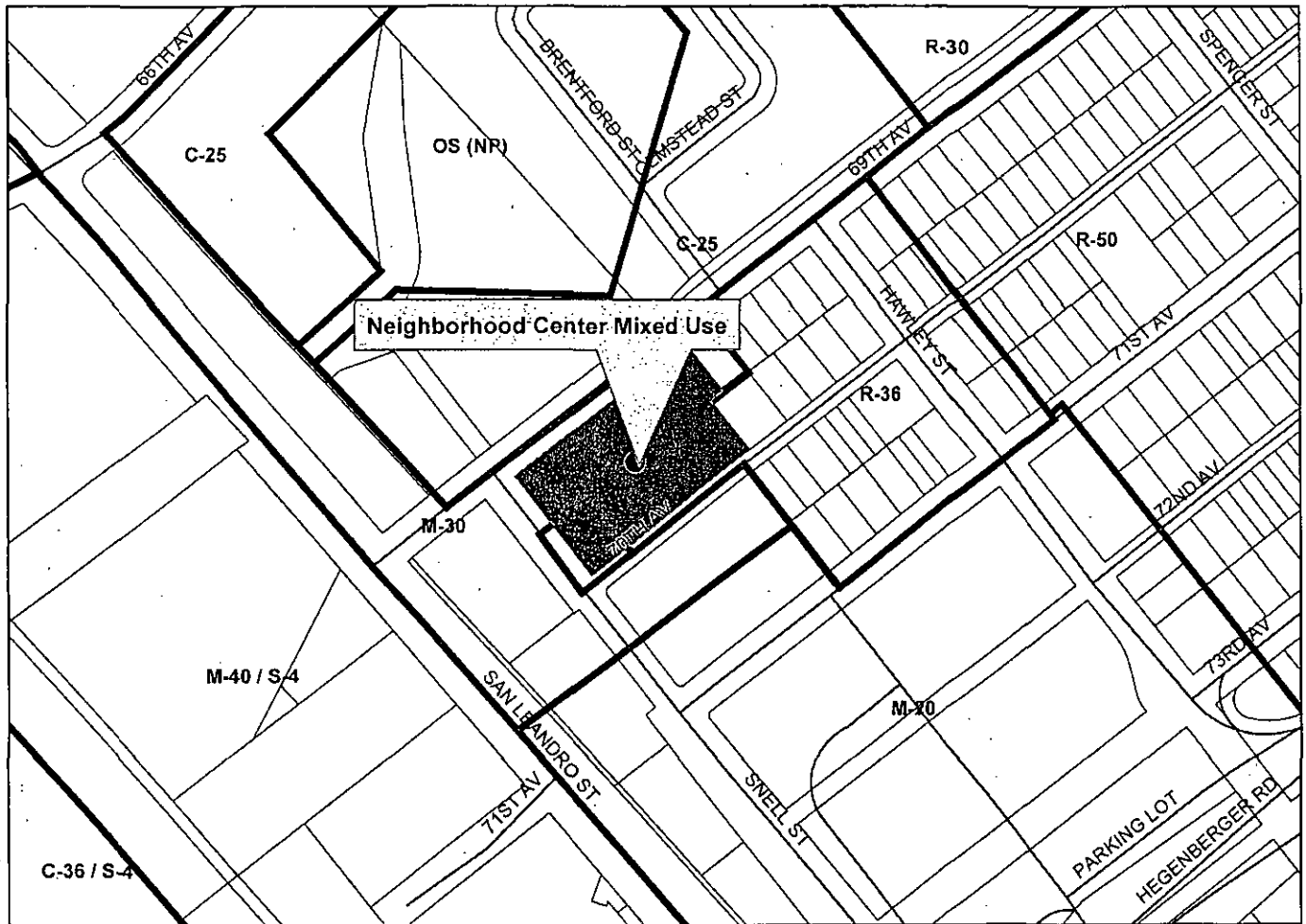
ABSENT-

ABSTENTION-

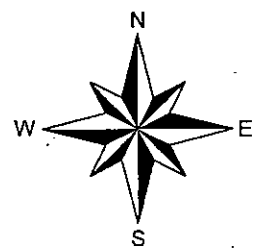
ATTEST: _____

LATONDA SIMMONS
City Clerk and Clerk of the Council
of the City of Oakland, California

Exhibit A
Amendment to Redevelopment Plan
Lion Creek Crossings Phase IV
Snell Street Between 69th & 70th Ave.



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: C-25



FILED
OFFICE OF THE CITY CLERK
OAKLAND

2009 FEB 11 PM 4:18

APPROVED AS TO FORM AND LEGALITY


AGENCY COUNSEL

REDEVELOPMENT AGENCY OF THE CITY OF OAKLAND

RESOLUTION NO. _____ C.M.S.

RESOLUTION APPROVING AND RECOMMENDING ADOPTION OF THE SEVENTH AMENDMENT TO THE COLISEUM AREA REDEVELOPMENT PLAN AMENDING THE LAND USE DESIGNATION FOR THE LION CREEK CROSSING PHASE IV PROJECT FROM "MIXED HOUSING TYPE RESIDENTIAL" AND "URBAN RESIDENTIAL" TO "NEIGHBORHOOD CENTER MIXED USE"

WHEREAS, the City Council of the City of Oakland ("City Council") adopted a Redevelopment Plan for the Coliseum Redevelopment Project Area ("Redevelopment Plan") on July 25, 1995, as a redevelopment plan for the Coliseum Redevelopment Project Area ("Project Area") pursuant to the California Community Redevelopment Law (Health and Safety Code Sections 33000, et seq.); and

WHEREAS, the Redevelopment Plan has been amended six times; and

WHEREAS, the Redevelopment Plan includes a land use map ("Redevelopment Land Use Map") attached to the Redevelopment Plan as Attachment No. 3, which sets forth land use designations for the Project Area; and

WHEREAS, the approximately 1.1-acre site of the Lion Creek Crossing Phase IV Residential Project ("Project"), located on Snell Street between 69th and 70th Avenues ("Project Site"), is currently designated "Mixed Housing Type Residential" on the Redevelopment Land Use Map; and

WHEREAS, dense residential uses are not consistent with the "Mixed Housing Type Residential" designation; and

WHEREAS, the Oakland Housing Authority and their developers ("Applicant") filed an application for a general plan amendment, redevelopment plan amendment, rezoning, design

review, conditional use permit, and variances (“Applications”) to construct a 72-unit residential development at the Project Site on September 4, 2008; and

WHEREAS, the application for the redevelopment plan amendment (“Amendment”) petitioned the City to amend the Redevelopment Plan land use designation for the Project Site from “Mixed Housing Type Residential” and “Urban Residential” to “Neighborhood Center Mixed Use”; and

WHEREAS, the intent of the “Urban Residential” designation is to create, maintain, and enhance areas of the City that are appropriate for multi-unit, mid-rise or high-rise residential structures in locations with good access to transportation and other services; and

WHEREAS, high-density residential uses are not consistent with the intent of the “Mixed Housing Type Residential” designation; and

WHEREAS, social service uses are not consistent with the intent of the “Urban Residential” designation; and

WHEREAS, the land use designation for the Project Site in the Oakland General Plan has been or will be revised, and the Redevelopment Agency desires that the Redevelopment Land Use Map in the Redevelopment Plan be consistent with the Land Use Diagram of the Oakland General Plan; and

WHEREAS, the Redevelopment Agency of the City of Oakland (“Redevelopment Agency”) has submitted to the City Council this proposed Amendment to the Redevelopment Plan; and

WHEREAS, Health and Safety Code Section 33450, et seq., authorizes a legislative body to amend a redevelopment plan after holding a public hearing; and

WHEREAS, this proposed Amendment does not propose any additional property for inclusion in the Project Area, nor does it increase or reduce the Project Area or affect the Redevelopment Agency’s authority to claim tax increment revenues; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on the Project Applications on February 4, 2009; and

WHEREAS, at the February 4, 2009, public hearing, the Planning Commission adopted, and made appropriate findings for accepting the addended Mitigated Negative Declaration/Finding of No Significant Impact (MND/FONSI), approved the Applications for design review, conditional use permit, and variances (collectively called “Development Permits”), recommended approval of the general plan amendment to the City Council, recommended approval of the redevelopment plan amendment to the City Council and Redevelopment Agency, and recommended approval of the rezoning to the City Council; and

WHEREAS, the Planning Commission found, in part, that the Project is consistent with the “Neighborhood Center Mixed Use” designation and that the proposed general plan amendment will not cause the General Plan to become internally inconsistent; and

WHEREAS, the Planning Commission also found, in part, that the proposed general plan amendment is consistent with the overall goals, objectives, and policies of the General Plan in that the Project is a well-designed development on a an underutilized and blighted infill site located in an urbanized area of the City near public transportation that will provide needed affordable housing and economic revitalization, and that the proposed general plan amendment is necessary to implement the Project; and

WHEREAS, the Community and Economic Development Committee of the City Council conducted a duly noticed meeting on the Project Applications on February 4, 2009, and recommended Project approval; and

WHEREAS, the City Council and Redevelopment Agency of the City of Oakland conducted a duly noticed joint public hearing on the Project Applications on March 3, 2009; and

WHEREAS, all interested parties were given the opportunity to participate in the public hearing by submittal of oral and written comments; and

WHEREAS, the public hearing was closed by the City Council and Redevelopment Agency on March 3, 2009; and

WHEREAS, the Agency has independently reviewed, analyzed, and considered the Coliseum Gardens HOPE VI Revitalization MND/FONSI and Addenda prior to acting on the approvals, and, based upon such independent review, analysis, and consideration, and exercising its independent judgment, the Agency hereby finds the criteria of CEQA Guidelines Section 15162 requiring additional environmental review have not been met, and that specifically, and without limitation, the Agency finds and determines that the Project would not result in any new or more severe significant impacts, there is no new information of substantial importance that would result in any new or more severe significant impacts, there are no substantial changes in circumstances that would result in any new or more severe significant impacts, and there is no feasible mitigation measure or alternative that is considerably different from others previously analyzed that has not been adopted, based upon the accompanying Agenda Report, and elsewhere in the record for this Project; now, therefore, be it

RESOLVED: That the Redevelopment Agency, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Applications and the Planning Commission’s decision on the Project, hereby approves and recommends to the City Council the adoption of the Seventh Amendment to the Redevelopment Plan for the Coliseum Redevelopment Project Area amending the land use designation of the Project Site from “Mixed Housing Type Residential” and “Urban Residential” to “Neighborhood Center Mixed Use” as shown on the map attached to this Resolution as **Exhibit A**; and be it

FURTHER RESOLVED: That this decision is based, in part, on the February 24, 2009, Community and Economic Development Committee Agenda Report (which was forwarded to

the City Council and Redevelopment Agency for its March 3, 2009, public hearing), the February 4, 2009, Planning Commission Report, and the Initial Study/Mitigated Negative Declaration which are hereby incorporated by reference as if fully set forth herein; and be it

FURTHER RESOLVED: That in support of the Redevelopment Agency's decision to approve this Amendment to the Redevelopment Plan for the Coliseum Redevelopment Project Area, the Redevelopment Agency affirms and adopts as its findings and determinations (a) the February 24, 2009, Community and Economic Development Committee Agenda Report, and (b) the February 4, 2009, Planning Commission Report, including, without limitation, the discussion, findings, conclusions, and conditions of approval (each of which is hereby separately and independently adopted by this Council in full); and be it

FURTHER RESOLVED: That the Redevelopment Agency finds that it is necessary, desirable, and in the public interest to amend the Redevelopment Plan for the Coliseum Redevelopment Project Area for the reasons set forth herein and in the February 24, 2009, Community and Economic Development Committee Agenda Report and the February 4, 2009, Planning Commission Report; and be it

FURTHER RESOLVED: That the Redevelopment Agency finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Determination with the appropriate agencies; and be it

FURTHER RESOLVED: That the record before the Agency relating to the Project Applications includes, without limitation, the following:

1. the Project Applications, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. all staff reports, decision letters and other documentation and information produced by or on behalf of the City, including without limitation the addended MND/FONSI and supporting technical studies, all related and/or supporting materials, and all notices relating to the Project Applications and attendant hearings;
4. all oral and written evidence received by the City staff, the Planning Commission, and the City Council before and during the public hearings on the Project Applications;
5. all matters of common knowledge and all official enactments and acts of the City, such as (a) the General Plan; (b) Oakland Municipal Code, including, without limitation, the Oakland real estate regulations and Oakland Fire Code; (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations; and be it

FURTHER RESOLVED: That the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the Agency's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning

Division, 250 Frank H. Ogawa Plaza, Suite 3315, Oakland, California; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, California; and be it

FURTHER RESOLVED: The recitals contained in this Resolution are true and correct and are an integral part of the Agency's decision.

IN AGENCY, OAKLAND, CALIFORNIA, _____, 2009

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, DE LA FUENTE, KAPLAN, KERNIGHAN, NADEL, QUAN,
REID, AND CHAIRPERSON BRUNNER

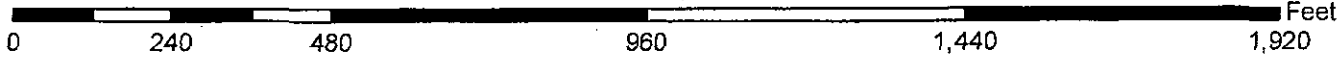
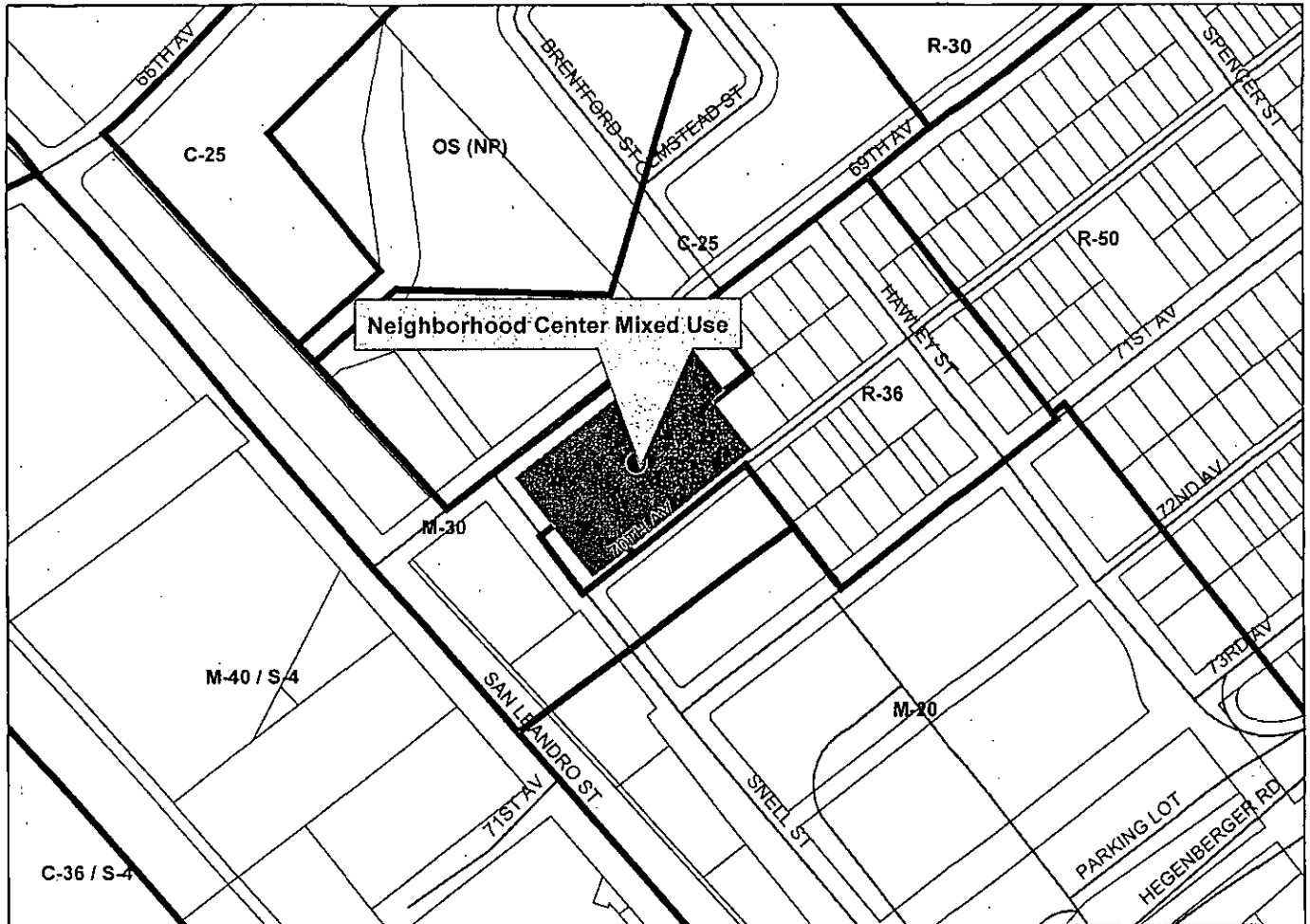
NOES-

ABSENT-

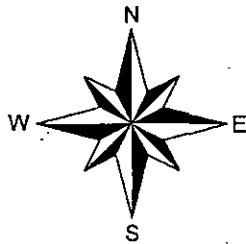
ABSTENTION-

ATTEST: _____
LATONDA SIMMONS
Secretary of the Redevelopment Agency
of the City of Oakland, California

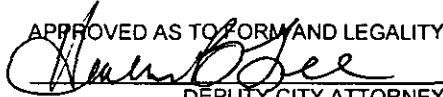
Exhibit A
Amendment to Redevelopment Plan
Lion Creek Crossings Phase IV
Snell Street Between 69th & 70th Ave.



Case File: Lion Creek Crossings Phase IV
Applicant: Oakland Housing Authority
Address: 69th Ave & Snell St
Zone: C-25



FILED
OFFICE OF THE CITY CLERK
OAKLAND
2009 FEB 11 PM 4:19

APPROVED AS TO FORM AND LEGALITY

DEPUTY CITY ATTORNEY

OAKLAND CITY COUNCIL

ORDINANCE NO. _____ C.M.S.

ORDINANCE REZONING THE LION CREEK CROSSINGS PHASE IV PROJECT SITE, LOCATED ON SNELL STREET BETWEEN 69TH AND 70TH AVENUES, FROM THE R-36 SMALL LOT RESIDENTIAL, R-50 MEDIUM DENSITY RESIDENTIAL AND M-30 GENERAL INDUSTRIAL ZONING DISTRICTS TO THE C-25 OFFICE COMMERCIAL DISTRICT

WHEREAS, the approximately 1.1-acre site of the Lion Creek Crossings Phase IV project located on Snell Street between 69th and 70th Avenues, is currently located in the R-36 Small Lot Residential, R-50 Medium Density Residential and M-30 General Industrial zoning districts, according to the Oakland Zoning Regulations; and

WHEREAS, the R-36 Small Lot Residential Zone is intended to foster the development of small lots that are less than four thousand (4,000) square feet in size and/or less than forty-five (45) feet in width in desirable settings for urban living, and is typically appropriate to areas of existing lower density residential development; and

WHEREAS, high-density residential development on large lots and social services are not allowed in the R-36 Small Lot Residential Zone; and

WHEREAS, the R-50 Medium Density Residential Zone is intended to create, preserve, and enhance areas for apartment living at medium densities in desirable settings, and is typically appropriate to areas of existing medium density residential development; and

WHEREAS, high-density residential development and social services are not allowed in the R-50 Small Lot Residential Zone; and

WHEREAS, the intent of the M-30 General Industrial Zone is to create, preserve, and enhance areas containing a wide range of manufacturing and related establishments, and is typically appropriate to areas providing a wide variety of sites with good rail or highway access; and

WHEREAS, residential uses are not allowed in the M-30 General Industrial Zone; and

WHEREAS, the Oakland Housing Authority and their developers (“Applicant”) filed an application for a general plan amendment, redevelopment plan amendment, rezoning, , design review, conditional use permit, and variances (“Applications”) to construct a 72-unit residential development at the Project site on September 4, 2009; and

WHEREAS, the application for the rezoning petitioned the City to rezone the Project site from the R-36 Small Lot Residential, R-50 Medium Density Residential and M-30 General Industrial Zones; and

WHEREAS, the C-25 Office Commercial District is intended to create, preserve, and enhance areas containing a mixture of professional and administrative offices and high-density residences within attractive settings, and is typically appropriate along major thoroughfares running through residential communities; and

WHEREAS, the Planning Commission conducted a duly noticed public hearing on the Mitigated Negative Declaration and the Project Applications on February 4, 2009; and

WHEREAS, at the February 4, 2009, hearing, the Planning Commission accepted, and made appropriate findings for, the addended Mitigated Negative Declaration/Finding of No Significant Impact (MND/FONSI), approved the Applications for design review, conditional use permit, and variances (collectively called “Development Permits”), recommended approval of the general plan amendment to the City Council, recommended approval of the redevelopment plan amendment to the City Council and Redevelopment Agency, and recommended approval of the rezoning to the City Council; and

WHEREAS, the Planning Commission found, in part, that the Project is consistent with the intent of the C-25 Office Commercial District Zone; and

WHEREAS, the Planning Commission also found, in part, that the proposed rezoning is consistent with the overall goals, objectives, and policies of the General Plan in that the Project is a well-designed development on a vacant, underutilized, blighted and contaminated infill site located in an urbanized area of the City near public transportation that will provide needed affordable housing and economic revitalization, and that the proposed rezoning is necessary to implement the Project; and

WHEREAS, the Community and Economic Development Committee of the City Council conducted a duly noticed meeting on the Project Applications on February 24, 2009, and recommended Project approval; and

WHEREAS, the City Council and Redevelopment Agency of the City of Oakland conducted a duly noticed joint public hearing on the Project Applications on March 3, 2009; and

WHEREAS, all interested parties were given the opportunity to participate in the public hearing by submittal of oral and written comments; and

WHEREAS, the public hearing was closed by the City Council and Redevelopment Agency on March 3, 2009; and

WHEREAS, the City Council independently reviewed and considered the findings made by the Planning Commission for approval of the Design Review, Conditional Use Permit, Variances, General Plan Amendment, Redevelopment Plan Amendment and Rezone, incorporated into the record by reference and included as Attachment D to the staff report, and hereby affirms said findings; and

WHEREAS, The City Council, acting as the Lead Agency, has independently reviewed, analyzed, and considered the Coliseum Gardens HOPE VI Revitalization MND/FONSI, and Addenda prior to acting on the approvals. Based upon such independent review, analysis, and consideration; and exercising its independent judgment, the City Council hereby finds the criteria of CEQA Guidelines Section 15162 requiring additional environmental review have not been met. Specifically, and without limitation, the City Council finds and determines that the project would not result in any new or more severe significant impacts, there is no new information of substantial importance that would result in any new or more severe significant impacts, there are no substantial changes in circumstances that would result in any new or more severe significant impacts, and there is no feasible mitigation measure or alternative that is considerably different from others previously analyzed that has not been adopted, based upon the accompanying City Council Agenda Report, and elsewhere in the record for this project.

NOW, THEREFORE, the Council of the City of Oakland does ordain as follows:

SECTION 1. The City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Applications and the Planning Commission's decision on the Project, hereby amends the designation and location of zones and zone boundaries on the Zoning Map as shown on the map attached to this Ordinance as **Exhibit A**. This decision is based, in part, on the February 24, 2009, Community and Economic Development Committee Agenda Report (which was forwarded to the City Council for its March 3, 2009, public hearing), the February 4, 2009, Planning Commission Report, and the MND/FONSI which are hereby incorporated by reference as if fully set forth herein.

SECTION 2. In support of the City Council's decision to amend the General Plan, the City Council affirms and adopts as its findings and determinations (a) the February 24, 2009, Community and Economic Development Committee Agenda Report, and (b) the February 4, 2009, Planning Commission Report, including, without limitation, the discussion, findings, conclusions, and conditions of approval (each of which is hereby separately and independently adopted by this Council in full).

SECTION 3. The City Council finds that it is necessary, desirable, and in the public interest to amend the Zoning Map for the reasons set forth herein and in the February 24, 2009, Community and Economic Development Committee Agenda Report and the February 4, 2009, Planning Commission Report.

SECTION 4. The City Council finds and determines that this Ordinance complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Determination with the appropriate agencies.

SECTION 5. The record before this Council relating to the Project Applications includes, without limitation, the following:

1. the Project Applications, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. all staff reports, decision letters and other documentation and information produced by or on behalf of the City, including without limitation the MND/FONSI and supporting technical studies, all related and/or supporting materials, and all notices relating to the Project Applications and attendant hearings;
4. all oral and written evidence received by the City staff, the Planning Commission, and the City Council before and during the public hearings on the Project Applications; and
5. all matters of common knowledge and all official enactments and acts of the City, such as (a) the General Plan; (b) Oakland Municipal Code, including, without limitation, the Oakland real estate regulations and Oakland Fire Code; (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations.

SECTION 6. The custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, Suite 3315, Oakland, California; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, California.

SECTION 7. If any part of this Ordinance is held to be invalid for any reason, such decision shall not affect the validity of the remaining portion of this Ordinance, and this Council hereby declares that it would have passed the remainder of this Ordinance if such invalid portion thereof had been deleted.

SECTION 8. This Ordinance shall be in full force and effect immediately upon its passage as provided by Section 216 of the City Charter, if adopted by at least six members of Council, or upon the seventh day after final adoption if adopted by fewer votes.

SECTION 9. The recitals contained in this Ordinance are true and correct and are an integral part of the City Council's decision.

IN COUNCIL, OAKLAND, CALIFORNIA, _____, 2009

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, DE LA FUENTE, KAPLAN, KERNIGHAN, NADEL, QUAN,
REID, AND PRESIDENT BRUNNER

NOES-

ABSENT-

ABSTENTION-

ATTEST: _____
LATONDA SIMMONS
City Clerk and Clerk of the Council
of the City of Oakland, California

Hee

NOTICE AND DIGEST

ADOPTION OF THE FOLLOWING ORDINANCES CONCERNING LION CREEK CROSSING PHASE IV RESIDENTIAL PROJECT SITE LOCATED ON SNELL STREET BETWEEN 69TH AND 70TH AVENUES:

- 1) CITY ORDINANCE ADOPTING THE SEVENTH AMENDMENT TO THE COLISEUM AREA REDEVELOPMENT PLAN AMENDING THE LAND USE DESIGNATION FOR THE PROJECT SITE FROM "MIXED HOUSING TYPE RESIDENTIAL" AND "URBAN RESIDENTIAL" TO "NEIGHBORHOOD CENTER MIXED USE"; AND**
- 2) CITY ORDINANCE REZONING THE PROJECT SITE FROM THE R-36 SMALL LOT RESIDENTIAL, R-50 MEDIUM DENSITY RESIDENTIAL AND M-30 GENERAL INDUSTRIAL ZONING DISTRICTS TO THE C-25 OFFICE COMMERCIAL DISTRICT.**

These ordinances would (1) amend the Redevelopment Plan for the Coliseum Redevelopment Project Area to revise the land use designation on the Redevelopment Plan Land Use Map for a 1.1-acre property on Snell Street between 69th and 70th Avenues to conform the Redevelopment Plan to the City's General Plan and (2) rezone the same 1.1-acre property from the R-36 Small Lot Residential, R-50 Medium Density Residential and M-30 General Industrial Zoning Districts to the C-25 Office Commercial District in order to facilitate the 72-unit Lion Creek Crossing Phase IV project.

FILED
OFFICE OF THE CITY CLERK
OAKLAND

2009 FEB 11 PM 4:18

APPROVED AS TO FORM AND LEGALITY

H Lee
DEPUTY CITY ATTORNEY

OAKLAND CITY COUNCIL

RESOLUTION NO. _____ C.M.S.

RESOLUTION AFFIRMING AND SUSTAINING THE PLANNING COMMISSION DECISION TO APPROVE THE DEVELOPMENT PERMITS (DESIGN REVIEW, CONDITIONAL USE PERMIT, AND VARIANCES) FOR THE LION CREEK CROSSING PHASE IV PROJECT LOCATED ON SNELL STREET BETWEEN 69TH AND 70TH AVENUES

WHEREAS, the Oakland Housing Authority and their developers (“Applicant”) filed applications for a general plan amendment, redevelopment plan amendment, rezoning, design review, conditional use permit, and variances (“Applications”) to construct a 72-unit residential development on Snell Street between 69th and 70th Avenues (“Project”) on September 4, 2008; and

WHEREAS, at the duly noticed June 4, 2003 Planning Commission meeting, the Commission independently reviewed and considered a Mitigated Negative Declaration/Finding of No Significant Impact (MND/FONSI) for the Coliseum Gardens project, together with comments received on the MND/FONSI and (1) determined that there was no substantial evidence that the project, as mitigated by adopted mitigation measures, would have a significant effect on the environment; (2) adopted the MND/FONSI; and (3) adopted a Mitigation and Monitoring Reporting Program in accordance with the California Environmental Quality Act (CEQA) and the CEQA Guidelines; and

WHEREAS, at the duly noticed February 3, 2004 City Council meeting, the City Council independently reviewed and considered the MND/FONSI, together with comments received on the MND/FONSI, and found on the basis of substantial evidence in the record as a whole that (1) there is no substantial evidence that the project, together with adopted mitigation measures, will have a significant effect on the environment; and (2) the MND/FONSI reflects the City’s independent judgment and analysis; and

WHEREAS, at the duly noticed February 4, 2009, Planning Commission meeting, the Commission independently reviewed, considered accepted an addendum to the MND/FONSI and found that, in accordance with CEQA Section 15162, no further environmental review is required, as set forth by CEQA. Neither the project, nor the circumstances surrounding the project, would result in any new or more severe significant impacts, there is no new information of substantial importance, and there are no substantial changes in the project; and

WHEREAS, the City Council independently reviewed and considered the addendum to the MND/FONSI, together with comments received on the MND/FONSI, and finds on the basis of substantial evidence in the record as a whole that, in accordance with CEQA Section 15162, no further environmental review is required, as set forth by CEQA. Neither the project, nor the circumstances surrounding the project, would result in any new or more severe significant impacts, there is no new information of substantial importance, and there are no substantial changes in the project; and

WHEREAS, at the February 4, 2009, hearing, the Planning Commission accepted, and made appropriate findings for, the MND, approved the Applications for design review, conditional use permit, and variances (collectively called "Development Permits"), recommended approval of the general plan amendment to the City Council, recommended approval of the redevelopment plan amendment to the City Council and Redevelopment Agency, and recommended approval of the rezoning to the City Council; and

WHEREAS, the Planning Commission found, in part, that the proposed Project is consistent with the overall goals, objectives, and policies of the General Plan in that the Project is a well-designed development on a vacant, underutilized, and blighted infill site located in an urbanized area of the City near public transportation that will provide needed affordable housing and economic revitalization; and

WHEREAS, the Community and Economic Development Committee of the City Council conducted a duly noticed meeting on the Project Applications on February 24, 2009 and recommended Project approval; and

WHEREAS, the City Council and Redevelopment Agency of the City of Oakland conducted a duly noticed joint public hearing on the Project Applications on March 3, 2009; and

WHEREAS, all interested parties were given the opportunity to participate in the public hearing by submittal of oral and written comments; and

WHEREAS, the public hearing was closed by the City Council and Redevelopment Agency on March 3, 2009; and

WHEREAS, the City Council independently reviewed and considered the findings made by the Planning Commission for approval of the Design Review, Conditional Use Permit, Variances, General Plan Amendment, Redevelopment Plan Amendment and Rezone, incorporated into the record by reference and included as Attachment D to the staff report, and hereby affirms said findings; and

WHEREAS, The City Council, acting as the Lead Agency, has independently reviewed, analyzed, and considered the Coliseum Gardens HOPE VI Revitalization MND/FONSI, and Addenda prior to acting on the approvals. Based upon such independent review, analysis, and consideration, and exercising its independent judgment, the City Council hereby finds the criteria of CEQA Guidelines Section 15162 requiring additional environmental review have not been

met. Specifically, and without limitation, the City Council finds and determines that the project would not result in any new or more severe significant impacts, there is no new information of substantial importance that would result in any new or more severe significant impacts, there are no substantial changes in circumstances that would result in any new or more severe significant impacts, and there is no feasible mitigation measure or alternative that is considerably different from others previously analyzed that has not been adopted, based upon the accompanying City Council Agenda Report, and elsewhere in the record for this project; now, therefore, be it

RESOLVED: That the City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Applications and the Planning Commission's decision on the Project, hereby affirms and sustains the Planning Commission's acceptance of the addendum to the MND/FONSI and affirms and sustains the Planning Commission's decision to approve the Development Permits for the Project subject to the findings and the conditions contained in the February 4, 2009, Planning Commission Report; and be it

FURTHER RESOLVED: That this decision is based, in part, on the February 24, 2009, Community and Economic Development Committee Agenda Report (which was forwarded to the City Council for its March 3, 2009, public hearing), the February 4, 2009, Planning Commission Report, and the addended MND/FONSI which are hereby incorporated by reference as if fully set forth herein; and be it

FURTHER RESOLVED: That in support of the City Council's decision to approve the Project's Development Permits, the City Council affirms and adopts as its findings and determinations (a) the February 24, 2009, Community and Economic Development Committee Agenda Report, and (b) the February 4, 2009 Planning Commission Report, including, without limitation, the discussion, findings, conclusions, and conditions of approval (each of which is hereby separately and independently adopted by this Council in full); and be it

FURTHER RESOLVED: That the City Council finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Determination with the appropriate agencies; and be it

FURTHER RESOLVED: That the record before this Council relating to the Project Applications includes, without limitation, the following:

1. the Project Applications, including all accompanying maps and papers;
2. all plans submitted by the Applicant and their representatives;
3. all staff reports, decision letters and other documentation and information produced by or on behalf of the City, including without limitation the MND and supporting technical studies, all related and/or supporting materials, and all notices relating to the Project Applications and attendant hearings;
4. all oral and written evidence received by the City staff, the Planning Commission, and the City Council before and during the public hearings on the Project Applications;

5. all matters of common knowledge and all official enactments and acts of the City, such as (a) the General Plan; (b) Oakland Municipal Code, including, without limitation, the Oakland real estate regulations and Oakland Fire Code; (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations; and be it

FURTHER RESOLVED: That the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, Suite 3315, Oakland, California; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, California; and be it

FURTHER RESOLVED: That the recitals contained in this resolution are true and correct and are an integral part of the City Council's decision.

IN COUNCIL, OAKLAND, CALIFORNIA, _____, 2009

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, DE LA FUENTE, KAPLAN, KERNIGHAN, NADEL, QUAN,
REID, AND PRESIDENT BRUNNER

NOES-

ABSENT-

ABSTENTION-

ATTEST: _____
LATONDA SIMMONS
City Clerk and Clerk of the Council
of the City of Oakland, California