


2023 OCT 26 PM 7:03
FILED
OFFICE OF THE CITY CLERK
OAKLAND

OAKLAND CITY COUNCIL

Approved as to Form and Legality


Celso Ortiz (Oct 26, 2023 11:25 PDT)
City Attorney

RESOLUTION No. 89984 C.M.S.

Introduced by Councilmember _____

A RESOLUTION A) GRANTING A MASTER MAJOR ENCROACHMENT PERMIT TO IKE SMART CITY FOR FORTY (40) DIGITAL ADVERTISING KIOSKS WITH WAYFINDING CAPABILITIES WITHIN THE PUBLIC RIGHT-OF-WAY, LOCATED AT APPROXIMATELY 1807 TELEGRAPH AVE, 831 BROADWAY, 826 WASHINGTON ST, 2015 BROADWAY, 416 WATER ST, 1000 OAK ST, BELLEVUE AVE (LAKESIDE PARK NEAR GRAND AVE. AND BAY PL.), 2417 BROADWAY, 2225 TELEGRAPH AVE, 2228 BROADWAY, 3136 INTERNATIONAL BLVD, 3801 TELEGRAPH AVE, 5859 FOOTHILL BLVD, 1709 WEBSTER ST, 575 15TH ST, 490 THOMAS L BERKLEY WAY, 200 BROADWAY, 1000 BROADWAY, 150 FRANK H OGAWA PLAZA, 5110 TELEGRAPH AVE, 2630 BROADWAY, 540 17TH ST, 383 11TH ST, 1398 FRANKLIN ST, 600 14TH ST, BELLEVUE AVE (LAKESIDE PARK NEAR HARRISON ST. AND 21ST ST.), 1011 BROADWAY, 274 19TH ST, 400 9TH ST, BELLEVUE AVE (LAKESIDE PARK NEAR LAKESIDE DR. AND HARRISON ST.), 555 12TH ST, 2000 FRANKLIN ST, 1731 FRANKLIN ST, 274 19TH ST, 1423 BROADWAY, 2616 BROADWAY, 447 17TH ST, 1624 FRANKLIN ST, 2501 HARRISON ST AND 1212 BROADWAY; B) APPROVING AN ASSOCIATED MASTER INDENTURE AGREEMENT; AND C) ADOPTING APPROPRIATE CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS

WHEREAS, the Oakland Department of Transportation is tasked with improving transportation choices and minimizing parking demand, congestion, and pollution, such as through transportation demand management programs in the City of Oakland (City); and

WHEREAS, IKE Smart City LLC (IKE), an advertising agency, provided an unsolicited proposal to install fifty (50) digital advertising and wayfinding kiosks in the City's right-of-way; and

WHEREAS, IKE and the City have negotiated terms of a non-exclusive franchise agreement that includes the installation of up to fifty IKE digital kiosks in the public right of way; and

WHEREAS, IKE and the City have proposed terms within their agreement about the equitable distribution and operation of the kiosks throughout the City; and

WHEREAS, IKE has conducted initial outreach, abutter business consultation and technical considerations for forty (40) locations at approximately 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859 Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway, the exact encroachment limits of which are to be determined and submitted (Encroachments); and

WHEREAS, to facilitate and expedite the implementation of the digital kiosk program in the City, the City Council desires issue a Master Major Encroachment Permit to Grantee for the proposed forty (40) Kiosks in the Public Right of Way pursuant to Oakland Municipal Code Chapter 12.08 and section 12.08.030 et seq.;

WHEREAS, City staff will determine, in accordance with the Oakland Municipal Code Chapter 12.08 and based on review of IKE plans and investigation of the proposed locations and the area of the proposed Encroachments, that the Encroachments in the public right-of-way and their location will not interfere with the public use of the roadway, sidewalk, buried utilities, and will not endanger the public welfare and convenience during said public use; and

WHEREAS, the City has independently reviewed and considered the IKE digital kiosks program and finds and determines that that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15268 (Ministerial Projects), 15183 (Projects Consistent with a Community Plan, General Plan or Zoning), 15301(c) (Existing Facilities, Highways and Streets), 15302 (Replacement or Reconstruction), 15303 (Small Structures), 15304 (h) (minor alterations to land, and/or 15061 (b) (3) (No significant Effect on the Environment); each of the aforementioned provides a separate and independent basis for CEQA compliance; now, therefore, be it

RESOLVED: That the City Council has reviewed all relevant documents relating to its grant of the Master Major Encroachment Permit that is the subject of this resolution; and be it

FURTHER RESOLVED: The City Council has independently reviewed and considered the IKE digital kiosks program and finds and determines that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Sections 15268 (Ministerial Projects), 15183 (Projects Consistent with a Community Plan, General Plan or Zoning), 15301(c) (Existing Facilities, Highways and Streets), 15302 (Replacement or Reconstruction), 15303 (Small Structures), 15304 (h) (minor alterations to land, and/or 15061 (b) (3) (No significant Effect on the Environment); each of the aforementioned provides a separate and independent basis for CEQA compliance; and be it

FURTHER RESOLVED: and directs the City's Environmental Review Officer to file a Notice of Exemption with the Alameda County Clerk's Office and appropriate agencies; and be it

FURTHER RESOLVED: That the City Council hereby grants to IKE a conditional revocable Master Encroachment Permit to allow the Encroachments at up to forty (40) separate addresses, as shown in *Exhibit A*, which permit shall take effect only upon the City and IKE as Permittee entering into an Indenture Agreement in the form substantially attached hereto as

Exhibit B (Indenture Agreement), the conditions therein being incorporated into the Master Encroachment Permit, and IKE submitting fully engineered site plans for each location (as shown in the example included as **Exhibit C**); and be it

FURTHER RESOLVED: That the Master Encroachment Permit shall commence and continue in effect so long as Permittee satisfies, and continues to satisfy, all conditions and obligations set forth in the Indenture Agreement; and be it

FURTHER RESOLVED: the City Council delegates authority to the City Administrator to issue Major Encroachment Permits to IKE for the proposed forty (40) Kiosks in the Public Right of Way pursuant to Oakland Municipal Code Chapter 12.08 and section 12.08.030 et seq.;

FURTHER RESOLVED: That the City Council, at its sole discretion and at a future date not yet determined, may impose additional and continuing fees for use and occupancy of the public right-of-way; and be it

FURTHER RESOLVED: That the Master Encroachment Permit authorized by this Resolution shall take effect when all the conditions and obligations set forth in the Indenture Agreement shall have been complied with to the satisfaction of the City Attorney and the City Engineer of the City of Oakland and shall become null and void upon the failure of the Permittee to comply with the conditions and obligations set forth in the Indenture Agreement, subject to the notice and cure provisions set forth therein, or upon a termination by resolution of the City Council as being in the City's best interest; and be it

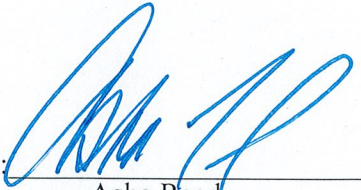
FURTHER RESOLVED: That the City Engineer is hereby directed to file a certified copy of this Resolution for recordation with the Office of the Alameda County Clerk-Recorder as an encumbrance of the title of the property identified above.

IN COUNCIL, OAKLAND, CALIFORNIA, NOV 07 2023, 2023

PASSED BY THE FOLLOWING VOTE:

AYES - FIFE, ~~WALSH~~, JENKINS, KALB, ~~KAPLAN~~, RAMACHANDRAN, ~~REID~~,
AND PRESIDENT FORTUNATO BAS -5

NOES ϕ
ABSENT - 2 - Gallo, Kaplan
ABSTENTION - ϕ
1 Excused - Reid

ATTEST: 
Asha Reed
City Clerk and Clerk of the Council
of the City of Oakland, California

- Exhibit A:** Preliminary Site Plans For IKE Digital Kiosks (40 pages)
- Exhibit B:** Indenture Agreement (8 pages)
- Exhibit C:** Example Engineered Site Plan (1 page)

EXHIBIT A: PRELIMINARY SITE PLAN FOR IKE DIGITAL KIOSKS

(Attached Separately)

EXHIBIT B: INDENTURE AGREEMENT

(Attached Separately)

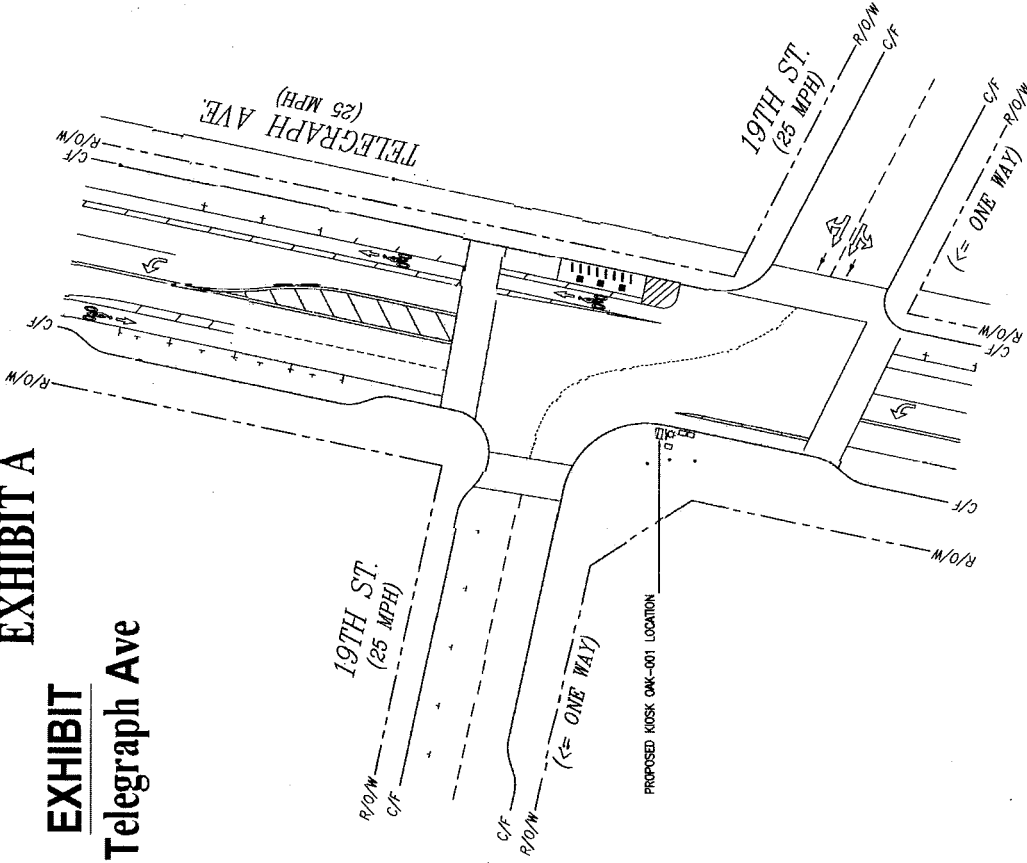
EXHIBIT C: EXAMPLE ENGINEERED SITE PLAN

(Attached Separately)

EXHIBIT A

EXHIBIT

1807 Telegraph Ave



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR COMPETING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RESULT OF ANY LABORS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK.
- NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT THE INTERSECTION. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH EXISTING SIDEWALKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES AND SHALL BE RESPONSIBLE FOR THE REPAIR AND RECONSTRUCTION OF ANY UTILITIES DAMAGED BY THE WORK.

SYMBOLOLOGY:	
	EDGE OF DIRT
	WHITE LINE
	RIGHT OF WAY
	EDGE OF PAVEMENT
	CENTER LINE
	CURBSIDE
	CONCRETE
	DECORATIVE
	SIDEWALK
	ABANDONED
	STATION NUMBER
	EXISTING
	CUT
	WALL
	DRIVEWAY
	BUSINESS
	TREE
	UTILITY POLE
	ST. LIGHT
	TRAFFIC SIGNAL
	PARKING METER/ST. SIGN
	DOWN COAT
	CONC. CULVERT
	UTILITY VALVE
	UTILITY MANHOLE/VAULT
	UTILITY LID
	SEWER MANHOLE
	SQUARE VENT
	ROUND VENT
	DC-ALERTS
	POINT OF C/F
	ADA CURB RAMP
	PROPOSED KIOSK

UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, TRENCHES, OR UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN.

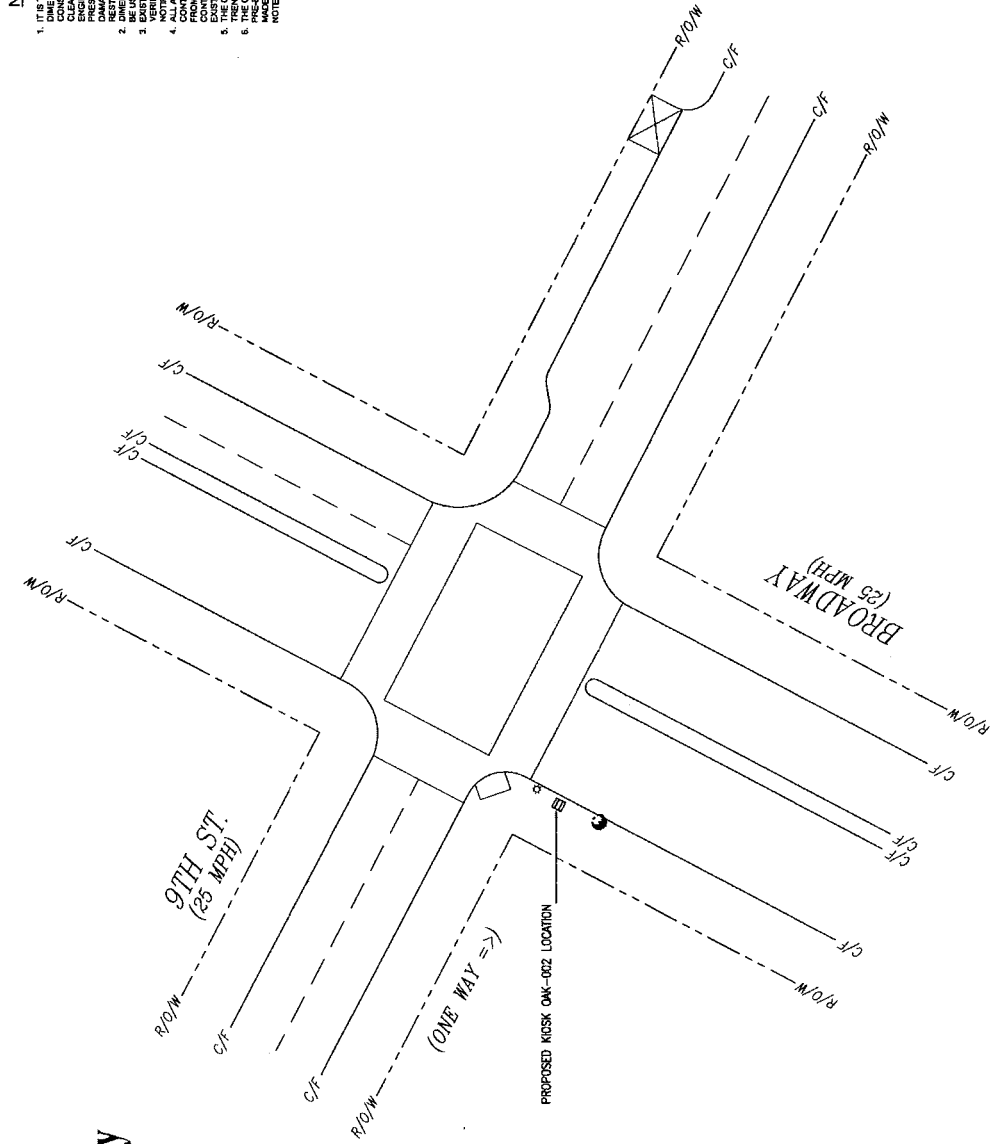
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 TOLL FREE: 1-800-642-2444 OR
 www.gpoles.com
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PROJECT NAME: DMK-001	DATE:	PERMIT NO.:
T.O. MAP NO: N/A	ENGINEERED BY: N/A	CITY: OAKLAND
DRAWN BY: N/A	DATE: 06-21-23	COUNTY: ALAMEDA
LOCATION: TELEGRAPH AVE. AND 19TH ST.		
PROJECT NO.: 1082337827	DWG. NO.:	

EXHIBIT

831 Broadway



- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR COMPETING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY CLEARANCES TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER.
 - BEFORE ANY CONSTRUCTION STAKING, GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
 - VERIFY RIGHT OF WAY LIMITS WITH THE RELIABLE SOURCE ONLY. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES BEFORE CONSTRUCTION AND THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND THE FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
 - EXISTING STORM DRAIN SYSTEMS. VERIFY IN LOCATIONS THAT INTERSECT-SITE OR INTO THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT AT LEAST 18" BELOW THE FINISHED GRADE. THE EXISTING SIDEWALK ON THE PLANS TO BE REPLACED SHALL BE REPLACED WITH THE EXISTING SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH MAKE-UP AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL		DESCRIPTION
SPAD	EDGE OF DIRT	BLUESIES
W/L	WHITE LINE	TREE
R/O/W	RIGHT OF WAY	UTILITY POLE
E/W/P	EDGE OF PAVEMENT	ST. LIGHT
C/L	CENTER LINE	TRAFFIC SIGNAL
C/F	CURBFACE LINE	PARKING METER/ST. SIGN
C/S	CONCRETE SURFACE	DOWN CATCH
C/C	CONCRETE CURB	UTILITY VALVE
DEC	DECORATIVE	UTILITY MANHOLE/VAULT
PRY	PARKWAY	UTILITY LD
SK	SIDEWALK	SEWER MANHOLE
ABN	ABANDONED	SQUARE VENT
ST. NO.	STATION NUMBER	ROUND VENT
EX	EXISTING	DOG-LETERS
(1)	CUT	(PO2) POINT OF C/F
(2)	FILL	A&A CURB RAMP
(3)	WALL	PROPOSED KIOSK
(4)	DRIVEWAY	

PROJECT NAME: OAK-002	DATE:	PERMIT NO.:
T.O. MAP NO.: N/A	ENGINEER BY: MOTIVE	DATE: 06-21-23
ENGINEER BY: MOTIVE	DATE: 06-21-23	CITY: OAKLAND
LOCATION:	BROADWAY AND 9TH ST.	COUNTY: ALAMEDA
PROJECT NO.: 1062323987		
DMC. NO.:		

REVISION	DATE

UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CONDUITS OR CABLES ARE BASED UPON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO VERIFY THE ACCURACY OF ALL UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

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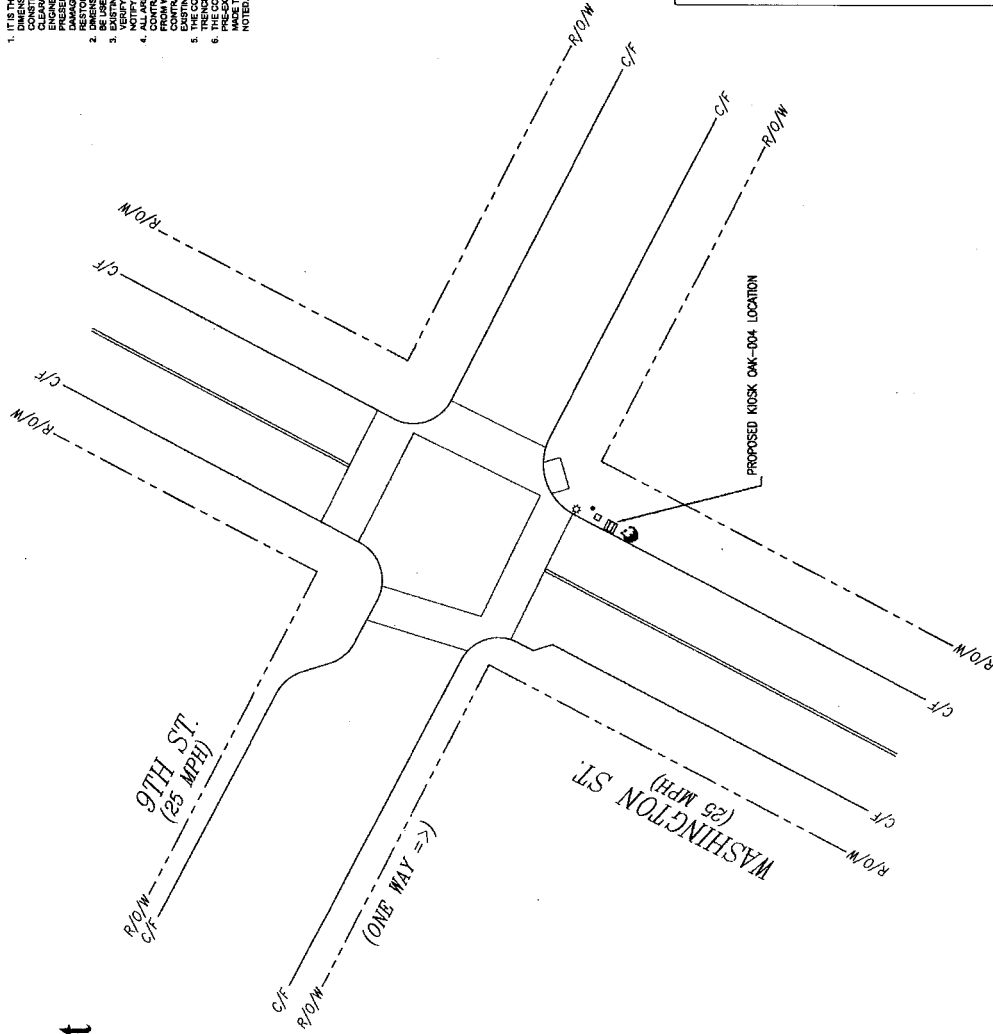


EXHIBIT

826 Washington St

NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR EXISTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY ALL UTILITIES AND DIMENSIONS BEFORE CONSTRUCTION SHALL BE NOTIFIED BY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT THE TIME OF CONSTRUCTION SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE THE EXISTING SPORE/VALVE ON THE PLANS TO THE EXISTING SPORE/VALVE. THE CONTRACTOR SHALL MAKE SURE THE SPORE/VALVE BE MADE TO MATCH MAKE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.



SYMBOLOLOGY:	
SYMBOL	DESCRIPTION
○	EDGE OF DIRT
—	WHITE LINE
—	RIGHT OF WAY
—	EDGE OF PAVEMENT
—	CENTER LINE
—	CONCRETE
—	CONC. CUTTER
—	DECORATIVE
—	PARALLEL
—	ABANDONED
—	STATION NUMBER
—	PROPOSED
—	LED DUT
—	FENCE
—	WALL
—	DRIVEWAY
○	BUSINES
○	TREE
○	UTILITY POLE
○	ST. LIGHT
○	TRAFFIC SIGNAL
○	PARKING METEY/ST. SIGN
○	FIRE HYDRANT
○	UTILITY VALVE
○	UTILITY MANHOLE/VAULT
○	UTILITY LD
○	SEWER MANHOLE
○	SQUARE VENT
○	ROUND VENT
○	100'-HEIGHTS
○	(PO2) POINT OF C/F
○	ADA CURB RAMP
○	PROPOSED KIOSK

PROJECT NAME: OK-004	PERMIT NO.:
T.O. MAP NO: N/A	DATE:
ENGINEERED BY: N/A	DATE: 08-21-23
CITY: OAKLAND	
DRAWN BY: N/A	DATE: 08-21-23
COUNTY: ALAMEDA	
LOCATION:	
WASHINGTON STREET & 9TH ST.	
PROJECT NO.: 1082332791	
DWG. NO.:	



SCALE:
1" = 20'

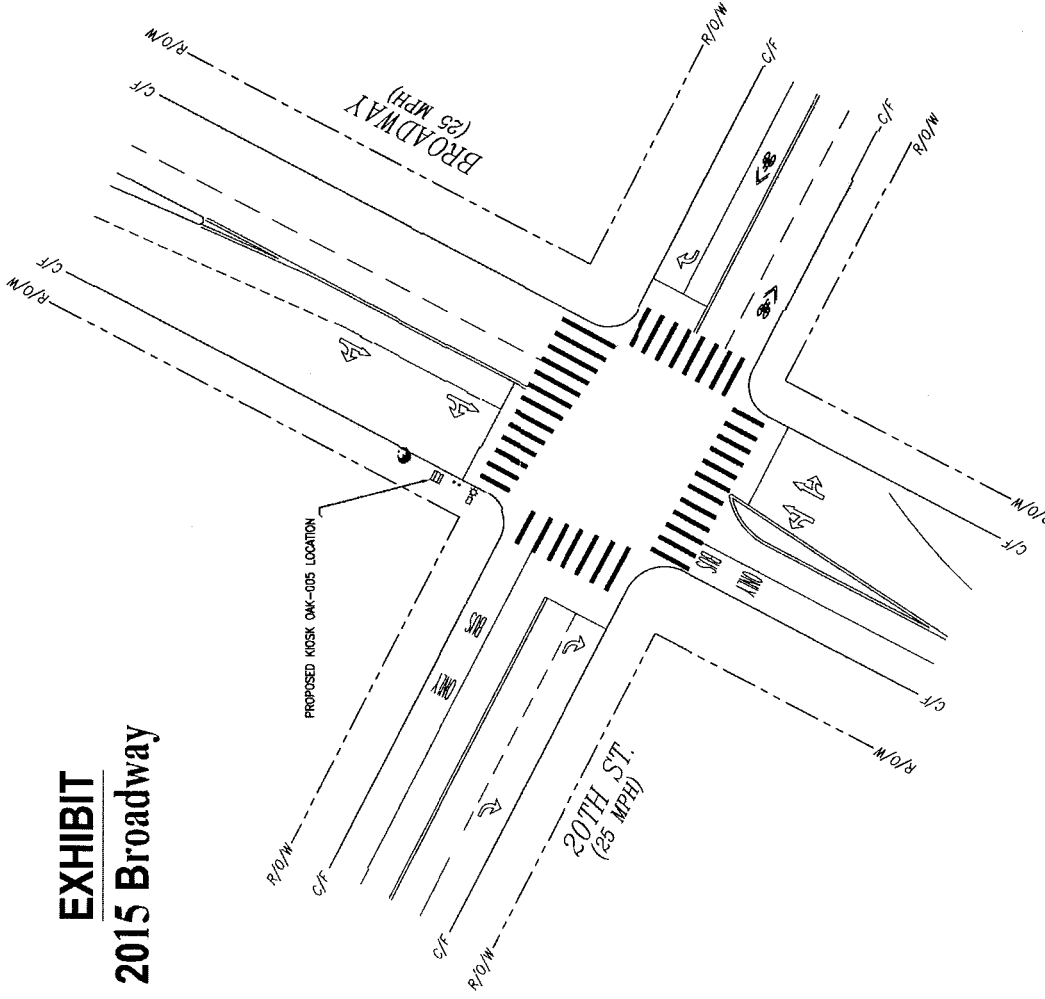
UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR UTILITIES SHOWN BY A SEARCH OF AVAILABLE RECORDS, THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

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EXHIBIT

2015 Broadway



NOTES:

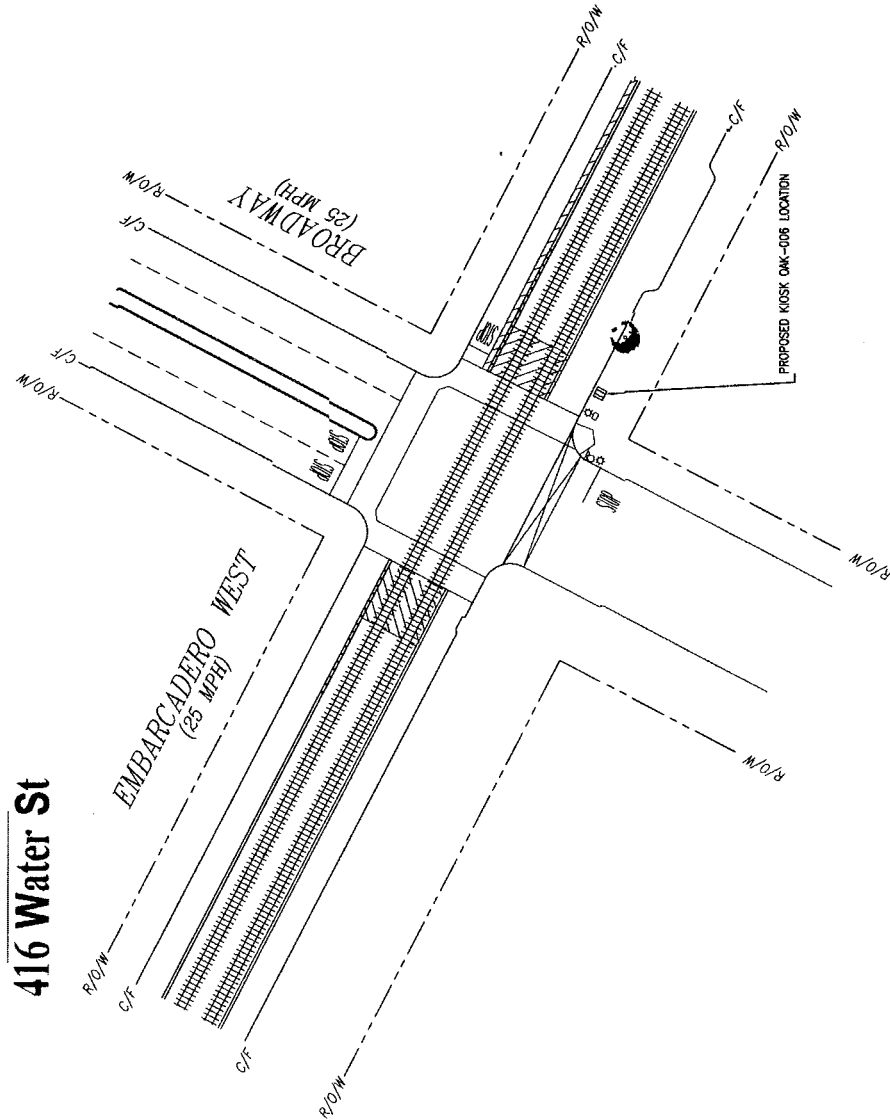
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES AND STRUCTURES PRIOR TO COMMENCING CONSTRUCTION. SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND CONTRACTOR IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION. CONTRACTORS SHALL VERIFY DIMENSIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REESTABLISHED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS FUNCTIONING AT ALL TIMES. THE CONTRACTOR SHALL IMMEDIATELY REMOVE SILT DEPOSITS THAT WASH OFF SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL PLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION
---	EDGE OF DIRT
---	WHITE LINE
---	RIGHT OF WAY
---	LEFT OF WAY
---	PROPERTY LINE
---	CONC. GUTTER
---	DECORATIVE
---	PARALLEL
---	SEWER MAIN
---	WATER MAIN
---	EXISTING NUMBER
---	PROPOSED
---	(P) CUT
---	PROPOSED DRIVEWAY
---	PROPOSED KIOSK
---	UTILITY POLE
---	ST. DOWN SOCIAL
---	PARKING METERS/ST. SIGN
---	FIRE HYDRANT
---	UTILITY VALVE
---	UTILITY MANHOLE/VAULT
---	SEWER MANHOLE
---	SQUARE VENT
---	RECTANGULAR VENT
---	DIG-ALERTS
---	(P) POINT OF C/F
---	ADA CURB RAMP

	<p>TO OBTAIN LOCATION OF UTILITIES CONTACT UNDERGROUND UTILITIES SERVICES (800) 485-1111 OR (908) 485-1111 TOLL FREE: 1-800-485-2441 OR www.undergroundutil.com REGISTRATION NO. 2 BEFORE YOU DIG.</p>	<p>DATE: _____</p> <p>REVISION: _____</p>	<p>PROJECT NAME: OAK-005</p> <p>T.G. MAP NO.: N/A</p> <p>ENGINEER BY: MOTIVE DATE: 08-21-20</p> <p>DRAWN BY: MOTIVE DATE: 08-21-20</p> <p>CITY: OAKLAND</p> <p>COUNTY: ALABAMA</p>	<p>PERMIT NO.: _____</p> <p>DATE: _____</p>
	<p>UNDERGROUND UTILITIES NOTE: SEARCH OF AVAILABLE RECORDS, THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.</p>	<p>LOCATION: BROADWAY AND 20TH ST.</p> <p>PROJECT NO.: 1082327992</p> <p>DWG. NO.: _____</p>	<p>SCALE: 1"=20'</p>	

EXHIBIT

416 Water St



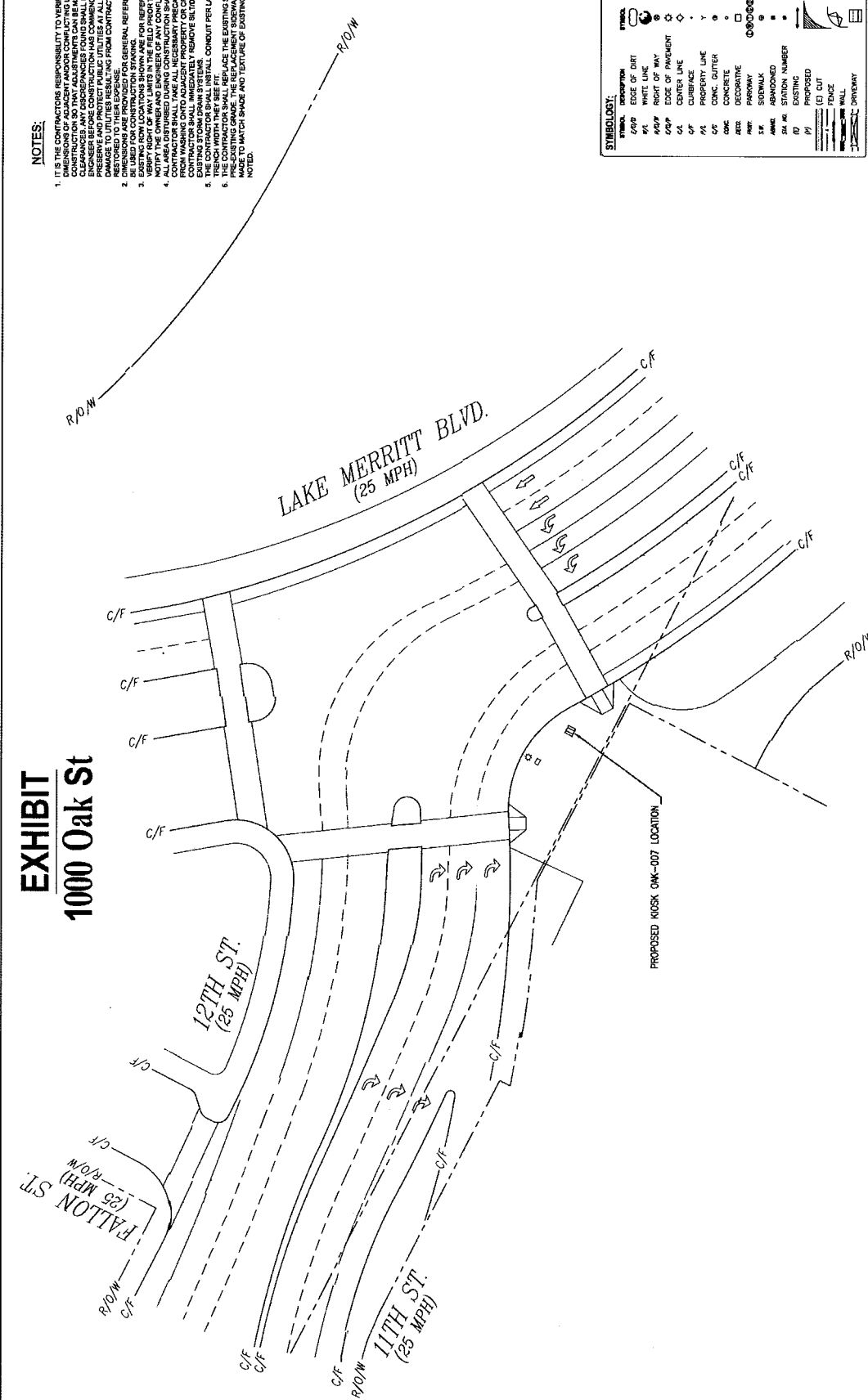
NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES AND STRUCTURES PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND OBTAIN PERMISSION FROM THE CITY ENGINEER TO RECONSTRUCT PERMITS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM THE PROJECT AREA. IMMEDIATELY REMOVE SILT FROM THE PROJECT AREA OR INTO EXISTING STORM DRAIN SYSTEMS.
- TRENCH WIDTH: THEY SEE FIT.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH GRADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	DESCRIPTION
---	EDGE OF DIRT	BUSHES
---	WHITE LINE	TREE
---	RIGHT OF WAY	UTILITY POLE
---	EDGE OF PAVEMENT	ST. LIGHT
---	PROPERTY LINE	CONCRETE SIDEWALK
---	CURB	PAVING METERS/FT. SIGN
---	CONC. GUTTER	DOWN GUY
---	DECORATIVE	FIRE HYDRANT
---	PARALLEL	UTILITY VALVE
---	ABANDONED	UTILITY MANHOLE/VAULT
---	EXISTING NUMBER	UTILITY LD
---	PROPOSED	SEWER MANHOLE
---	(E) CUT	SQUARE VENT
---	WALL	ROUND VENT
---	DRIVEWAY	POC POINT OF C/F
---		ADA CURB RAMP
---		PROPOSED KIOSK

	PROJECT NAME: DM-008 T.O. MAP NO.: N/A ENGINEER BY: MVA DATED BY: MVA	PERMIT NO.: DATE: CITY: OAKLAND COUNTY: ALAMEDA
	REVISION:	LOCATION: EMBARCADERO WEST & BROADWAY
UNDERGROUND UTILITIES NOTE: THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES AND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTORS SHOULD TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.	SCALE: 1" = 20'	PROJECT NO.: 1062322793 DWG. NO.:
	TOLL FREE 1-800-842-2444 OR www.g2poles.com 10000 BAYVIEW BLVD SUITE 100 OAKLAND, CA 94612	

EXHIBIT 1000 Oak St




NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES.
2. BE USED FOR CONSTRUCTION STAKING.
3. VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL MEASURES IN PLACE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES.
5. EXISTING STORM DRAIN SYSTEMS.
6. THE CONTRACTOR SHALL REPLACE THE EXISTING SIGNAL ON THE PLANS TO THE EXISTING SIGNAL IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND MAKE TO MATCH SPACE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	○	BUSHES
○	WHITE LINE	○	TREE
○	RIGHT OF WAY	○	UTILITY POLE
○	EDGE OF PAVEMENT	○	ST. LIGHT
○	CENTER LINE	○	TRAFFIC SIGNAL
○	PROPERTY LINE	○	PARKING METER/ST. SIGN
○	CONC. GUTTER	○	POLE HOIST
○	CONCRETE	○	UTILITY VALVE
○	DECORATIVE	○	UTILITY MANHOLE/AULT
○	PARALLEL	○	UTILITY LD
○	ASPHOENED	○	SEWER MANHOLE
○	STATION NUMBER	○	ROUND VENT
○	ST. NO.	○	DOG-LEETS
○	PAVED	○	(POC) POINT OF C/F
○	UNPAVED	○	ADA CURB RAMP
○	WALL	○	PROPOSED KIOSK
○	DRIVEWAY		


PROJECT NAME: OM-007	DATE:	REVISION:	DATE:
T.C. MAP NO.: N/A	ENGINEERED BY: MOTIVE DATE: 08-22-23	CITY: OAKLAND	DATE:
DRAWN BY: MOTIVE DATE: 06-22-23	COUNTY: ALAMEDA		
LOCATION: LAKE MERRITT BLVD. & 12TH ST.			
PROJECT NO.: 1082237894	DWG. NO.:		



SCALE: 1"=20'

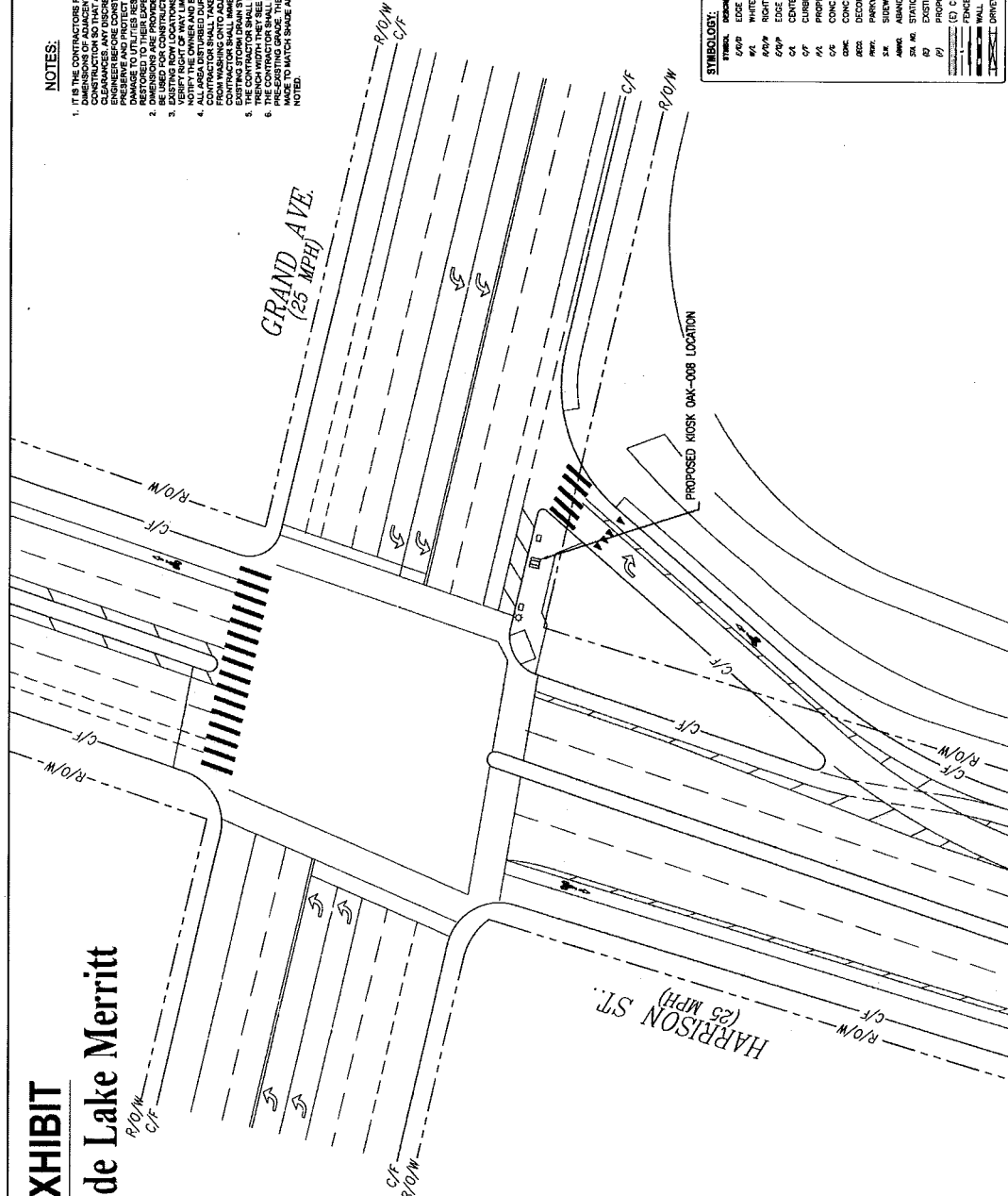
UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

TO REQUEST A COPY OF THE PROJECT RECORDS, CONTACT THE PROJECT ENGINEER AT:
CENTRAL CALIFORNIA UTILITY RECORDS
TOLL FREE: 1-800-442-2444 OR
www.ccuutility.com
Call before you dig.



EXHIBIT

City Park beside Lake Merritt




- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR COMPETING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWNERS RISK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF OAKLAND AND THE CALIFORNIA DEPARTMENT OF PUBLIC UTILITIES AND ENERGY.
 - BEFORE CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP ADJACENT PROPERTIES FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
 - THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL INTERSECTIONS.
 - THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLAN TO THE EXISTING SIDEWALK. THE CONTRACTOR SHALL MATCH THE COLOR AND FINISH OF THE EXISTING SIDEWALK TO MATCH COLOR AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION
○	EDGE OF DIRT
○	WHITE LINE
○	RIGHT OF WAY
○	EDGE OF PAVEMENT
○	CENTER LINE
○	CURBSIDE LINE
○	ASPHALT DRIVEWAY
○	CONCRETE DRIVEWAY
○	DECORATIVE DRIVEWAY
○	SEWER MANHOLE
○	UTILITY MANHOLE/VAULT
○	UTILITY VALVE
○	UTILITY LD
○	SEWER MANHOLE
○	SQUARE VENT
○	ROUND VENT
○	DC-ALERTS
○	POINT OF C/F
○	ADA CURB RAMP
○	PROPOSED KIOSK

PROJECT NAME: OAK-008	PERMIT NO.:
T.O. MAP NO.: N/A	DATE: 08-22-23
ENGINEER BY: N/A	CITY: OAKLAND
DRAWN BY: N/A	DATE: 08-22-23
COUNTY: ALAMEDA	
LOCATION:	
GRAND AVE. AND HARRISON ST.	
PROJECT NO.: 1082329385	
DWG. NO.:	


REVISION	DATE



 SCALE: 1"=20'

UNDERGROUND UTILITIES NOTE:

THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CONDUITS, OR CABLES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THESE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWNERS RISK.



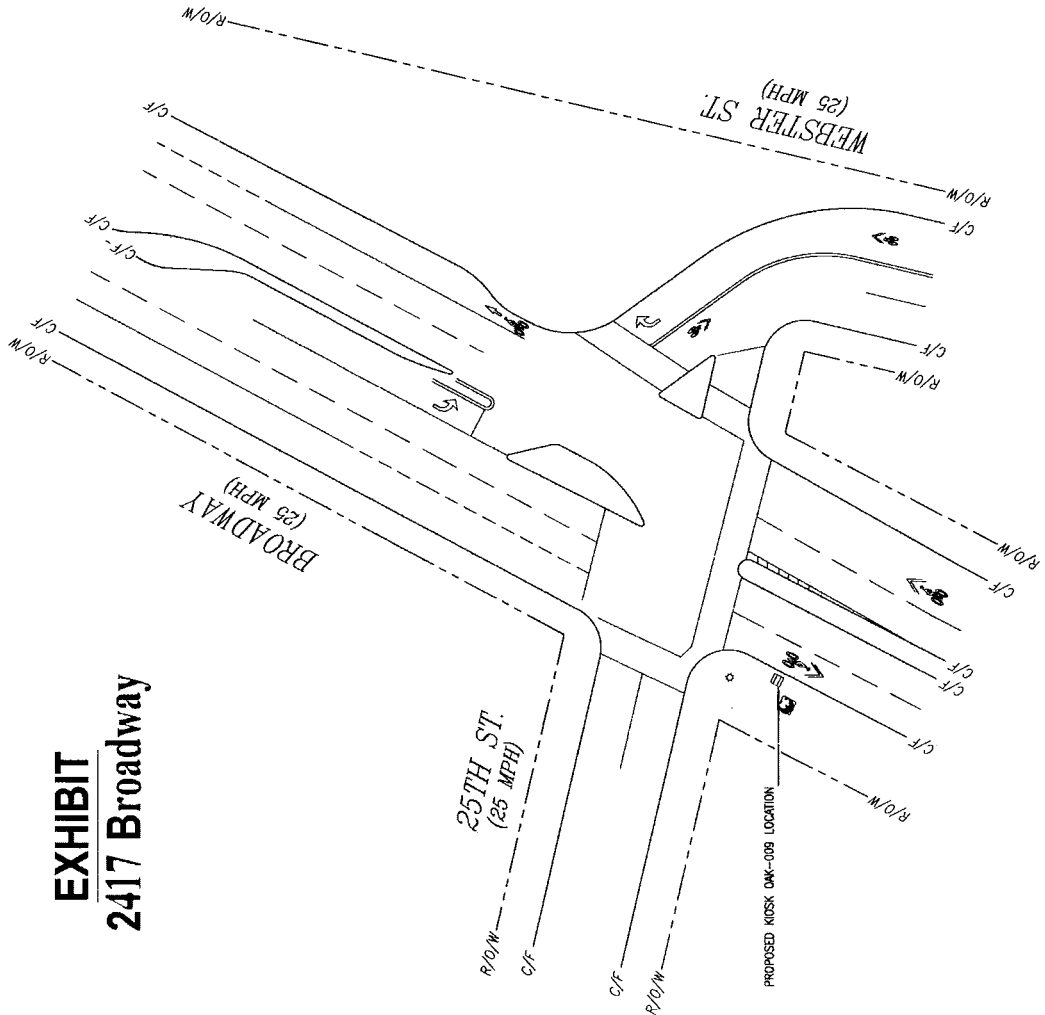
 G2 POLES



 G2 POLES

EXHIBIT

2417 Broadway



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS FOR ALL UTILITIES AND STRUCTURES PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND ALL WORK ESTIMATED TO BE WITHIN CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS FUNCTIONING AT ALL TIMES. THE CONTRACTOR SHALL IMMEDIATELY REMOVE SILT DEPOSITS THAT WASH OFF SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- ALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS SHALL BE INSTALLED PRIOR TO THE EXISTING SURF ON THE PLANS TO BE MAINTAINED. THE CONTRACTOR SHALL MAKE SURE THE SURF SHALL BE MADE TO MATCH SHAPE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION
○	EDGE OF DIRT
—	WHITE LINE
—	RIGHT OF WAY
—	EDGE OF PAVEMENT
—	UTILITY POLE
—	ST. LIGHT
—	UTILITY MANHOLE
—	PARKING METER/ST. SIGN
—	PROPERTY LINE
—	DOWN GUT
—	CONC. GUTTER
—	CONCRETE
—	DECORATIVE
—	PARAWAY
—	SEWER MANHOLE
—	UNBONDED
—	NUMBER
—	EXISTING
—	PROPOSED
—	(E) CUT
—	FENCE
—	WALL
—	PROPOSED KIOSK

PROJECT NAME: DAK-009	PERMIT NO.:
T.C. MAP NO.: N/A	DATE:
ENGINEERED BY: N/A	DATE: 06-22-23
DRAWN BY: N/A	DATE: 06-22-23
CITY: OAKLAND	COUNTY: ALABAMA
LOCATION:	BROADWAY AND 25TH ST.
PROJECT NO.: 1062323796	DWG. NO.:

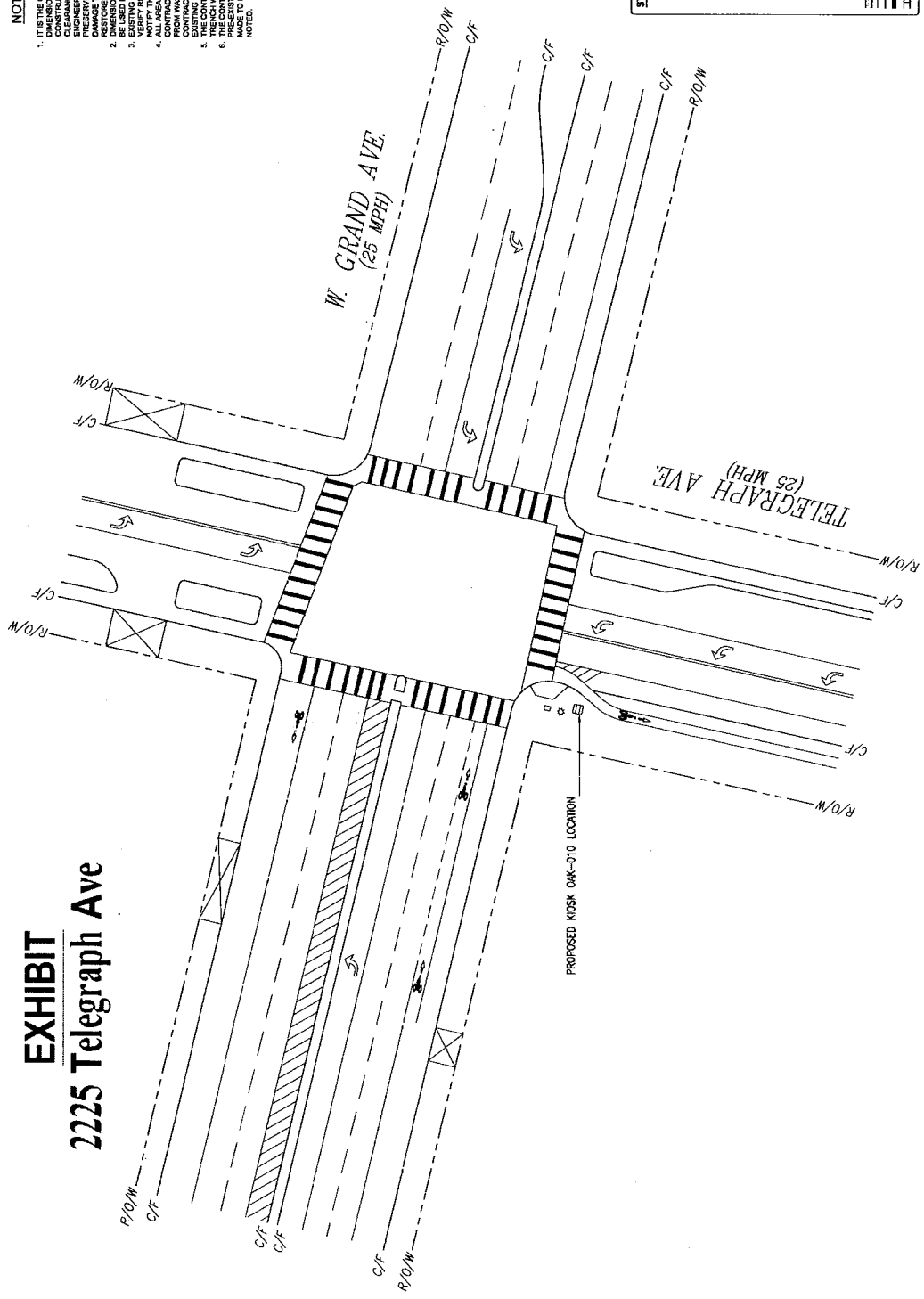
REVISION	DATE



UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

TOLL FREE: 1-800-424-2444 OR
 www.knowwhatbelow.com
 800-424-2444
 Call before you dig.

EXHIBIT 2225 Telegraph Ave



- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND CLEARANCES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CLEARANCES AND SHALL BE RESPONSIBLE FOR NOTIFYING THE UTILITY SUPPLIER IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND CONTRACTOR'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
 - DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
 - VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMMEDIATELY PROMOTE OR LOCATE ANY ADJACENT PROPERTIES TO EXISTING STORM DRAIN SYSTEMS.
 - THE CONTRACTOR SHALL CONDUCT PERMITS AND PER CITY GUIDELINES AT ALL TIMES.
 - THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLAN TO BE CONSTRUCTED WITH A MATCHING SURFACE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	○	UTILITY VALVE
○	WHITE LINE	○	UTILITY MANHOLE/MAULT
○	RIGHT OF WAY	○	UTILITY LID
○	EDGE OF PAVEMENT	○	SEWER MANHOLE
○	CONCRETE	○	SQUARE YARD
○	PROPERTY LINE	○	ROUND YARD
○	CONCRETE	○	CONCRETE
○	CONCRETE	○	PROPOSED
○	CONCRETE	○	(E) CUT
○	CONCRETE	○	FENCE
○	CONCRETE	○	WALL
○	CONCRETE	○	DRIVEWAY
○	CONCRETE	○	PROPOSED KIOSK

PROJECT NAME: DW-010	DATE:	REVISION:
T.S. MAP NO.: N/A	ENGINEERED BY: MOTIVE DATE: 08-22-23	SCALE: 1"=20'
CITY: OAKLAND	DATE: 08-22-23	COUNTY: ALAMEDA
LOCATION: TELEGRAPH AVE. AND W. GRAND AVE.	PROJECT NO.: 198232800	DWG. NO.:

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

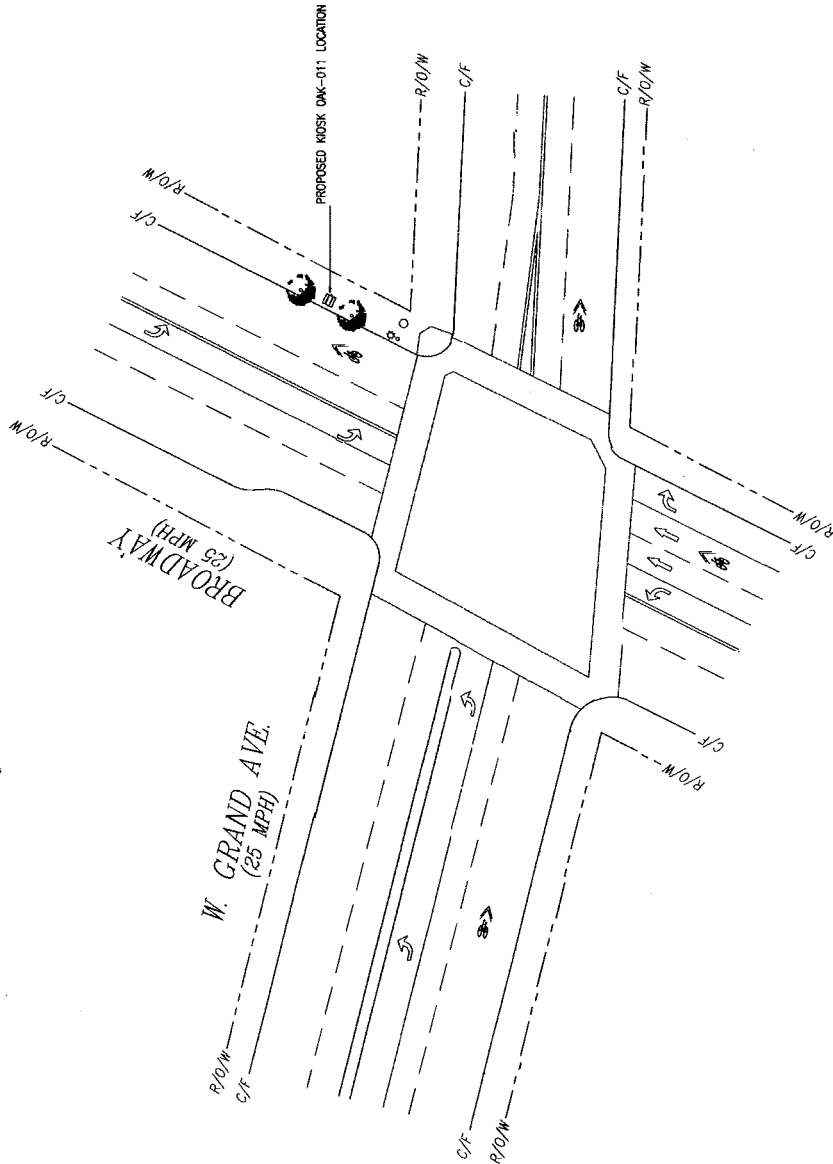
Know what's below.
Call before you dig.

1-800-4-A-DIG
TOLL FREE 1-800-442-3444 OR
www.1-800-4-a-dig.com

G² POLES

EXHIBIT

2228 Broadway



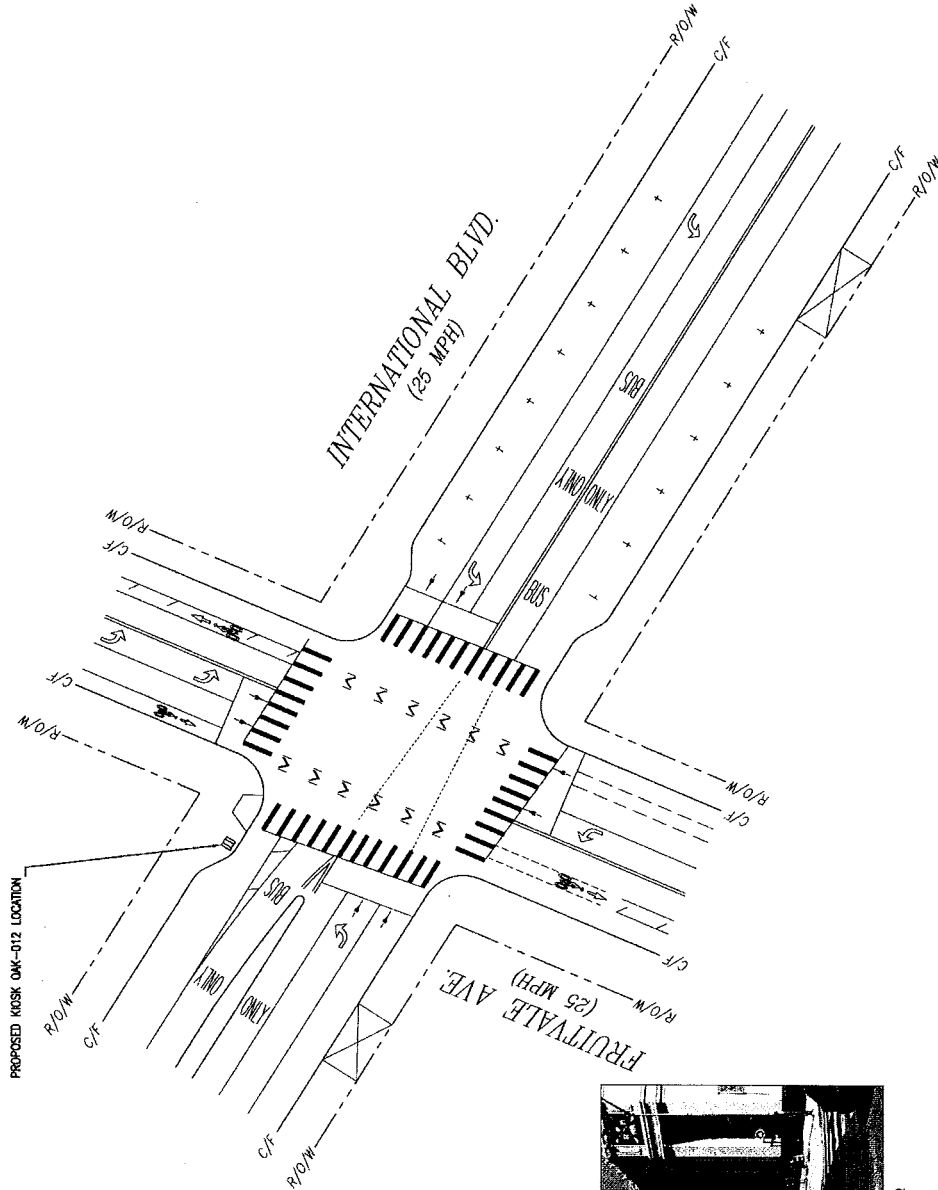
NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ALL UTILITIES AND STRUCTURES BEFORE COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND ALL EXISTING DIMENSIONS SHALL BE RECORDED ON THE PLAN.
- ALL EXISTING UTILITIES SHALL BE RECORDED ON THE PLAN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING EXISTING UTILITIES. THE CONTRACTOR SHALL IMMEDIATELY REMOVE SILT DEPOSITS THAT WASH OFF OR INTO EXISTING STORM DRAIN SYSTEMS.
- ALL UTILITIES SHALL BE CONDUCT PER LAYOUT AND PER CITY GUIDELINES AT ALL TIMES.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO BE CONSTRUCTED WITH THE SAME MATERIAL AND FINISH AS THE EXISTING SIDEWALK. THE CONTRACTOR SHALL MATCH THE COLOR AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	DESCRIPTION
(Dashed line)	EDGE OF DIRT	CONCRETE
(Solid line)	WHITE LINE	DECORATIVE
(Circle with dot)	UTILITY POLE	UTILITY VALVE
(Circle with cross)	ST. LIGHT	UTILITY MANHOLE/VAULT
(Circle with dot and cross)	ST. LIGHT	UTILITY LD
(Circle with dot and cross)	ST. LIGHT	SEWER MANHOLE
(Circle with dot and cross)	ST. LIGHT	SQUARE VENT
(Circle with dot and cross)	ST. LIGHT	WATER VENT
(Circle with dot and cross)	ST. LIGHT	REGULATORS
(Circle with dot and cross)	ST. LIGHT	(POC) POINT OF C/F
(Circle with dot and cross)	ST. LIGHT	SEALED CURB RAMP
(Circle with dot and cross)	ST. LIGHT	PROPOSED KIOSK
(Circle with dot and cross)	ST. LIGHT	PROPOSED DRIVEWAY
(Circle with dot and cross)	ST. LIGHT	PROPOSED FENCE
(Circle with dot and cross)	ST. LIGHT	PROPOSED WALL
(Circle with dot and cross)	ST. LIGHT	PROPOSED DRIVEWAY

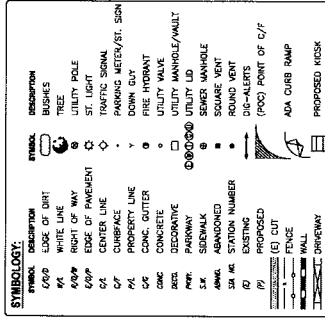
	<p>TO ORDER OR FOR MORE INFORMATION, CONTACT US AT THE FOLLOWING NUMBERS:</p> <p>TOLL FREE: 1-800-642-2444 OR</p> <p>www.g2poles.com</p> <p>Know what's below. Call before you dig. BEFORE YOU EXCAVATE.</p>	<p>UNDERGROUND UTILITIES NOTE:</p> <p>THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.</p>	<p>DATE: _____</p> <p>REVISION: _____</p>	<p>PROJECT NAME: DAK-011</p> <p>T.C. MAP NO.: N/A</p> <p>ENGINEERED BY: M/VA</p> <p>DRAWN BY: M/VA</p> <p>LOCATION: BROADWAY & W. GRAND AVE.</p> <p>PROJECT NO.: 1062228901</p> <p>DWG. NO.: _____</p>
				<p>DATE: _____</p> <p>REVISION: _____</p>

EXHIBIT 3136 International Blvd



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- FOR ALL UTILITIES, GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- ALL UTILITIES LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL UTILITIES BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS. DURING CONSTRUCTION AND OPERATIONS, THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE TO ADJACENT AND/OR CONFLICTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTING AGENCIES. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS WHERE UTILITIES CROSS ADJACENT AND/OR CONFLICTING UTILITIES. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO PRE-EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTHS OF ALL UTILITIES.



STREET VIEW (LOOKING NORTH)

UNDERGROUND UTILITIES NOTE:
THE EXISTING UTILITIES SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

FOR MORE LOCALITY OF INVESTIGATION
CONTACT: 800-452-4444 OR
TOLL FREE: 1-800-452-4444 OR
800-452-4444
BEFORE YOU DIG,
Call before you dig.

MOTIVE
INFRASTRUCTURE SOLUTIONS

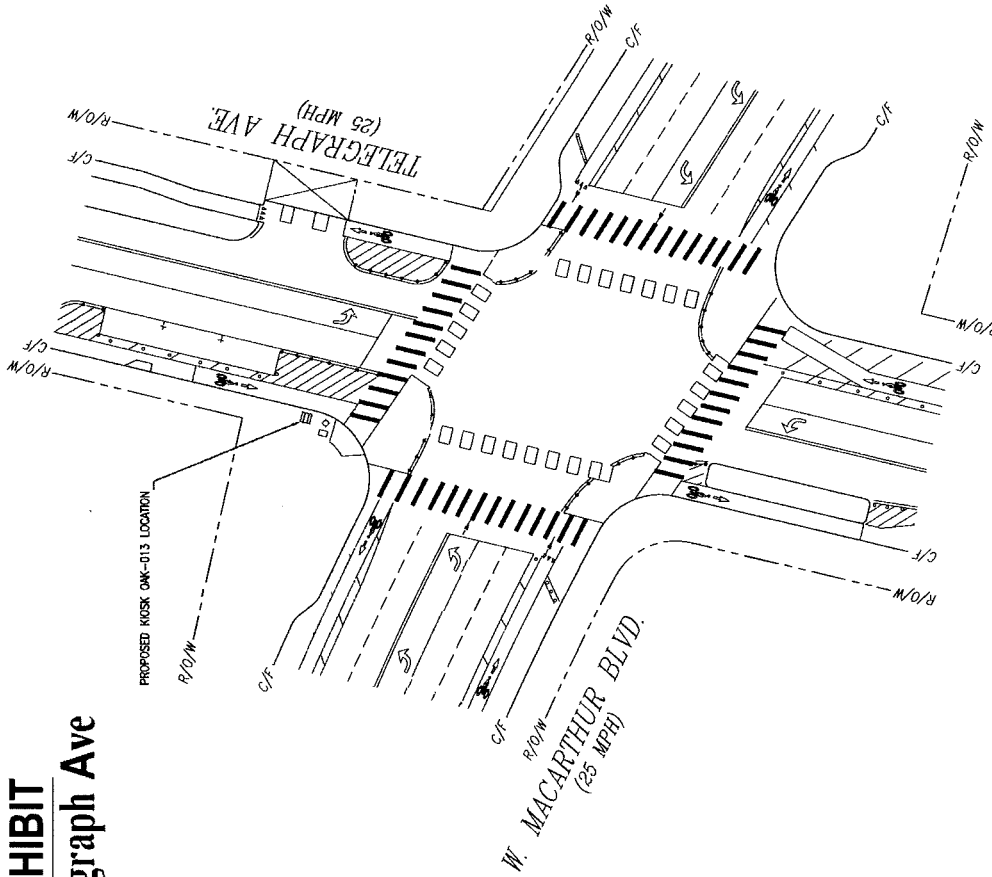
8521 FALLBROOK AVE #200
DUBLIN, CA 94568
PHONE: (925) 835-3300 FAX: (925) 225-1373
EMAIL: PERMITS@MOTIVE-ENERGY.COM

PROJECT NAME:	DMK-012	PERMIT NO.:	
T.G. MAP NO.:	N/A	DATE:	
ENGINEERED BY:	MOTIVE	DATE:	05-23-23
DRAWN BY:	MOTIVE	DATE:	05-23-23
CITY:	DAKLAND	COUNTY:	ALAMEDA
LOCATION:	INTERNATIONAL BLVD. AND FRUITVALE AVE.		
PROJECT NO.:	1042233802		
DWG. NO.:			

EXHIBIT 3801 Telegraph Ave

NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS FOR ALL UTILITIES LOCATED IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS OPERATIONAL. PROMOTE SILT PROGRESS THAT WASHES OFF SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH THE EXISTING SIDEWALK AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
(Symbol)	EDGE OF DIRT	(Symbol)	BUSHES
(Symbol)	WHITE LINE	(Symbol)	TREE
(Symbol)	RIGHT OF WAY	(Symbol)	UTILITY POLE
(Symbol)	EDGE OF PAVEMENT	(Symbol)	ST. LIGHT
(Symbol)	CONC. CURB	(Symbol)	PASTIC SIGNAL
(Symbol)	PROPERTY LINE	(Symbol)	DOWN GUY
(Symbol)	CONC. CUTTER	(Symbol)	FIRE HYDRANT
(Symbol)	CONCRETE	(Symbol)	UTILITY VALVE
(Symbol)	DECORATIVE	(Symbol)	UTILITY MANHOLE/VAULT
(Symbol)	PARALLEL	(Symbol)	SEWER MANHOLE
(Symbol)	ABANDONED	(Symbol)	SOURCE YARD
(Symbol)	EXISTING	(Symbol)	PROPOSED
(Symbol)	PROPOSED	(Symbol)	POCC FRONT OF C/F
(Symbol)	PROPOSED	(Symbol)	ADA CURB RAMP
(Symbol)	PROPOSED	(Symbol)	PROPOSED KIOSK

PROJECT NAME: OKM-013	DATE:	REVISION:
T.G. MAP NO.: N/A	ENGINEERED BY: MOTIVE DATE: 08-23-23	CITY: OAKLAND
DRAWN BY: MOTIVE DATE: 08-23-23	COUNTY: ALAMEDA	LOCATION:
TELEGRAPH AVE. & W. MACARTHUR BLVD.		
PROJECT NO.: 1082328603	DWG. NO.:	

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, SEARCH OF AVAILABLE RECORDS, THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

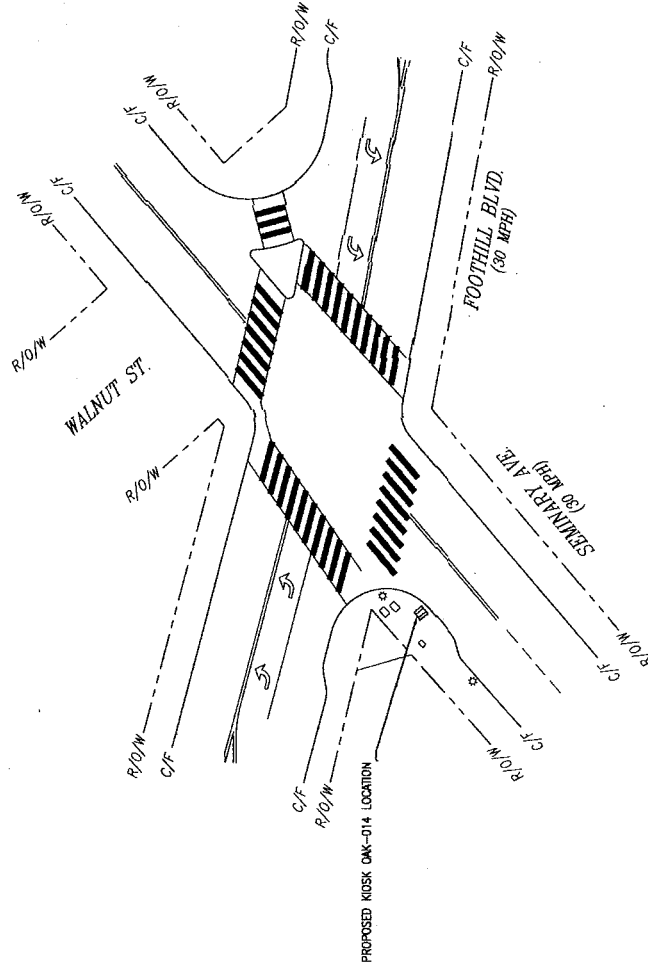
TO OBTAIN A COPY OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS, CONTACT THE CALIFORNIA HIGHWAY PAVEMENT BOARD. TOLL FREE 1-800-642-2444 OR VISIT WWW.CALHIGHWAYBOARD.COM. KNOW WHAT'S BELOW. Call before you dig.



SCALE: 1" = 20'

EXHIBIT

5859 Foothill Blvd



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR ADJOINING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. CLEARANCES SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES FROM THE CITY AND ANY AGENCIES INVOLVED.
6. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING SIDEWALK AND REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING SIDEWALK AND REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING SIDEWALK UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION
(Symbol)	EDGE OF DIRT
(Symbol)	BUSHES
(Symbol)	TREE
(Symbol)	UTILITY POLE
(Symbol)	ST. LIGHT
(Symbol)	TRAFFIC SIGNAL
(Symbol)	TRAFFIC JUNCTION
(Symbol)	TRUCK STOP
(Symbol)	CONC. GUTTER
(Symbol)	CONCRETE
(Symbol)	DECORATIVE
(Symbol)	UTILITY VALVE
(Symbol)	UTILITY MANHOLE/VAULT
(Symbol)	UTILITY LID
(Symbol)	SEWER MANHOLE
(Symbol)	SQUARE VENT
(Symbol)	ROUND VENT
(Symbol)	SEWER VENT
(Symbol)	PROPOSED
(Symbol)	(PCC) POINT OF C/F
(Symbol)	ADA CURB RAMP
(Symbol)	PROPOSED KIOSK

PROJECT NAME: DM-014		PERMIT NO.:	
T.G. MAP NO.: N/A		DATE:	
ENGINEERED BY: MOTVE		DATE: 06-28-23	
CITY: OAKLAND		COUNTY: ALABAMA	
CREATED BY: MOTVE		DATE: 05-28-23	
LOCATION:			
FOOTHILL BLVD. AND SEMINARY AVE.			
PROJECT NO.: 1982232894		DWG. NO.:	

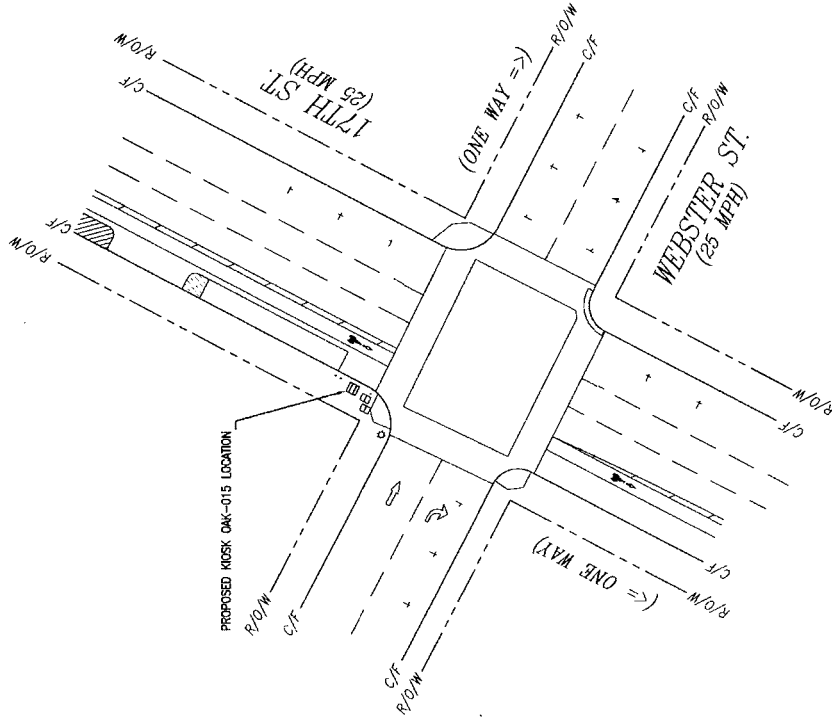
SCALE: 1"=20'

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

THE INFORMATION ON THIS PLAN WAS OBTAINED FROM THE FOLLOWING SOURCES:
UNDERGROUND UTILITIES INFORMATION
CENTRAL CALL (404) 527-1111
TOLL FREE: 1-800-942-2444 OR
www.underground1.com
RECORDS SECTION
Call before you dig. APPROVE TO EXCAVATE

EXHIBIT

1709 Webster St



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. ANY DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
2. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS, DRIVEWAYS, OR EXISTING STORM DRAIN SYSTEMS.
4. THE CONTRACTOR SHALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS WHERE UTILITIES ARE TO BE EXPOSED.
5. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH THE EXISTING SIDEWALK ON THE PLANS TO MATCH THE EXISTING SIDEWALK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE SIDEWALK TO THE EXISTING SIDEWALK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MATCHING THE SIDEWALK TO THE EXISTING SIDEWALK.

SYMBOL	DESCRIPTION
○	EDGE OF DIRT
○	WHITE LINE
○	RIGHT OF WAY
○	EDGE OF PAVEMENT
○	CENTER LINE
○	PROPERTY LINE
○	CONC. GUTTER
○	CONCRETE
○	DECORATIVE
○	PARALLEL
○	SIDEWALK
○	ABANDONED
○	STATION NUMBER
○	PROPOSED
○	EXISTING
○	OUT
○	WALL
○	DRIVEWAY
○	BUSSES
○	TREE
○	UTILITY POLE
○	ST. LIGHT
○	TRAFFIC SIGNAL
○	PARKING METER/ST. SIGN
○	FIRE HYDRANT
○	UTILITY VALVE
○	UTILITY MAN-HOLE/AULT
○	UTILITY LD
○	SEWER MANHOLE
○	SQUARE VENT
○	ROUND VENT
○	DOCK-LEVEL
○	POSS POINT OF C/F
○	ADA CURB RAMP
○	PROPOSED MOSEK

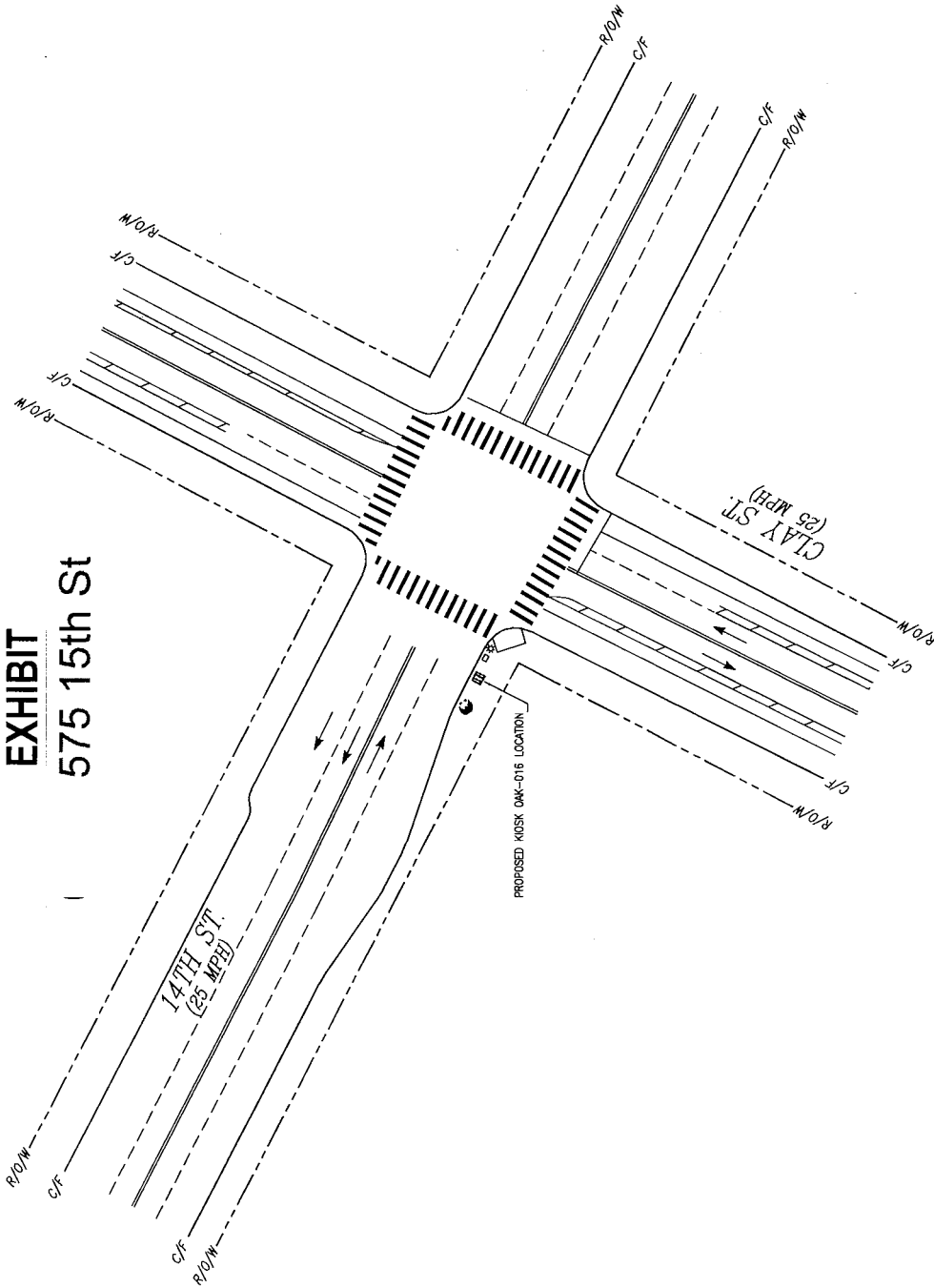
PROJECT NAME: OAK-015	DATE:
T.G. MAP NO.: N/A	ENGINEERED BY: MOTIVE
DATE: 06-23-23	CITY: OAKLAND
DRAWN BY: MOTIVE	DATE: 06-23-23
COUNTY: ALABAMA	LOCATION:
WEBSTER ST. AND 17TH ST.	
PROJECT NO.: 198233905	DWG. NO.:

UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

TO GET THE LOCATION OF UTILITIES IN YOUR AREA, CALL 800-4-A-POLES OR VISIT US ONLINE AT WWW.4-POLES.COM. TOLL FREE 1-800-4-A-POLES OR VISIT US ONLINE AT WWW.4-POLES.COM. CALL BEFORE YOU DIG. PLEASE DON'T SKIMP.



EXHIBIT 575 15th St



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR INTERFERING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND CONTRACTOR'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
2. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING. FOR REFERENCE ONLY, CONTRACTORS SHALL VERIFY RIGHT-OF-WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR MAINTAINING THESE LIMITS THROUGHOUT CONSTRUCTION. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE REESTABLISHED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP PAVEMENT AND SILT FROM THE ADJACENT SIDEWALKS AND DRIVEWAYS.
3. CONTRACTORS SHALL IMMEDIATELY REMOVE SILT DEBRIS THAT WASHES OFF-SITE OR INTO THE ADJACENT SIDEWALKS AND DRIVEWAYS.
4. CONTRACTORS SHALL CONDUCT PER LAYOUT AND PER CITY GUIDELINES AT ALL TIMES TO MAINTAIN THE EXISTING SIDEWALK AND DRIVEWAY SURFACES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIDEWALK AND DRIVEWAY SURFACES AT ALL TIMES. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	CONC. CONCRETE	○	UTILITY VALVE
○	REINFORCED CONCRETE	○	UTILITY MANHOLE/WALK
○	SEWER	○	SEWER MANHOLE
○	SEWER	○	SQUARE VENT
○	SEWER	○	ROUND VENT
○	SEWER	○	DE-ALGITS
○	SEWER	○	(POC) POINT OF C/F
○	SEWER	○	ADA CURB RAMP
○	SEWER	○	PROPOSED KIOSK
○	SEWER	○	PROPOSED DRIVEWAY

PROJECT NAME: OK-016		PERMIT NO.:
U.S. MAP NO.: N/A		DATE:
ENGINEER BY: MOTIVE	DATE: 06-06-23	CITY: OKLAHOMA
DRAWN BY: MOTIVE	DATE: 06-06-23	COUNTY: MUSKOGEE
LOCATION: CLAY ST. AND 14TH ST.		
PROJECT NO.:		DWG. NO.:



SCALE:
1"=20'

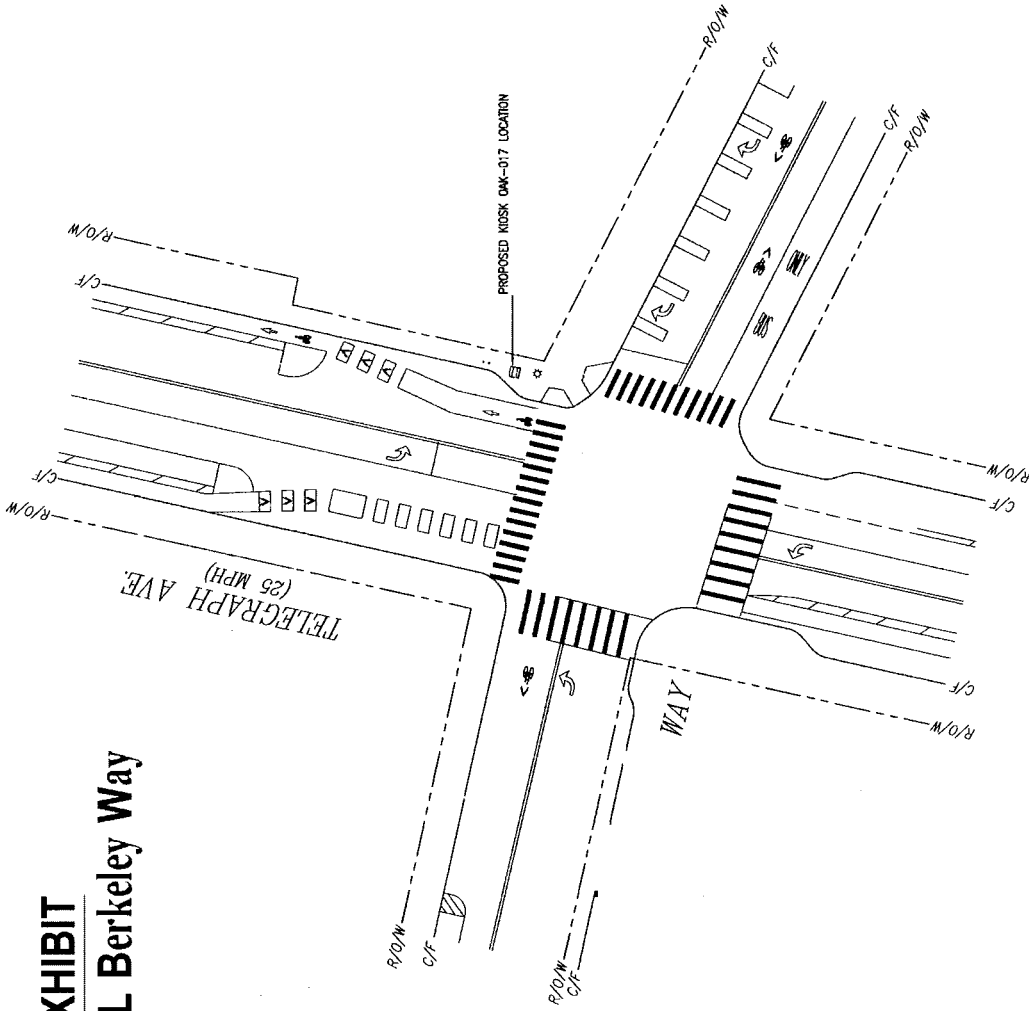
UNDERGROUND UTILITIES NOTE:
THE LOCATION AND EXISTENCE OF ANY UNDERGROUND UTILITIES, AS SHOWN BY A SEARCH OF AVAILABLE RECORDS, THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THESE PLANS. CONTRACTORS SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND ANY OTHER LINES NOT SHOWN ON THE PLAN.

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EXHIBIT

490 Thomas L Berkeley Way



NOTES:

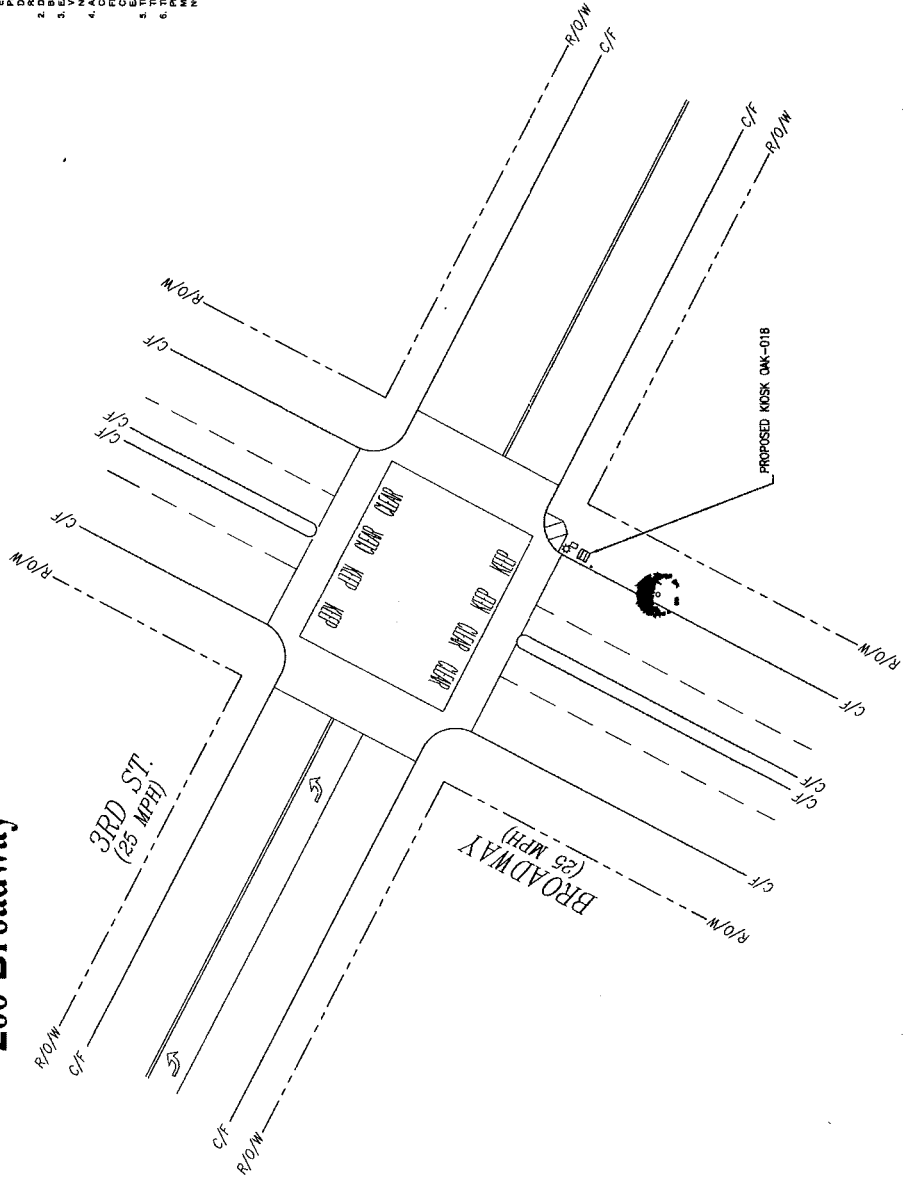
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ALL UTILITIES AND TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND CONTRACTOR IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND PROTECTING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT PROPERTIES. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT LOGS THAT WASH OFF SITE ON TO EXISTING STORM DRAIN SYSTEMS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT PROPERTIES.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING CONDITION AND SHALL MATCH THE COLOR AND TEXTURE OF THE EXISTING SIDEWALK UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION
(Symbol)	EDGE OF DIRT
(Symbol)	WHITE LINE
(Symbol)	RIGHT OF WAY
(Symbol)	EDGE OF PAVEMENT
(Symbol)	CENTER LINE
(Symbol)	PROPERTY LINE
(Symbol)	CONC. GUTTER
(Symbol)	CONCRETE
(Symbol)	DECORATIVE
(Symbol)	PAVING
(Symbol)	SEWER MANHOLE
(Symbol)	WATER MANHOLE
(Symbol)	UTILITY MANHOLE/WALL
(Symbol)	UTILITY VALVE
(Symbol)	UTILITY LD
(Symbol)	SEWER MANHOLE
(Symbol)	SQUARE VENT
(Symbol)	ROUND VENT
(Symbol)	ROUND VENT
(Symbol)	ROUND VENT
(Symbol)	(POC) POINT OF C/F
(Symbol)	ADA CURB RAMP
(Symbol)	PROPOSED KIOSK

	<p>THE ONLY COMPANY IN THE NATION OFFERING A COMPLETE LINE OF UTILITY AND TELECOMMUNICATION POLES AND ACCESSORIES. TOLL FREE: 1-800-642-2444 OR WWW.G2POLES.COM 10000 W. 10TH AVENUE DENVER, CO 80231 PHONE: 303-733-0400</p>	<p>UNDERGROUND UTILITIES NOTE: THE LOCATION AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN IS BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ALL UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.</p>	<p>DATE: _____</p> <p>REVISION: _____</p>	<p>PROJECT NAME: OAK-017</p> <p>T.C. MAP NO.: N/A</p> <p>ENGINEER BY: MOTIVE DATE: 08-26-23</p> <p>DRAWN BY: MOTIVE DATE: 08-26-23</p> <p>CITY: OAKLAND</p> <p>COUNTY: ALAMEDA</p> <p>LOCATION: TELEGRAPH AVE. AND THOMAS L. BERKLEY WAY</p> <p>PROJECT NO.: 1582328007</p> <p>SWG. NO.:</p>
	<p>PERMIT NO.:</p> <p>DATE:</p>	<p>SCALE: 1"=20'</p>	<p>DATE: _____</p>	<p>DATE: _____</p>
	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>
	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>	<p>DATE: _____</p>

EXHIBIT


200 Broadway



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS FOR ALL UTILITIES AND CONSTRUCTION UTILITIES. SUFFICIENT ADVANCE OF CONSTRUCTION SO THAT LOCATIONS AND DIMENSIONS ARE IDENTIFIED IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND CONTRACTOR IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE PRESENCE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
2. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
3. VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND ALL UTILITIES AND DIMENSIONS OF ANY CONFLICTS.
4. ALL UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD PLANS AND FIELD SURVEY. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SET POINTS UNCHANGED. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL LOGS THAT WASHES OFF SITE ON TO EXISTING STORM DRAIN SYSTEMS.
5. FRENCH WIDTH THEY SEE FIT.
6. THE CONTRACTOR SHALL REPLACE THE EXISTING SURF ON THE PLANS TO BE MAINTAINED WITH THE SAME TYPE AND FINISH AS THE EXISTING SURF. THE CONTRACTOR SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—	EDGE OF DIRT	⊙	BUSHES
—	WHITE LINE	⊙	TREE
—	RIGHT OF WAY	⊙	UTILITY POLE
—	EDGE OF PAVEMENT	⊙	ST. LIGHT
—	CURB LINE	⊙	TRAFFIC SIGNAL
—	PROPERTY LINE	⊙	DOWN CUT
—	CONC. CUTTER	⊙	FIRE HYDRANT
—	CONCRETE	⊙	UTILITY VALVE
—	DECORATIVE	⊙	UTILITY MANHOLE/VAULT
—	PARALLEL	⊙	UTILITY LD
—	SEWER	⊙	SEWER MANHOLE
—	ASPHALTED	⊙	SQUARE VENT
—	PAVEMENT NUMBER	⊙	ROUND VENT
—	EXISTING	⊙	POLE/POST
—	PROPOSED	⊙	(POC) POINT OF C/F
—	LED CUT	⊙	ADA CURB RAMP
—	FENCE	⊙	PROPOSED KIOSK
—	WALL	⊙	
—	DRIVEWAY	⊙	

 <p>SCALE: 1"=20'</p>	PROJECT NAME: DW-018 (OPTION 2) DATE:	PERMIT NO.: DATE:
	T.C. MAP NO.: N/A ENGINEERED BY: M/VE DATE: 08-23-23 CITY: OAKLAND	COUNTY: ALABAMA
LOCATION: BROADWAY AND 3RD ST.		
PROJECT NO.: 1062232608		
DWG. NO.:		

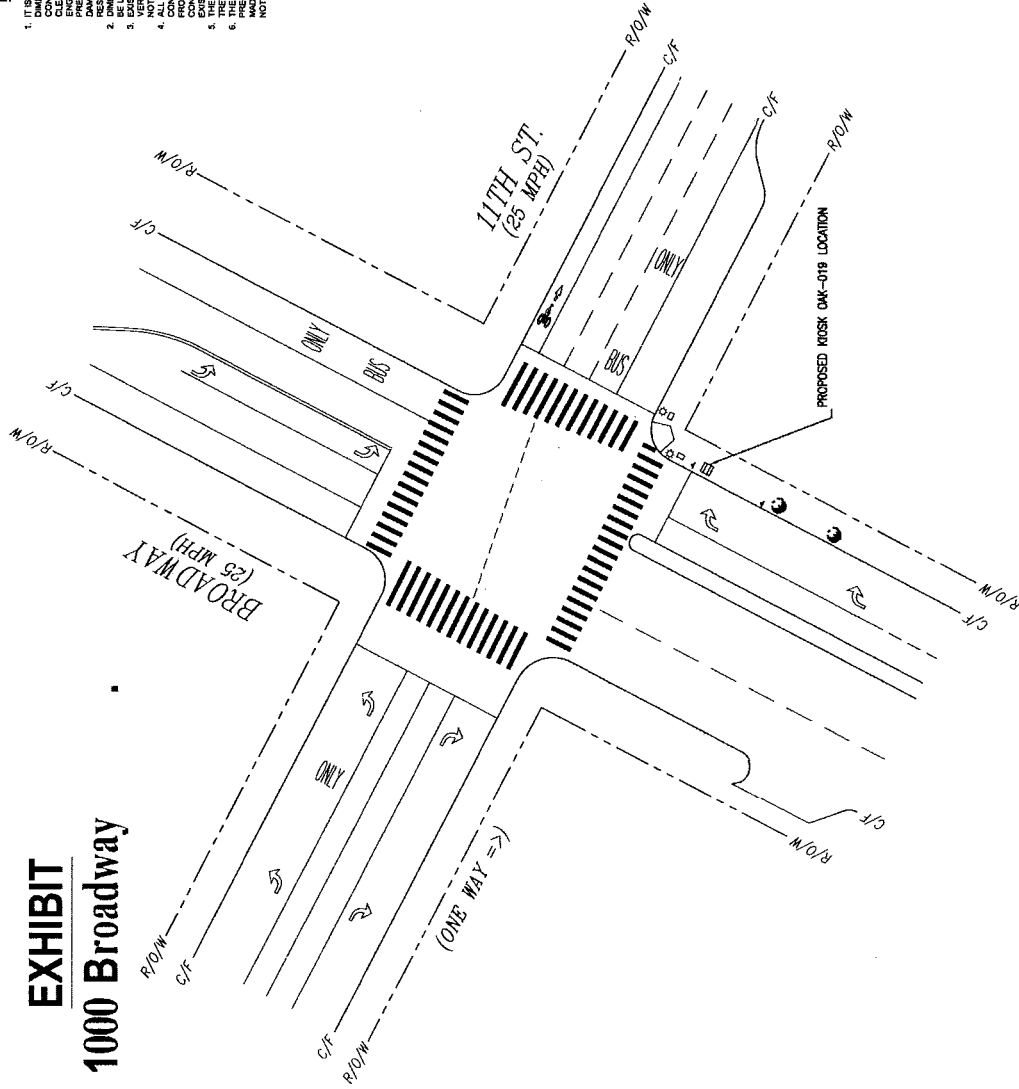
UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED ON RECORD PLANS AND FIELD SURVEY. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.


 Know what's below.
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EXHIBIT

1000 Broadway



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	○	BUSHES
—	WHITE LINE	○	TREE
—	RIGHT OF WAY	○	UTILITY POLE
—	EDGE OF PAVEMENT	○	ST. LIGHT
—	CENTER LINE	○	TRAFFIC SIGNAL
—	PROPERTY LINE	○	TRUCK STOP/ST. SIGN
—	CONC. GUTTER	○	DOWN CURB
—	DECORATIVE	○	FIRE HYDRANT
—	PARWAY	○	UTILITY VALVE
—	ABANDONED	○	UTILITY MANHOLE/VAULT
—	STATION NUMBER	○	UTILITY LID
—	PROPOSED	○	SEWER MANHOLE
—	PROPOSED	○	ROUND VENT
—	PROPOSED	○	ROUND VENT
—	PROPOSED	○	POSS. POINT OF C/F
—	PROPOSED	○	ADA CURB RAMP
—	PROPOSED	○	PROPOSED KIOSK

- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
 - VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP PAVEMENT AND SILT FROM ADJACENT PROPERTY OR CROSSING ADJACENT STREET.
 - EXISTING STORM DRAIN SYSTEMS: VERIFY AND REPORT ANY CHANGES TO THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION. PREPARE PERMITS AND PER CITY GUIDELINES AT THE CONTRACTOR'S EXPENSE.
 - THE CONTRACTOR SHALL REPLACE THE EXISTING SURVEY ON THE PLANS TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

PROJECT NAME:	DK-019	PERMIT NO.:	
T.C. MAP NO.:	N/A	DATE:	
ENGINEERED BY:	MOYNE	DATE:	08-23-13
DRAWN BY:	MOYNE	DATE:	08-23-13
CITY:	DAKUMD	COUNTY:	ALABAMA
LOCATION:	11th ST. & BROADWAY		
PROJECT NO.:	108232809		
DWG. NO.:			

REVISION	DATE

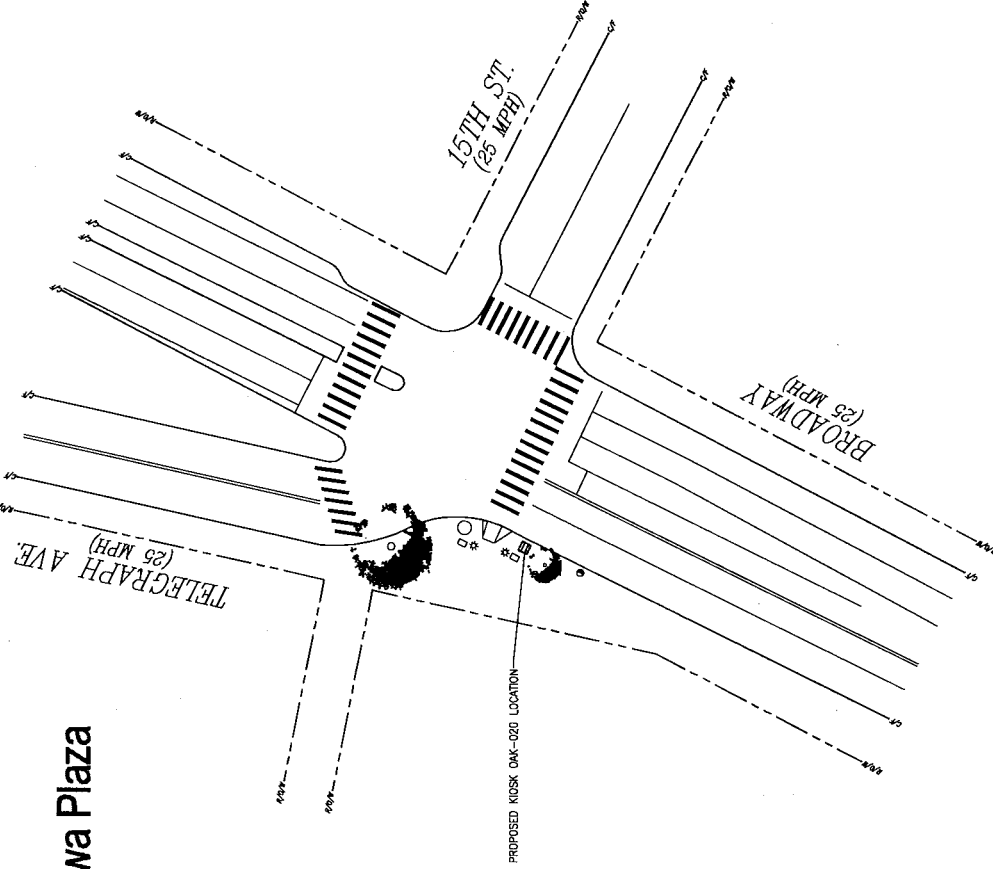


UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN WHICH WERE NOT RECORDED. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

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 Fax: 405-761-2445
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EXHIBIT 150 Frank H Ogawa Plaza



NOTES:

1. ALL DIMENSIONS ARE RESPONSIBILITY TO THE LOCAL AGENCIES, RELATIONS, AND CONSTRUCTION SO THAT ADJUSTMENTS TO ADJACENT UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION BE BEING PERFORMED. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
2. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION PURPOSES. ALL DIMENSIONS SHALL BE VERIFIED BY THE CONTRACTOR.
3. EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXISTING ROW LOCATIONS BY FIELD SURVEY AND ADJUST AS NEEDED. NOTIFY THE OWNER AND ENGINEER OF ANY DISCREPANCIES.
4. ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RESTORED PER PLANS, THE CONTRACTOR SHALL IMMEDIATELY REMOVE SILT AND EROSION CONTROL MEASURES FROM THE AREA AND REPAIR ALL DAMAGE TO ADJACENT PROPERTY OR CROSSING ADJACENT PROPERTIES.
5. THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS.
6. PRE-CASTING GRADE: THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	BLUSHES		TREE
	UTILITY POLE		TRAFFIC SIGNAL
	PROPERTY LINE		DOWN CUT
	CONCRETE		FIRE HYDRANT
	DECORATIVE		UTILITY MANHOLE/WALL
	SEWER		STREET LIGHT
	ABANDONED		SQUARE VENT
	STATION NUMBER		ROUND VENT
	EXISTING		D&A ALERTS
	PROPOSED		(POC) POINT OF C/F
	EASEMENT		ADA CURB RAMP
	EASEMENT		PROPOSED KIOSK

PROJECT NAME:	OAK-020	PERMIT NO.:	
T.S. MAP NO.:	N/A	DATE:	
ENGINEER BY:	NOTE DATE: 06-06-23	CITY:	OAKLAND
DRAWN BY:	NOTE DATE: 06-06-23	COUNTY:	ALABAMA
LOCATION:	BROADWAY AND 15TH ST.		
PROJECT NO.:			
DWG. NO.:			



UNDERGROUND UTILITIES NOTE:
THE LOCATION AND EXISTENCE OF ANY UNDERGROUND UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.

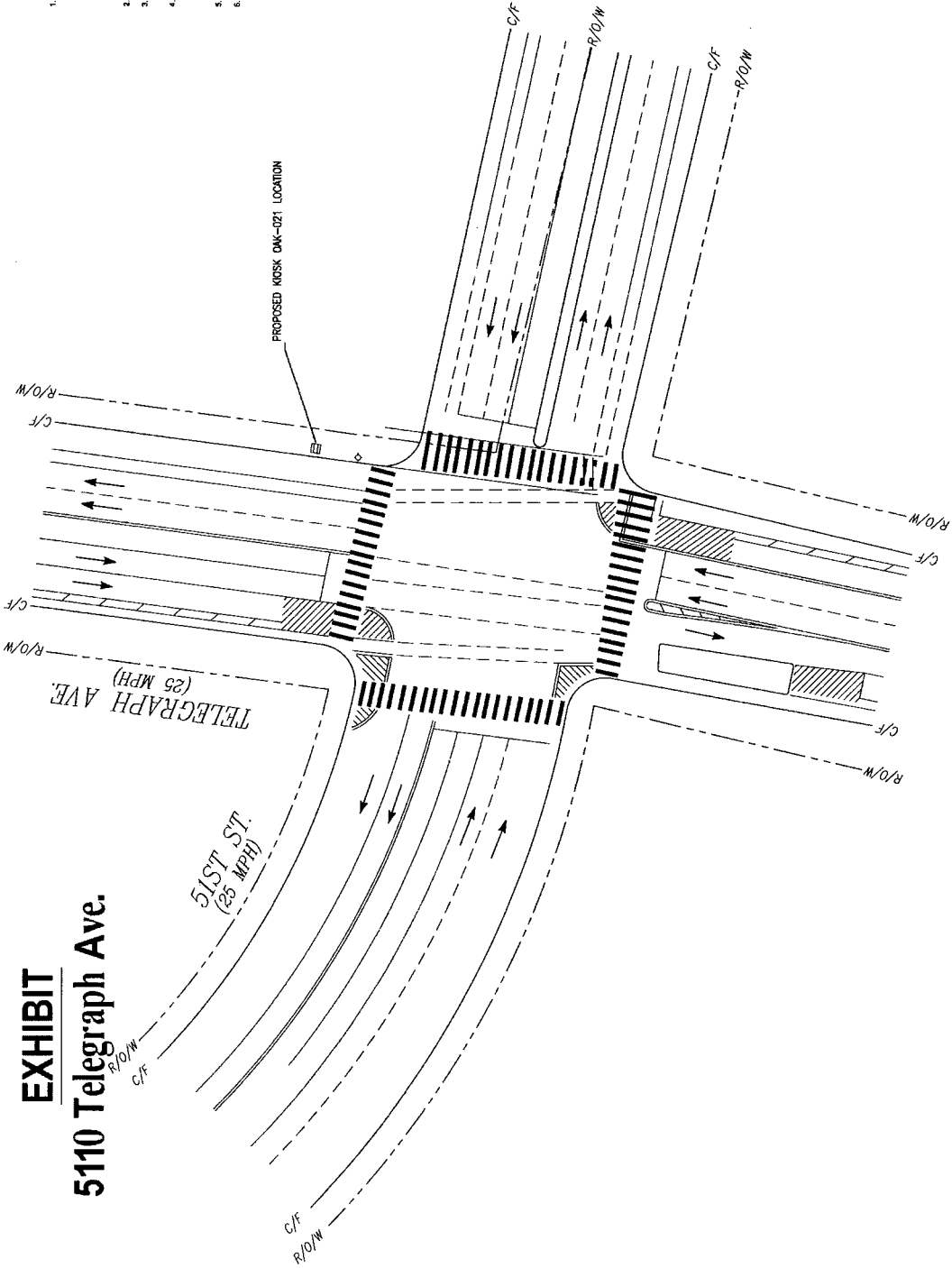
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EXHIBIT

5110 Telegraph Ave.



- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED.
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 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	○	BUSHES
—	WHITE LINE	○	TREE
—	RIGHT OF WAY	○	UTILITY POLE
—	EDGE OF PAVEMENT	○	ST. LIGHT
—	CENTER LINE	○	TRAFFIC SIGNAL
—	SURFACE LINE	○	PARKING METER/ST. SIGN
—	CONC. GUTTER	○	FIRE HYDRANT
—	CONCRETE	○	UTILITY VALVE
—	DECORATIVE	○	UTILITY MANHOLE/AULT
—	PARAWAY	○	SEWER MANHOLE
—	SHOULDER	○	SQUARE VENT
—	APPROVED	○	ROUND VENT
—	STATION NUMBER	○	DOG-ALERTS
—	EXISTING PAVED	○	(PO) POINT OF C/F
—	(E) CUT	○	ADA CURB RAMP
—	FENCE	○	PROPOSED KIDSK
—	WALL		
—	DRIVEWAY		

PROJECT NAME:	DAK-021	PERMIT NO.:	
T.C. MAP NO.:	N/A	DATE:	
ENGINEER BY:	NOTE	DATE:	08-19-23
CREATED BY:	NOTE	DATE:	08-19-23
CITY:	OAKLAND	COUNTY:	ALAMEDA
LOCATION:	TELEGRAPH AVE. AND 51ST ST.		
PROJECT NO.:	1082230014		
DWG. NO.:			

REVISION	DATE

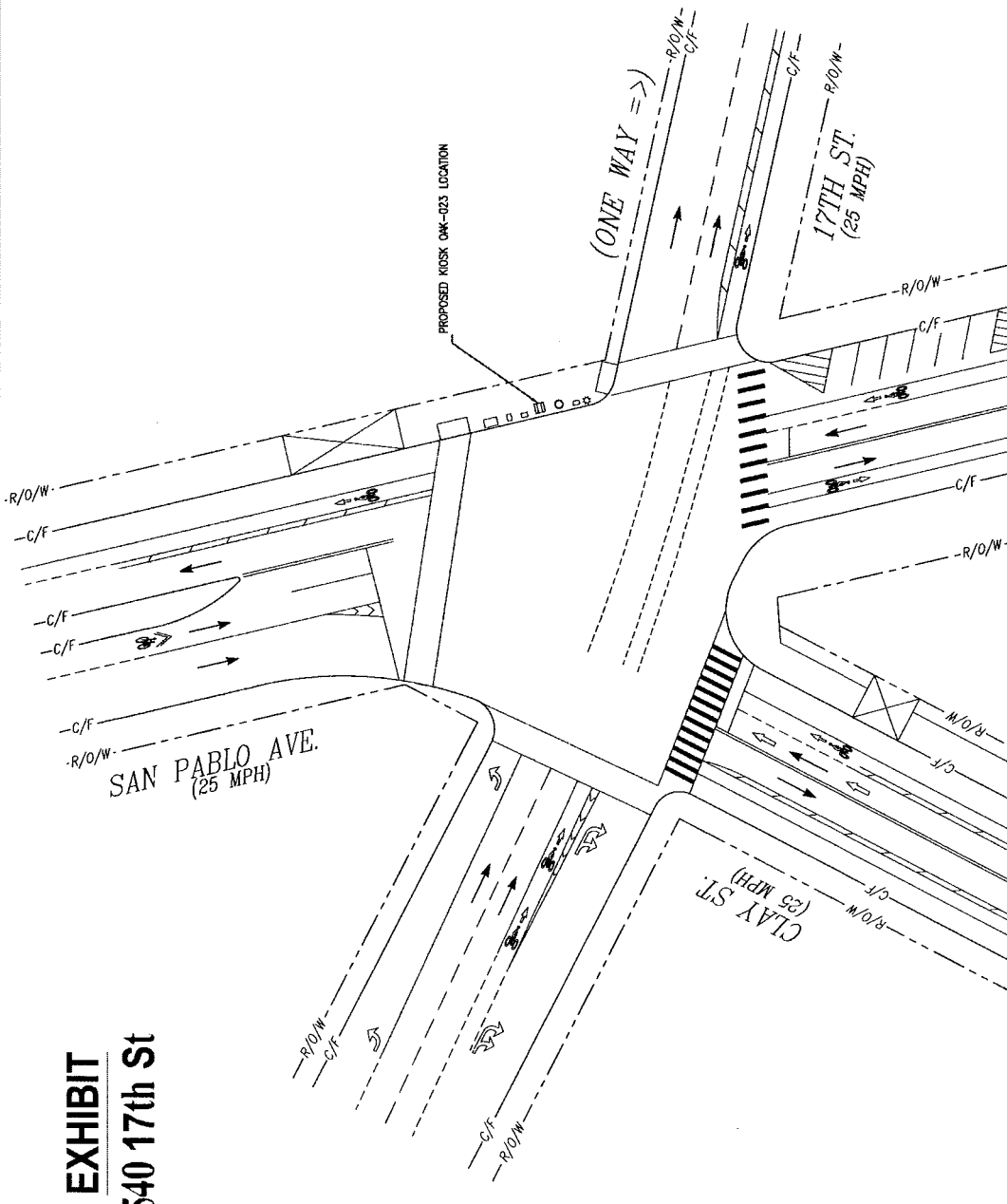


UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND UTILITIES, INCLUDING BUT NOT LIMITED TO WATER, GAS, ELECTRIC, AND TELEPHONE, HAVE BEEN RESEARCHED BY THE ENGINEER. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

TOLL FREE: 1-800-842-2444 OR
 www.g2poles.com
 Call before you dig.

EXHIBIT

540 17th St



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND RESOLVED IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CLEARANCES AND PRESERVING AND PROTECTING PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR CONSTRUCTION PURPOSES.
- ALL DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR CONSTRUCTION PURPOSES.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RESTABILIZED PER PLANS. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND BELT SYSTEMS OPEN AND UNOCCUPIED AT ALL TIMES. CONTRACTOR SHALL IMMEDIATELY REMOVE ALL OBSTRUCTIONS THAT WASHED ON-SITE OR INTO EXISTING DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SURF ON THE PLANS TO THE ORIGINAL FINISH GRADE AND SHALL MAINTAIN THE ORIGINAL FINISH GRADE THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SURF ON THE PLANS TO THE ORIGINAL FINISH GRADE AND SHALL MAINTAIN THE ORIGINAL FINISH GRADE THROUGHOUT CONSTRUCTION.

SYMBOL		DESCRIPTION
○	○	EDGE OF DIRT
○	○	WHITE LINE
○	○	RIGHT OF WAY
○	○	EDGE OF PAVEMENT
○	○	CURBFACE
○	○	PROPERTY LINE
○	○	CONC. OUTER
○	○	CONC. CONCRETE
○	○	DECORATIVE
○	○	PAVEMENT
○	○	SEWER MANHOLE
○	○	WATER MANHOLE
○	○	EXISTING
○	○	PROPOSED
○	○	POC POINT OF C/F
○	○	ASB CURB RAMP
○	○	PROPOSED KIOSK

PROJECT NAME: DMK-023	DATE:
ENGINEERED BY: N/A	DATE: 09-19-23
DRAWN BY: N/A	DATE: 09-19-23
CITY: OAKLAND	COUNTY: ALAMEDA
LOCATION: SAN PABLO AVE. AND 17TH ST.	
PROJECT NO.: 1062328017	DWG. NO.:

NO.	DATE	REVISION



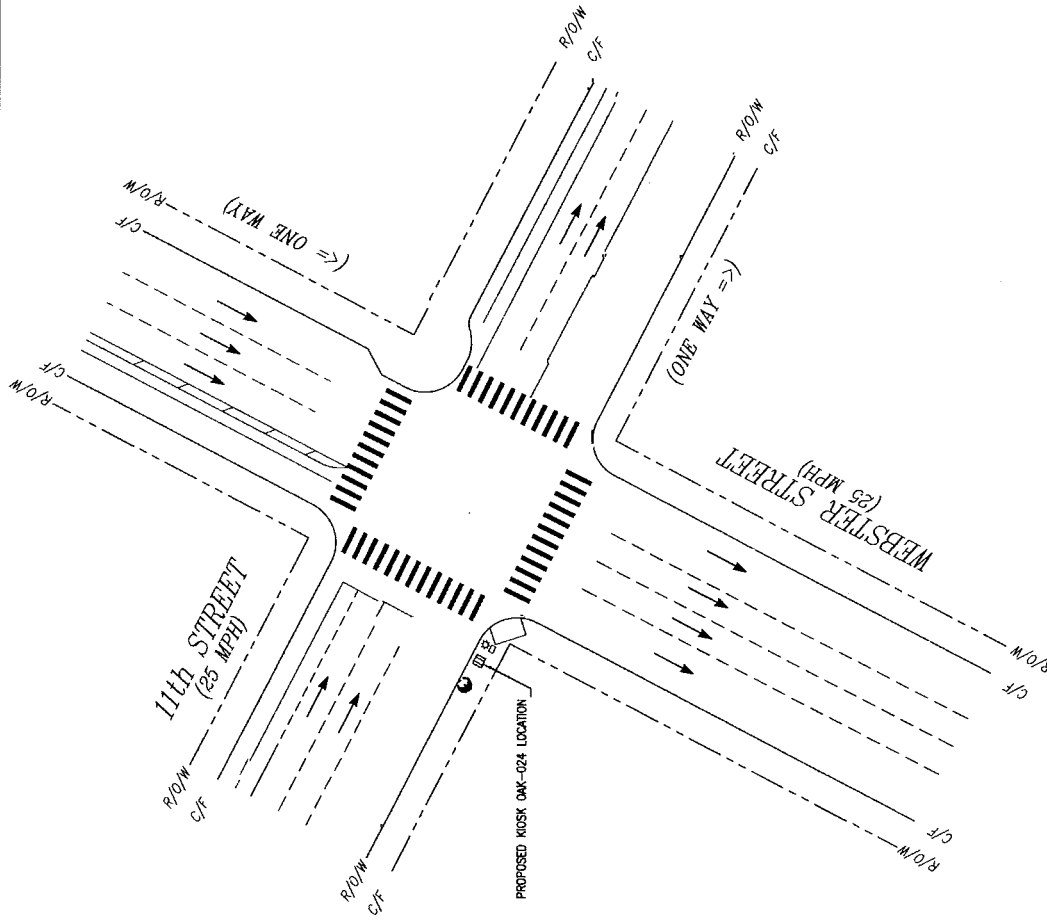
UNDERGROUND UTILITIES NOTE:
 THE LOCATION AND DISTANCE OF ANY UNDERGROUND UTILITIES, AS SHOWN ON THIS PLAN, ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.

THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. FOR MORE INFORMATION, CONTACT: CALL US AT 1-800-424-2444 OR VISIT OUR WEBSITE AT WWW.GPOLES.COM

Know what you dig. Before you dig, score your estimate.

GPOLES

EXHIBIT 383 11th St



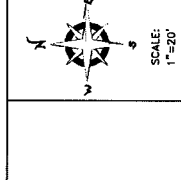
NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS FOR REFERENCE ONLY. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF OAKLAND'S STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE CITY OF OAKLAND'S STANDARD SPECIFICATIONS FOR UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
3. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL MEASURES IN PLACE THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL MEASURES IN PLACE THROUGHOUT THE PROJECT.
4. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL MEASURES IN PLACE THROUGHOUT THE PROJECT.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL MEASURES IN PLACE THROUGHOUT THE PROJECT.
6. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING SIDEWALK. THE CONTRACTOR SHALL MAINTAIN THE EXISTING SIDEWALK AND MAKE TO MATCH SLOPE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	○	BUSHES
—	WHITE LINE	○	TREE
—	RIGHT OF WAY	○	UTILITY POLE
—	EDGE OF PAVEMENT	○	ST. LIGHT
—	CENTER LINE	○	TRAFFIC SIGNAL
—	PROPERTY LINE	○	TRAFFIC SIGNAL (P/ST)
—	CONC. GUTTER	○	DOWN CURB
—	CONCRETE	○	UTILITY VALVE
—	DECORATIVE	○	UTILITY MANHOLE/VAULT
—	PARALLEL	○	SEWER MANHOLE
—	SIDEWALK	○	SQUARE VENT
—	ABANDONED	○	ROUND VENT
—	STATION NUMBER	○	MANHOLE
—	PROPOSED	○	(POC) POINT OF C/F
—	EXISTING	○	ADA CURB RAMP
—	EXISTING	○	PROPOSED KIOSK

PROJECT NAME: OAK-024	DATE: 08-19-23
T.C. MAP NO.: N/A	ENGINEERED BY: N/A
DATE: 08-19-23	DATE: 08-19-23
CITY: OAKLAND	COUNTY: ALAMEDA
LOCATION: 11th STREET & WEBSTER STREET	
PROJECT NO.: 1982228018	DWG. NO.:

REVISION	DATE



UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

THE OAKLAND OFFICE OF THE
ENGINEER AND SURVEYOR
CENTRAL OFFICE
TOLL FREE 1-800-642-2444 OR
www.oakland.gov
ADDRESS: 500 12TH ST
OAKLAND, CA 94612
PHONE: 510-231-3000

Know what's below.
Call before you dig.

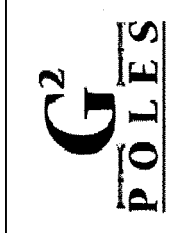
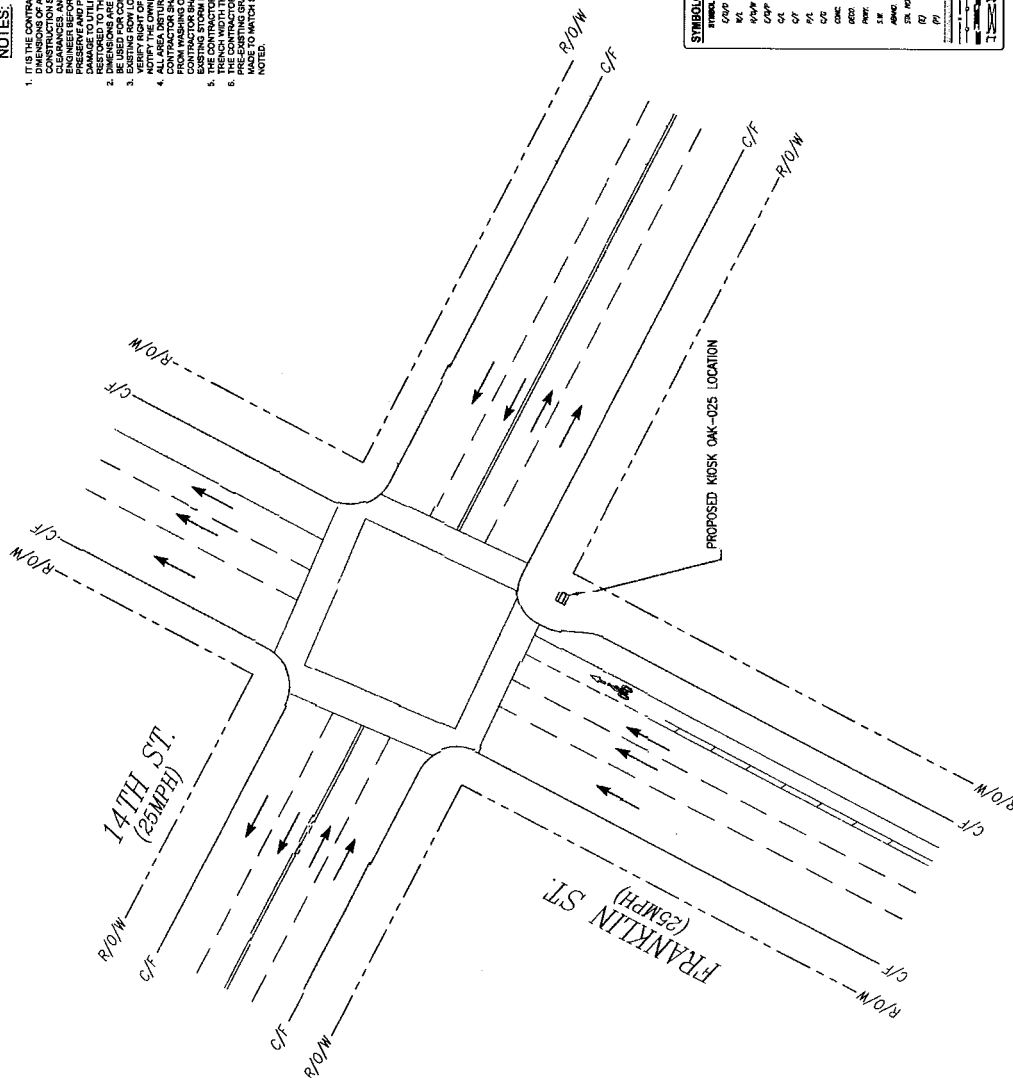


EXHIBIT 1398 Franklin St.

NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, DEPTHS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES. SUFFICIENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. DIMENSIONS SHALL BE USED FOR CONSTRUCTION STAKING.
- EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS, THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND SIDEWALKS AND SET EXISTING STORM DRAIN SYSTEMS. REMOVE SIGNAGE THAT WASHES OFF-SITE OR INTO THE STREET.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER OUTLET AND PER CITY GUIDELINES AT ALL LOCATIONS WHERE UTILITIES CROSS THE STREET.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO PRESERVE GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MATCHED FOR COLOR AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



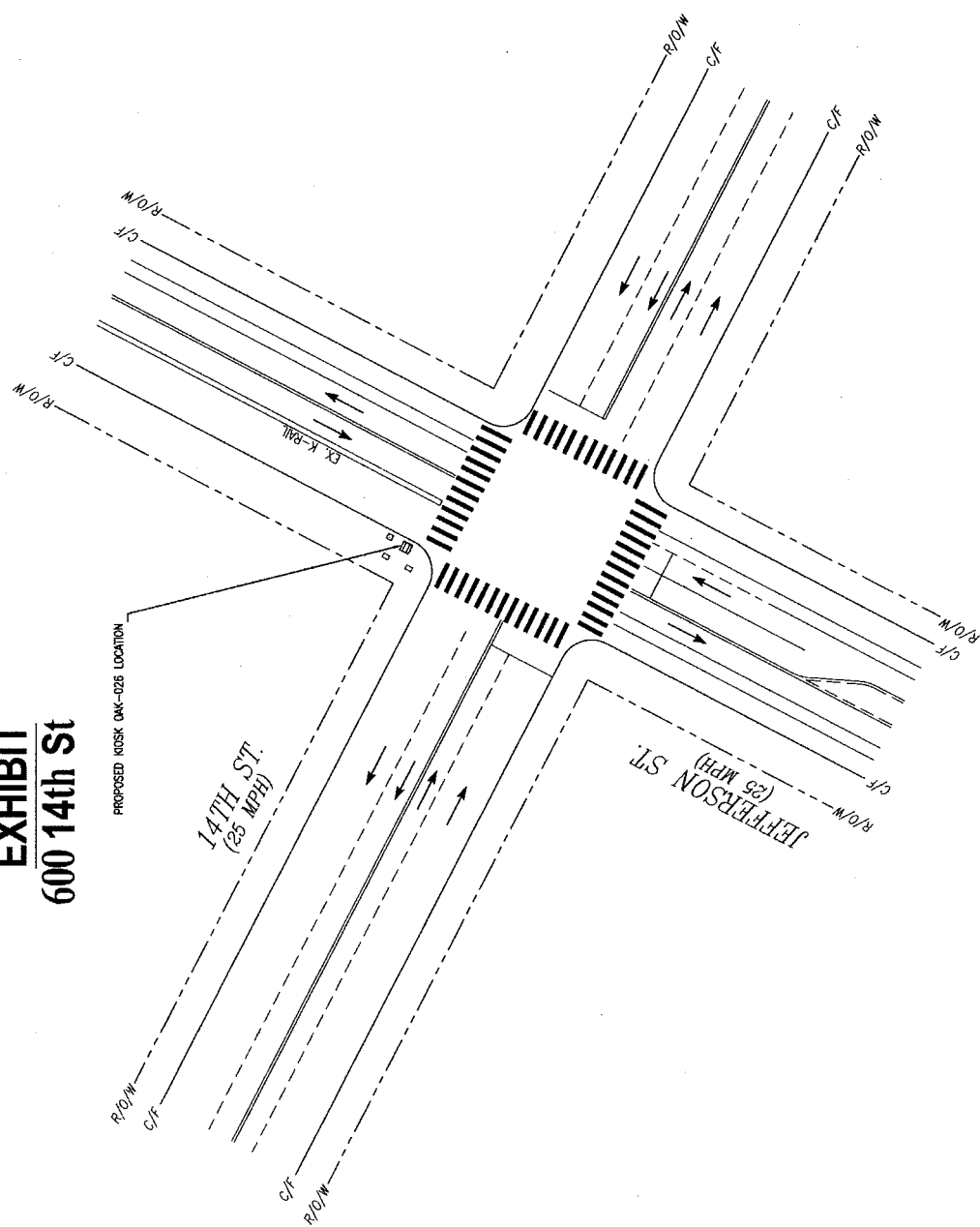
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	EDGE OF BIRT	⊗	BUSHES
---	WHITE LINE	⊙	TREE
---	RIGHT OF WAY	⊕	UTILITY POLE
---	EDGE OF PAVEMENT	⊖	ST. LIGHT
---	CENTERLINE	⊗	METRIC SIGNAL
---	PROPERTY LINE	⊙	DOWN CURB
---	CONC. CUTTER	⊙	FIRE HYDRANT
---	CONCRETE	⊙	UTILITY VALVE
---	DECORATIVE	⊙	UTILITY MANHOLE/WALL
---	PARKWAY	⊙	UTILITY LID
---	SIDEWALK	⊙	SEWER MANHOLE
---	ASPHALTED NUMBER	⊙	SQUARE YOT
---	EXISTING	⊙	CONCRETE
---	PROPOSED	⊙	DRG-ALERTS
---	FENCE	⊙	(POC) POINT OF C/F
---	WALL	⊙	ADA CURB RAMP
---	DRIVEWAY	⊙	PROPOSED KIOSK

	TO OBTAIN LOCATION OF PARTICIPANTS VISIT WWW.G2POLES.COM OR CALL 1-800-451-1111 TO PLACE AN ORDER OR FOR MORE INFORMATION CALL 1-800-451-1111 OR VISIT WWW.G2POLES.COM Know what's below. Call before you dig.	REVISION DATE PROJECT NAME: OAK-025 T.C. MAP NO.: N/A ENGINEER BY: MOTIVE DATE: 08-20-23 DRAFTED BY: MOTIVE DATE: 08-20-23 CITY: OAKLAND COUNTY: ALAMEDA LOCATION: FRANKLIN ST. AND 14TH ST. PROJECT NO.: 1062338019 DWG. NO.:
	UNDERGROUND UTILITIES NOTE: THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A GROUND PENETRATING RADAR (GPR) SURVEY. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.	PERMIT NO.: DATE: SCALE: 1"=20' NORTH ARROW

EXHIBIT 600 14th St

- NOTES:**
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, DEPTHS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SURFICENTLY IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCE TO ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
 - EXISTING UTILITIES SHALL BE PROTECTED AND PRESERVED. ANY UTILITIES TO BE REMOVED SHALL BE RELOCATED TO THE SAME DEPTH AND SPACING AS THE ORIGINAL UTILITIES. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
 - EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING ROW LOCATIONS AND THE LOCATION OF ANY EXISTING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
 - ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS AND SPECIFICATIONS. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SET BACK TO ORIGINAL PROPERTY OR CROSSING ADJACENT STREETS.
 - THE CONTRACTOR SHALL IMMEDIATELY REMOVE SILTSTOPS THAT WASHES OFF-SITE OR INTO ADJACENT STREETS.
 - THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS WHERE UTILITIES CROSS THE EXISTING SIDEWALK ON THE PLANS TO PREVENT DAMAGE TO UTILITIES. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK AT ALL LOCATIONS WHERE UTILITIES CROSS THE EXISTING SIDEWALK. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MATCHED TO THE ORIGINAL SIDEWALK IN TERMS OF FINISH, COLOR AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	EDGE OF DIRT	⊗	BUSHES
---	WHITE LINE	⊙	TREE
---	RIGHT OF WAY	⊕	UTILITY POLE
---	EDGE OF PAVEMENT	⊕	ST. LIGHT
---	CENTER LINE	⊕	TRAFFIC SIGNAL
---	PROPERTY LINE	⊕	DOWN CUT
---	CONC. GUTTER	⊕	FIRE HYDRANT
---	CONCRETE	⊕	UTILITY VALVE
---	DECORATIVE	⊕	UTILITY MANHOLE/WALK
---	PERMITS	⊕	UTILITY LD
---	SEWER	⊕	SEWER MANHOLE
---	ASPH/CONC	⊕	SQUARE VOID
---	ASPH/CONC	⊕	RECT. VOID
---	PROPOSED	⊕	POC POINT OF C/F
---	EXISTING	⊕	ADA CURB RAMP
---	(E) CUT	⊕	PROPOSED KIOSK
---	FENCE	⊕	
---	DRIVEWAY	⊕	



UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND DEPTHS OF ALL UTILITIES SHOWN ON THIS PLAN WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

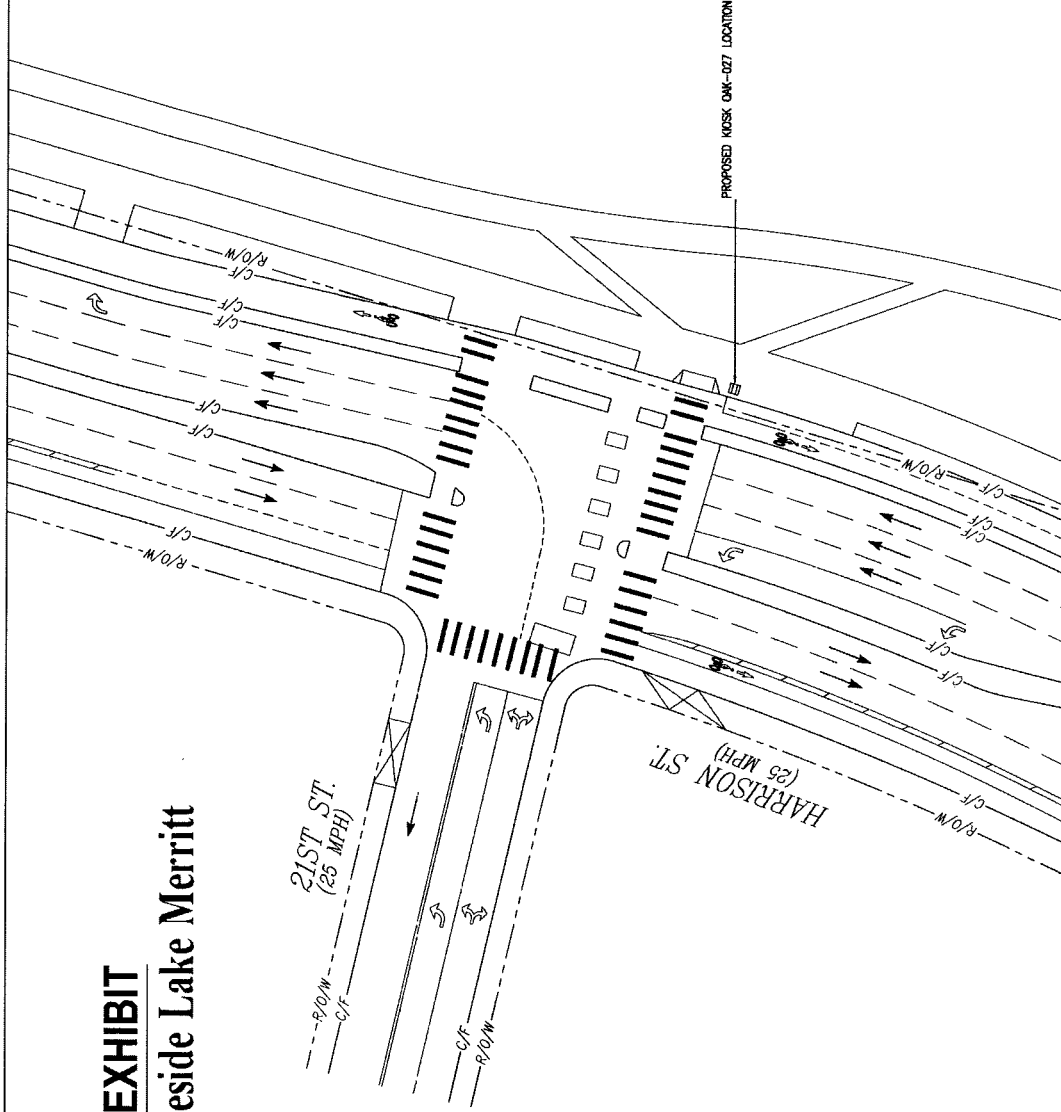
FOR INFORMATION ONLY: THE CALIFORNIA DEPARTMENT OF TRANSPORTATION AND PUBLIC SAFETY (CALTRANS) HAS A TOLL FREE 1-800-422-2444 OR WWW.CALTRANS.ORG FOR MORE INFORMATION. CALL BEFORE YOU DIG. KNOW WHAT'S BELOW. CALL BEFORE YOU DIG.



PROJECT NAME: OAK-026	DATE:	PERMIT NO.:
T.O. MAP NO.: N/A	ENGINEER BY: MOTVE DATE: 08-20-23	CITY: OAKLAND
DRAWN BY:	MOTVE DATE: 08-20-23	COUNTY: ALABAMA
LOCATION:	JEFFERSON ST. AND 14TH ST.	
PROJECT NO.: 1982328020	DWG. NO.:	

EXHIBIT

City Park beside Lake Merritt



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, DEPTHS, AND DIMENSIONS OF ADJACENT AND/OR ADJACENT UTILITIES SURFACE, IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY CHANGES TO THE UTILITIES FROM CONSTRUCTION OPERATIONS SHALL BE RESTORED TO THEIR EXISTING DEPTH AND LOCATION.
- ALL UTILITIES SHOWN ARE FOR REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION. STAMPS SHALL BE USED FOR CONSTRUCTION.
- EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING ROW LOCATIONS BY FIELD SURVEY AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL UTILITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE EXISTING UTILITIES BY FIELD SURVEY AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CALL OUTS FOR ADJACENT UTILITIES SHALL BE RE-ESTABLISHED PER PLANS FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND RESTORE TO ORIGINAL LOCATION. REMOVE SALTDEBRIS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL LOCATIONS. THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO PRE-EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE VERIFIED THAT THE REPLACEMENT SIDEWALK IS OF THE SAME TYPE AND FINISH AS THE EXISTING SIDEWALK AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.

SYMBOLS:

SYMBOL	DESCRIPTION
(Symbol)	EDGE OF DIRT
(Symbol)	WHITE LINE
(Symbol)	RIGHT OF WAY
(Symbol)	EDGE OF PAVEMENT
(Symbol)	PAVEMENT
(Symbol)	CURBFACE
(Symbol)	PROPERTY LINE
(Symbol)	CONC. CUTTER
(Symbol)	CONCRETE
(Symbol)	DECORATIVE
(Symbol)	PAVEMENT
(Symbol)	SIDEWALK
(Symbol)	PAVEMENT
(Symbol)	EXISTING
(Symbol)	PROPOSED
(Symbol)	(E) CUT
(Symbol)	FENCE
(Symbol)	WALL
(Symbol)	DRIVEWAY
(Symbol)	BUSHES
(Symbol)	TREE
(Symbol)	UTILITY POLE
(Symbol)	ST. LIGHT
(Symbol)	TRAFFIC SIGNAL
(Symbol)	RAILROAD CROSSING
(Symbol)	DOWN CURB
(Symbol)	FIRE HYDRANT
(Symbol)	UTILITY VALVE
(Symbol)	UTILITY MANHOLE/WAULT
(Symbol)	UTILITY LID
(Symbol)	SEWER MANHOLE
(Symbol)	SQUARE HOLE
(Symbol)	WATER METER
(Symbol)	DIG-ALERTS
(Symbol)	(POC) POINT OF C/F
(Symbol)	ADA CURB RAMP
(Symbol)	PROPOSED MOSK

PROJECT NAME: OAK-027
 DATE: 08-20-23
 ENGINEER BY: MOTIVE
 DRAFTED BY: MOTIVE
 COUNTY: ALAMEDA
 LOCATION: HARRISON ST. AND 21ST ST.
 PROJECT NO.: 108232002
 DWG. NO.:

REVISION

NO.	DATE	DESCRIPTION

DATE: 08-20-23
 CITY: OAKLAND
 COUNTY: ALAMEDA
 LOCATION: HARRISON ST. AND 21ST ST.

UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, STRUCTURES OR CONDUITS SHOWN ON THIS PLAN WERE OBTAINED BY A FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE DEPTHS AND LOCATIONS OF THESE UTILITIES. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

Know what's below. Call before you dig.

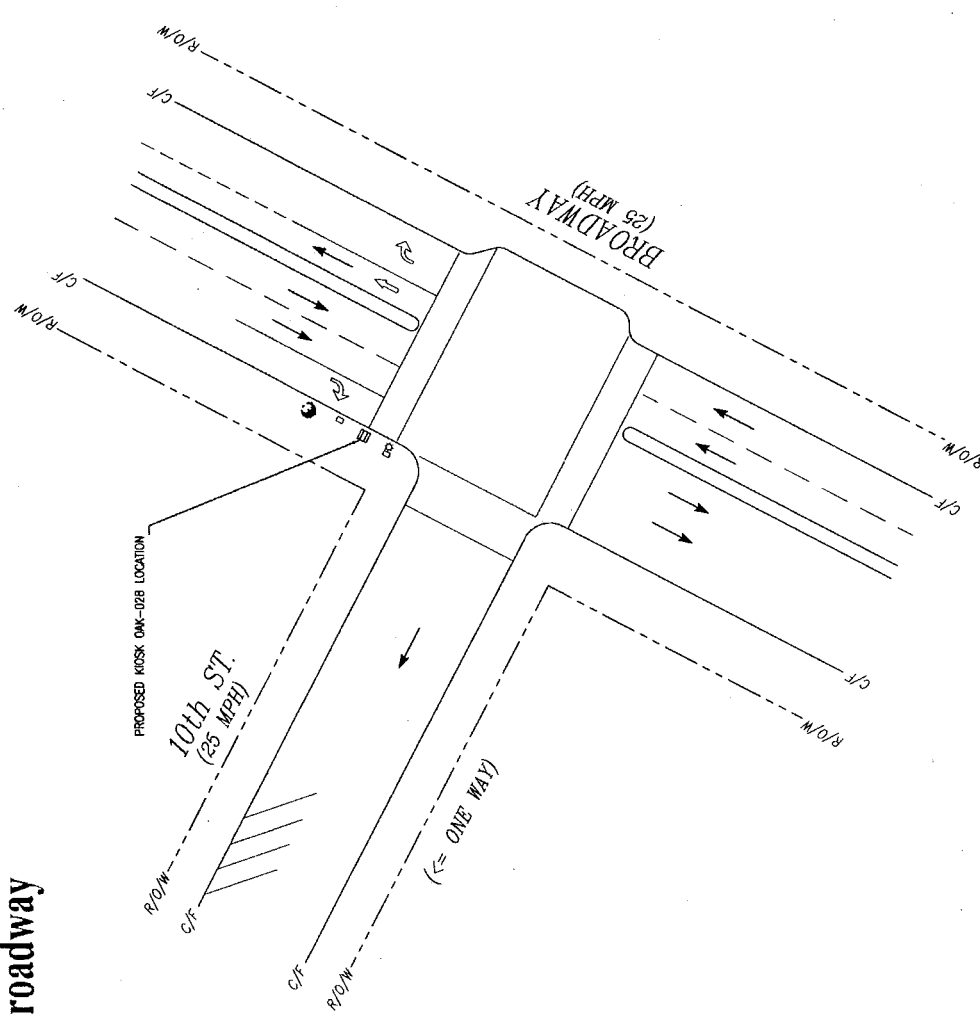
FOR ANIMAL LOCATION OF UTILITIES, YOU CAN VISUALIZE ANY UTILITIES AND STRUCTURES BEFORE YOU DIG. CALL 811 OR VISIT www.call811.com. FOR MORE INFORMATION, VISIT www.call811.com.

G² POLES

SCALE: 1"=20'

PERMIT NO.:
 DATE:
 COUNTY: ALAMEDA
 PROJECT NO.: 108232002
 DWG. NO.:

EXHIBIT 1011 Broadway



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER'S AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR OPERATIONS. ANY DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- CONTRACTOR SHALL VERIFY ALL UTILITIES REFERENCED ONLY. CONTRACTOR SHALL VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND BIT PROTECTING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND NOT REMOVED OR INTO EXISTING STORM DRAIN SYSTEMS. (SEE FIELD FOR SIGNIFICANT CHANGES OR INTO EXISTING STORM DRAIN SYSTEMS.)
- THE CONTRACTOR SHALL REPLACE THE EXISTING SURVEY ON THE PLANS TO MAKE TO MATCH SHAPE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
---	EDGE OF DIRT	○	BUSHES
---	WHITE LINE	○	TREE
---	RIGHT OF WAY	○	UTILITY POLE
---	EDGE OF PAVEMENT	○	TRAFFIC SIGNAL
---	CENTER LINE	○	UTILITY METER/ST. BOX
---	PROPERTY LINE	○	CONCRETE
---	CONC. CUTTER	○	UTILITY VALVE
---	DECORATIVE	○	UTILITY MANHOLE/VAULT
---	PARWAY	○	UTILITY LO
---	SIDWALK	○	SEWER MANHOLE
---	ABANDONED	○	ROUND VENT
---	STATION NUMBER	○	ROUND VENT
---	SEAL	○	PROPOSED
---	PROPOSED (E) CUT	○	ADA CURB RAMP
---	PROPOSED	○	PROPOSED KIOSK
---	FENCE	○	
---	WALL	○	
---	UNWEIRY	○	

PROJECT NAME: DM-028	PERMIT NO.:
T.G. MAP NO.: N/A	DATE:
ENGINEERED BY: MOTIVE	DATE: 08-21-23
DRAWN BY: MOTIVE	DATE: 08-21-23
CITY: OAKLAND	COUNTY: ALAMEDA
LOCATION: BROADWAY & 10TH ST.	
PROJECT NO.: 1982239622	
DWG. NO.:	

REVISION	DATE



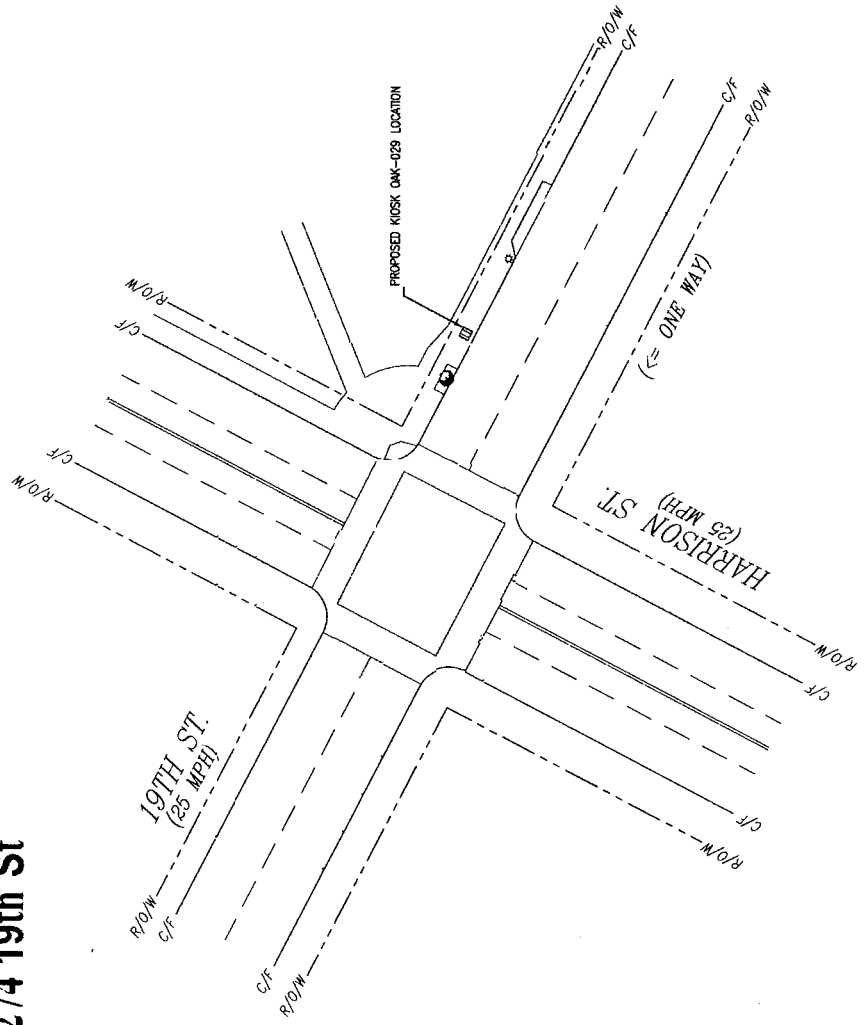
UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, UTILITIES OR A SEARCH OF AVAILABLE RECORDS THEREIN MAY BE EXAMINED BY OTHER THAN THESE ENGINEERS AND CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES SHOWN ON THIS PLAN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

TO OBTAIN LOCATION OF UNDERGROUND UTILITIES IN CALIFORNIA CONTACT THE CALIFORNIA UTILITY LOCATING SERVICE (CULS) AT 1-800-442-2444 OR VISIT WWW.CULS.CA.GOV

FOR MORE INFORMATION VISIT WWW.CULS.CA.GOV

Call before you dig.

EXHIBIT 274 19th St



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND THE CONTRACTOR'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVE AND PROTECT ALL UTILITIES AT ALL TIMES THROUGHOUT THE PROJECT. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS OPERATIONAL THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL MAINTAIN ALL NECESSARY ACCESS TO CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE SPECIFIED. ALL CONDUIT SHALL BE INSTALLED PER CITY GUIDELINES AT ALL TIMES.
- THE CONTRACTOR SHALL REPLACE THE EXISTING JOURNAL ON THE PLANS TO THE ORIGINAL SIZE AND SPECIFICATION. ALL REPAIRS TO EXISTING UTILITIES SHALL BE MADE TO MATCH SIZE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	EDGE OF DIRT	●	BUSHES
—	WHITE LINE	○	TREE
—	RIGHT OF WAY	○	UTILITY POLE
—	EDGE OF PAVEMENT	○	ST. LIGHT
—	CENTER LINE	○	TRAFFIC SIGNAL
—	PROPERTY LINE	○	TRAFFIC SIGNAL RETAIN/ST. SIGN
—	CONC. CURTHER	○	CONC. CURTHER
—	CONC.	○	FIRE HYDRANT
—	DECORATIVE	○	UTILITY VALVE
—	PARWAY	○	UTILITY MAN-HOLE/AULT
—	SIDWALK	○	UTILITY LD
—	SEWER MANHOLE	○	SEWER MANHOLE
—	ABANDONED	○	SQUARE VENT
—	STATION NUMBER	○	ROUND VENT
—	PROPOSED	○	PROPOSED
—	FENCE	○	(POC) POINT OF C/F
—	RETAINING WALL	○	ADA CURB RAMP
—	DRIVEWAY	○	PROPOSED KIOSK



SCALE: 1"=20'

UNDERGROUND UTILITIES NOTE:
 THE LOCATION OF ALL UTILITIES SHOWN ON THIS PLAN IS BASED ON THE RECORD DRAWINGS, FIELD SURVEY AND AVAILABLE RECORDS. THERE MAY BE UTILITIES OTHER THAN THOSE SHOWN WHICH HAVE NOT BEEN LOCATED. CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.



**Know what's below.
Call before you dig.**

TO OBTAIN LOCATION OF PARTICULATE UNDERGROUND UTILITIES BEFORE CONSTRUCTION, CALL US AT 1-800-442-2444 OR VISIT US ONLINE AT www.underground1.com.

TOLL FREE 1-800-442-2444 OR VISIT US ONLINE AT www.underground1.com.

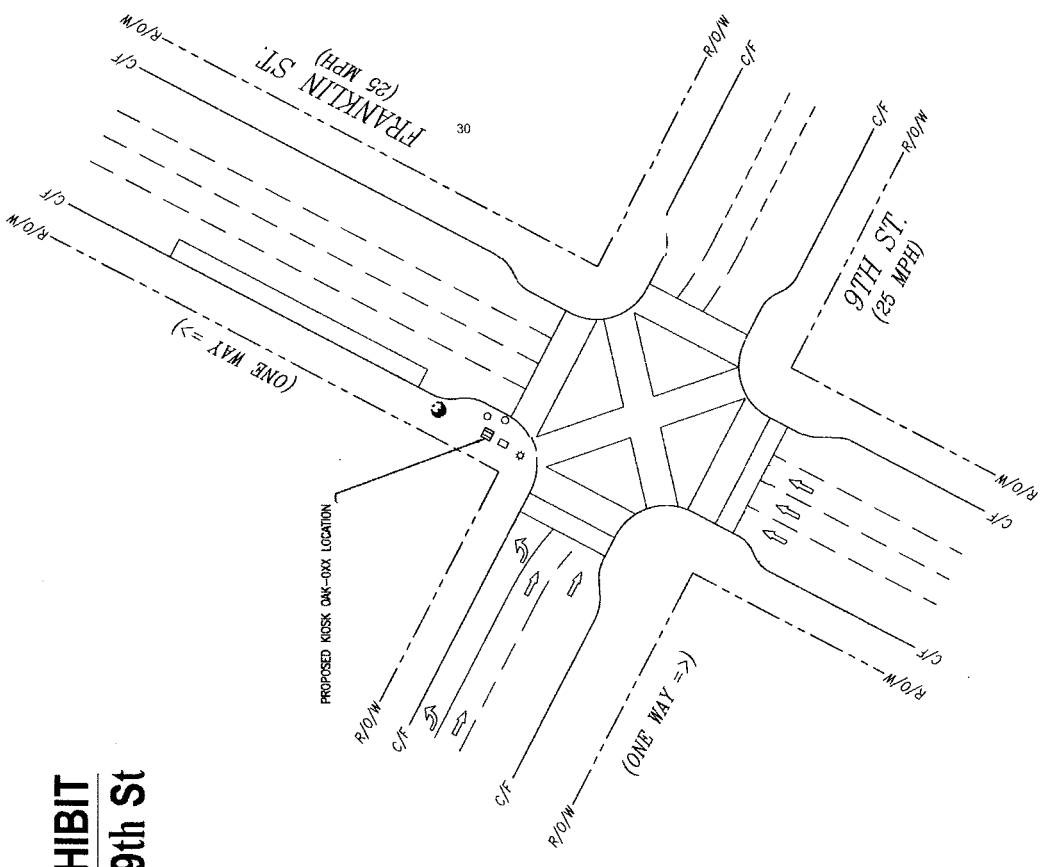
FOR MORE INFORMATION, VISIT www.underground1.com OR CALL 1-800-442-2444.

TO OBTAIN LOCATION OF PARTICULATE UNDERGROUND UTILITIES BEFORE CONSTRUCTION, CALL US AT 1-800-442-2444 OR VISIT US ONLINE AT www.underground1.com.

PROJECT NAME: OAK-029	DATE:	PROJECT NO.:
T.G. MAP NO.: N/A	ENGINEERED BY: N/AVE	DATE: 08-23-23
DRAWN BY: N/AVE	DATE: 08-23-23	CITY: OAKLAND
COUNTY: ALAMEDA		
LOCATION: 19TH ST. AND HARRISON ST.		
PROJECT NO.: 1982328023		
DWG. NO.:		

G² POLES

EXHIBIT 400 9th St



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PRESERVING AND PROTECTING ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING. FOR REFERENCE ONLY, DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING. CONTRACTORS SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER AND ENGINEER OF ANY CONFLICTS. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS OPERATIONAL AT ALL TIMES. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING STREETS, EXISTING STORM DRAIN SYSTEMS, AND EXISTING UTILITIES. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE.
2. THE CONTRACTOR SHALL REPLACE THE EXISTING SURF ON THE PLANS TO BE MAINTAINED TO MATCH THE EXISTING SURF. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE. CONTRACTORS SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES AND TO PROTECT EXISTING UTILITIES FROM DAMAGE.

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1/2" P	EDGE OF DIRT	○	BUSHES
1/4" P	WHITE LINE	○	TREE
1/8" P	RIGHT OF WAY	○	UTILITY POLE
6" P	EDGE OF PAVEMENT	○	ST. LIGHT
○	CENTER LINE	○	TRAFFIC SIGNAL
○	PROPERTY LINE	○	DOWN CURB
○	CONC. GUTTER	○	FREE JUNCTION
○	CONCRETE	○	UTILITY VALVE
○	DECORATIVE	○	UTILITY MANHOLE/WAULT
○	PARALLEL	○	UTILITY LID
○	ABANDONED	○	SEWER MANHOLE
○	STATION NUMBER	○	SQUARE VENT
○	PROPOSED	○	ROUND VENT
○	LEI CUT	○	(PCC) POINT OF C/F
○	FENCE	○	ADA CURB RAMP
○	WALL	○	PROPOSED KIOSK
○	DIRTWAY		

PROJECT NAME: DAK-00X		PERMIT NO.:
T.O. MAP NO.: N/A	ENGINEERED BY: MOTIVE	DATE: 08-23-23
CITY: OAKLAND	COUNTY: ALABAMA	
DRAWN BY: MOTIVE	DATE: 08-23-23	
LOCATION:	FRANKLIN ST. AND 9TH ST.	
PROJECT NO.: 1082232004	DWG. NO.:	

DATE	REVISION

SCALE: 1"=20'

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND DISTANCE OF ANY UNDERGROUND PIPES, CABLES, OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES NOT SHOWN ON THIS PLAN. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

THE STATE OF ALABAMA
DEPARTMENT OF TRANSPORTATION
ALABAMA HIGHWAY DEPARTMENT
CENTRAL CALL CENTER (800) 452-2444
WWW.AHSRHS1.ORG
TOLL FREE: 1-800-452-2444 OR
WWW.AHSRHS1.ORG
ALABAMA HIGHWAY DEPARTMENT
CENTRAL CALL CENTER
Call before you dig. www.callbeforeyoudig.com

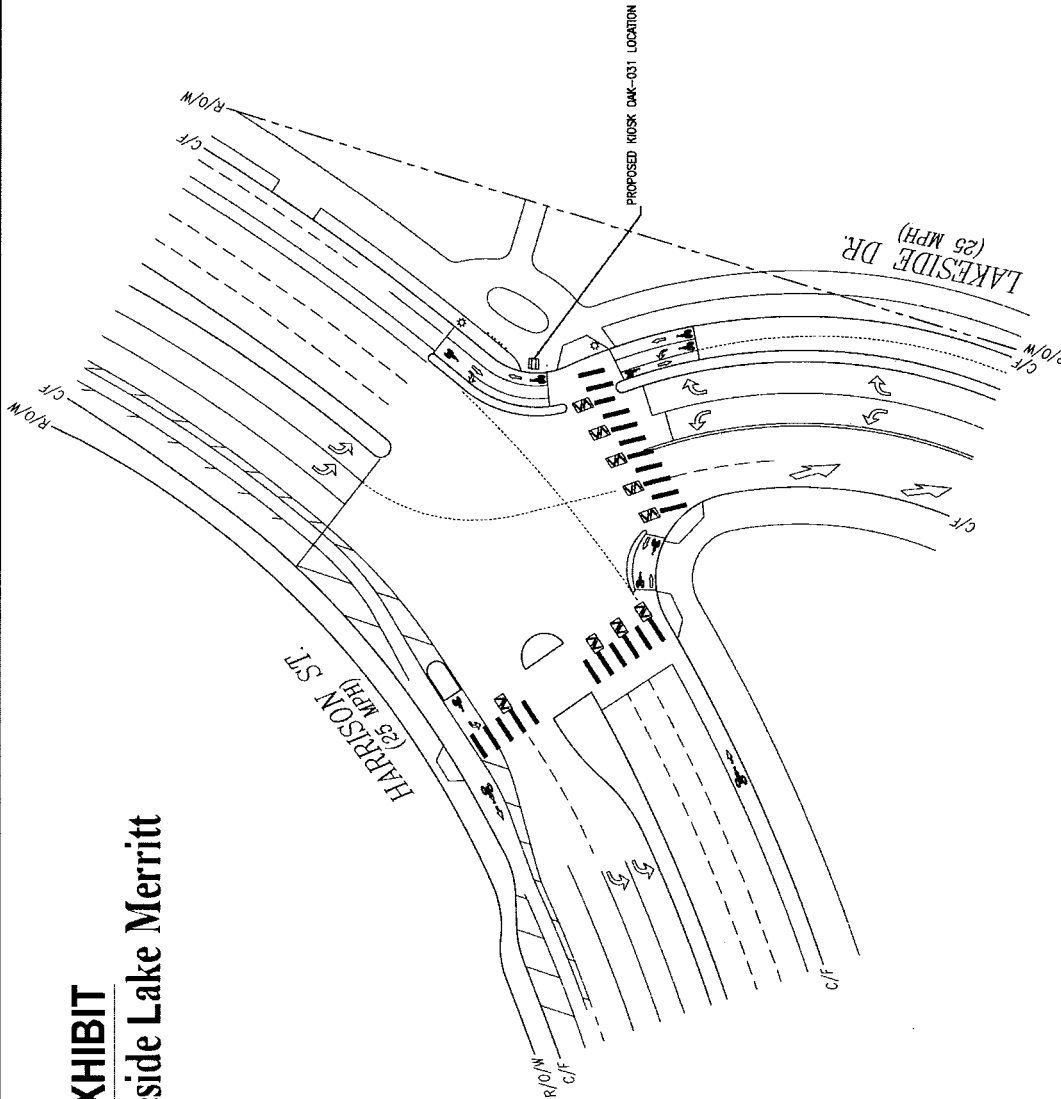


EXHIBIT

City Park beside Lake Merritt

NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS AND TO VERIFY ALL UTILITIES AND TO BE ADVISED IN ADVANCE OF ANY CHANGES TO THE UTILITIES TO BE CONSTRUCTED. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER'S ATTENTION IMMEDIATELY. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS OPERATIONAL THROUGHOUT CONSTRUCTION. REMOVE ALL EXISTING OR NEW EXISTING STORM DRAIN SYSTEMS.
- CONTRACTOR SHALL IMMEDIATELY REMOVE ALL LOGS, BRUSH, LIMBS, LIMBS OR LIMBS THAT FALL CONDUIT PER LAUNCH AND PER CITY GUIDELINES AT 10' FRENCH WIDTH, THEY SEE FIT.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO BE MAINTAINED WITH THE SAME TYPE, COLOR, FINISH AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.



SYMBOL	DESCRIPTION
○	DIRT
○	EDGE OF DIRT
○	WHITE LINE
○	RIGHT OF WAY
○	EDGE OF PAVEMENT
○	LINE
○	CURB/BACK
○	PROPERTY LINE
○	CONC. CUTTER
○	CONCRETE
○	DECORATIVE
○	PARWAY
○	SEWER MANHOLE
○	ABANDONED
○	UTILITY NUMBER
○	EXISTING
○	PROPOSED
○	(C) CUT
○	FENCE
○	WALL
○	DRIVEWAY
○	BUSHES
○	TREE
○	UTILITY POLE
○	ST. LIGHT
○	PARKING SIGN
○	TRAFFIC LIGHT/ST. SIGN
○	DOWN OUT
○	FIRE HYDRANT
○	UTILITY VALVE
○	UTILITY MANHOLE/VAULT
○	UTILITY LID
○	SQUARE VENT
○	ROOF VENT
○	SO-CAL-LET
○	(POC) POINT OF C/F
○	ADA CURB RAMP
○	PROPOSED KIOSK



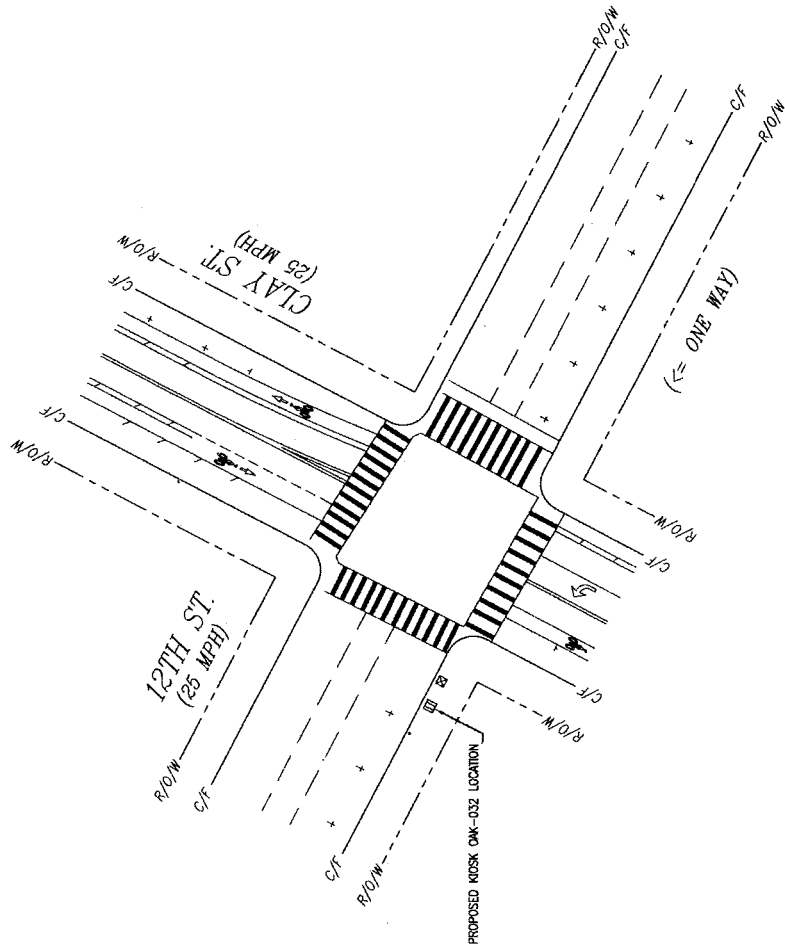
UNDERGROUND UTILITIES NOTE:
 THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THERE MAY BE EX. UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. CONTRACTORS SHOULD TAKE PRECAUTIONS MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.

UTILITY RECORDS
 TOLL FREE: 1-800-642-2444 OR
 www.utlrec.com
 Call before you dig. Before you excavate.

PROJECT NAME: DAK-031	DATE:	REVISION:	DATE:	PERMIT NO.:
T.C. MAP NO.: N/A	ENGINEER BY: MOTIVE		DATE: 08-28-23	CITY: OAKLAND
	DRAWN BY: MOTIVE		DATE: 05-24-23	COUNTY: ALAMEDA
	LOCATION:	HARRISON ST. AND LAKESIDE DR.		
	PROJECT NO.:	1082232895		
	ENG. NO.:			



EXHIBIT 555 12th St



NOTES:

1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION. GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
2. VERIFY ALL UTILITIES ARE DEEPER THAN THE PROPOSED FOUNDATION ONLY. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS. VERIFYING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
3. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE AND SHUT DOWN WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
4. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO AVOID DAMAGE AND SHUT DOWN WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
5. THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT THE INTERSECTION.
6. THE CONTRACTOR SHALL REPLACE THE EXISTING SIGNALS ON THE PLANS TO THE MOST RECENT SIGNALS. THE EXISTING SIGNALS SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SPACE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOL/NOTATION	DESCRIPTION
○	MANHOLE
□	EDGE OF DIRT
○	BARBER
○	WHITE LINE
○	RIGHT OF WAY
○	EDGE OF PAVEMENT
○	CENTER LINE
○	CURBFACE
○	PAVING METERS/FT. SIGN
○	DOWN CUT
○	UTILITY VALVE
○	CONCRETE
○	DECOMPOSE
○	UTILITY MANHOLE/MANULT
○	UTILITY LD
○	SEWER MANHOLE
○	SQUARE VENT
○	ROUND VENT
○	DIS-LIGHTS
○	(PO) POINT OF C/P
○	AAA CLUB RAMP
○	PROPOSED ROOK

PROJECT NAME: OAK-1032	DATE: 08-23-23	CITY: OAKLAND	COUNTY: ALBERTA
T.O. MAP NO.: N/A	DATE: 08-23-23	CITY: OAKLAND	COUNTY: ALBERTA
DRAWN BY: MTRC	DATE: 08-23-23	CITY: OAKLAND	COUNTY: ALBERTA
LOCATION:	12TH ST. & CLAY ST.		
PROJECT NO.: 100230009	DWG. NO.:		

REVISION	DATE

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND UTILITIES, AS SHOWN BY A SEARCH OF AVAILABLE RECORDS, THERE MAY BE EX. UTILITIES OTHER THAN THOSE INDICATED ON THIS PLAN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION OF ALL UTILITIES AND TO TAKE APPROPRIATE PRECAUTIONS TO AVOID DAMAGE TO UTILITIES AND TO ANY OTHER LINES NOT SHOWN ON THIS PLAN.

SCALE: 1"=20'

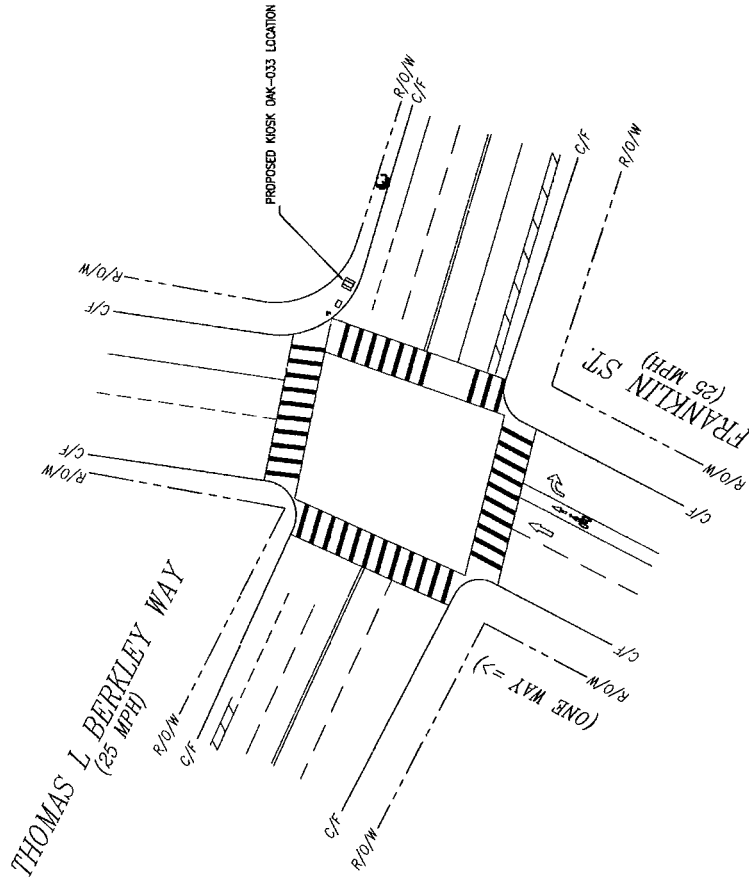
TO REQUEST A FREE UTILITY LOCATION REPORT, CALL 1-800-442-2444 OR VISIT www.underground11.org

Know what's below.
Call before you dig.

G² POLES

EXHIBIT

2000 Franklin St



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THEIR ORIGINAL CONDITION OR BETTER. GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY EXISTING UTILITIES AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND NOT REMOVED OR OBTURATED.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT ALL INTERSECTIONS.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO THE ADJACENT PROPERTY. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SPACING AND TEXTURE OF EXISTING CONCRETE. UTILITY LINES STRIKE NOTE.

SYMBOL	DESCRIPTION
○	EDGE OF DIRT
—	WHITE LINE
—	RIGHT OF WAY
—	EDGE OF PAVEMENT
—	CURBFACE
—	CONCRETE
—	DECORATIVE
—	PARKWAY
—	ABANDONED
—	EXISTING
—	PROPOSED
—	CEMENT CURB
—	CONCRETE WALL
—	DRIVEWAY
○	BUSHES
○	UTILITY POLE
○	ST. LIGHT
○	TRAFFIC SIGNAL
○	PARKING METER/ST. SIGN
○	DOE MANHOLE
○	UTILITY VALVE
○	UTILITY MANHOLE/VAULT
○	UTILITY LD
○	SEWER MANHOLE
○	SQUARE VENT
○	ROUND VENT
○	DC-ALERTS
○	(POC) POINT OF C/F
○	ADA CURB RAMP
○	PROPOSED KIOSK



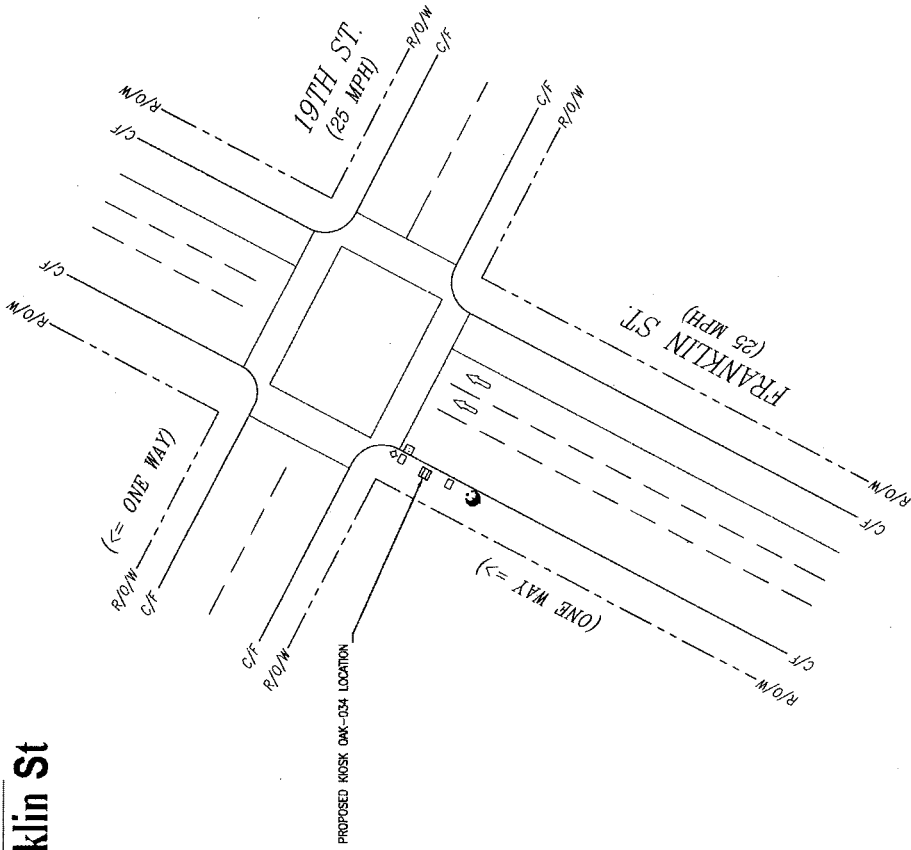
PROJECT NAME: DAK-033	DATE:	PERMIT NO.:
T/S MAP NO.: N/A	ENGINEER BY: MOTIVE	DATE: 09-23-23
DRAWN BY: MOTIVE	DATE: 09-23-23	CITY: OAKLAND
LOCATION:	COUNTY: ALAMEDA	
THOMAS L. BERKLEY WAY & FRANKLIN ST.		
PROJECT NO.: 1582238288		
DWG. NO.:		
REVISION		
		
SCALE: 1"=20'		
<p>UNDERGROUND UTILITIES NOTE: THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, UTILITY LINES OR OTHER UTILITIES SHOWN ON THIS PLAN ARE BASED ON THE SEARCH OF AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. THE CONTRACTOR IS REQUIRED TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES OTHER THAN THOSE SHOWN ON THIS PLAN. ANY OTHER UTILITIES NOT SHOWN ON THIS PLAN.</p>		
<p>TO OBTAIN LOCATION OF IMPROVEMENTS YOU MUST CALL THE ALAMEDA COUNTY PUBLIC WORKS DEPARTMENT. TOLL FREE: 1-800-942-2644 OR www.alameda.ca.gov</p> <p>ALAMEDA COUNTY PUBLIC WORKS DEPARTMENT 1500 CALIFORNIA ST. #8 OAKLAND, CA 94612 (415) 771-2800</p>		
		

EXHIBIT 1731 Franklin St



NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- VERIFY ALL UTILITIES AND DIMENSIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- VERIFY SORT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND NOT REMOVED UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO BE CONSTRUCTED WITH NEW SIDEWALK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISH GRADE AND TEXTURE OF EXISTING CONCRETE UNLESS OTHERWISE NOTED.

SYMBOLOLOGY:

SYMBOL	DESCRIPTION
○	EDGE OF DIRT
—	WHITE LINE
—	RIGHT OF WAY
—	EDGE OF PAVEMENT
—	CENTER LINE
—	CURBLINE
—	CONCRETE
—	DISCONTINUITY
—	PARALLEL
—	SEWER
—	SEWER MANHOLE
—	SEWER VENT
—	ROUND VENT
—	DO-LEAKS
—	(PO) POINT OF C/F
—	EXISTING
—	PROPOSED
—	WALL
—	UNIVERSITY
—	PROPOSED MOOSE
—	BUSSES
—	TREE
—	UTILITY POLE
—	ST. LIGHT
—	TRAFFIC SIGNAL
—	FINISHED METER/ST. SIGN
—	POLE HOIST
—	UTILITY WALK
—	UTILITY LD
—	UTILITY MANHOLE/WALK
—	SEWER MANHOLE
—	SEWER VENT
—	ROUND VENT
—	DO-LEAKS
—	(PO) POINT OF C/F
—	ADA CURB RAMP
—	PROPOSED MOOSE



THE ONLY LOCAL UTILITY INFORMATION SOURCE IN THE CENTRAL CALIFORNIA REGION. TOLL FREE 1-800-642-2444 OR WWW.JAMESBELL.COM. 800-642-2444. CALL BEFORE YOU DIG.

UNDERGROUND UTILITIES NOTE:
THE LOCATIONS AND EXISTENCE OF ANY UNDERGROUND PIPES, CABLES, OR UTILITIES SHOWN ON THIS PLAN ARE BASED ON A SEARCH OF AVAILABLE RECORDS. THERE MAY BE EXISTING UTILITIES OTHER THAN THOSE SHOWN. CONTRACTORS SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES NOT SHOWN ON THIS PLAN.



SCALE
1" = 20'

REVISION		DATE	PROJECT NAME: OAK-034	PERMIT NO.:
T/A MAP NO.: N/A		ENGINEERED BY: N/A	DATE: 08-23-23	CITY: OAKLAND
DRAWN BY: N/A		DATE: 08-23-23	COUNTY: ALAMEDA	
LOCATION: FRANKLIN ST. AND 19TH ST.				
PROJECT NO.: 108233883				
DWG. NO.:				

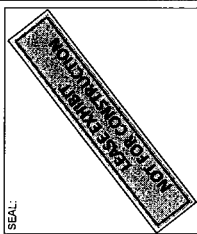
PREPARED BY:



PREPARED FOR:

SITE NAME: OAK-035
SITE NUMBER: 035
SITE ADDRESS: OAKLAND, CA 94612
LATITUDE: 37.807866° N
LONGITUDE: 122.264375° W

SEAL:

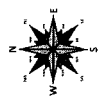


REV	DATE	DETAILS
0	08/10/2023	LEASE EXHIBIT
1		
2		
3		
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7		
8		
9		
10		
11		
12		
13		

DRAWN BY: CP
CHECKED BY: DG

SHEET TITLE: LEASE EXHIBIT

SHEET # LE-1
CURRENT REV # A
ETS # 23120619



DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN, AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND DIMENSIONS ARE RECOMMENDED TO BE VERIFIED IN THE FIELD. ENGINEERED TOWER SOLUTIONS, PLOTS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

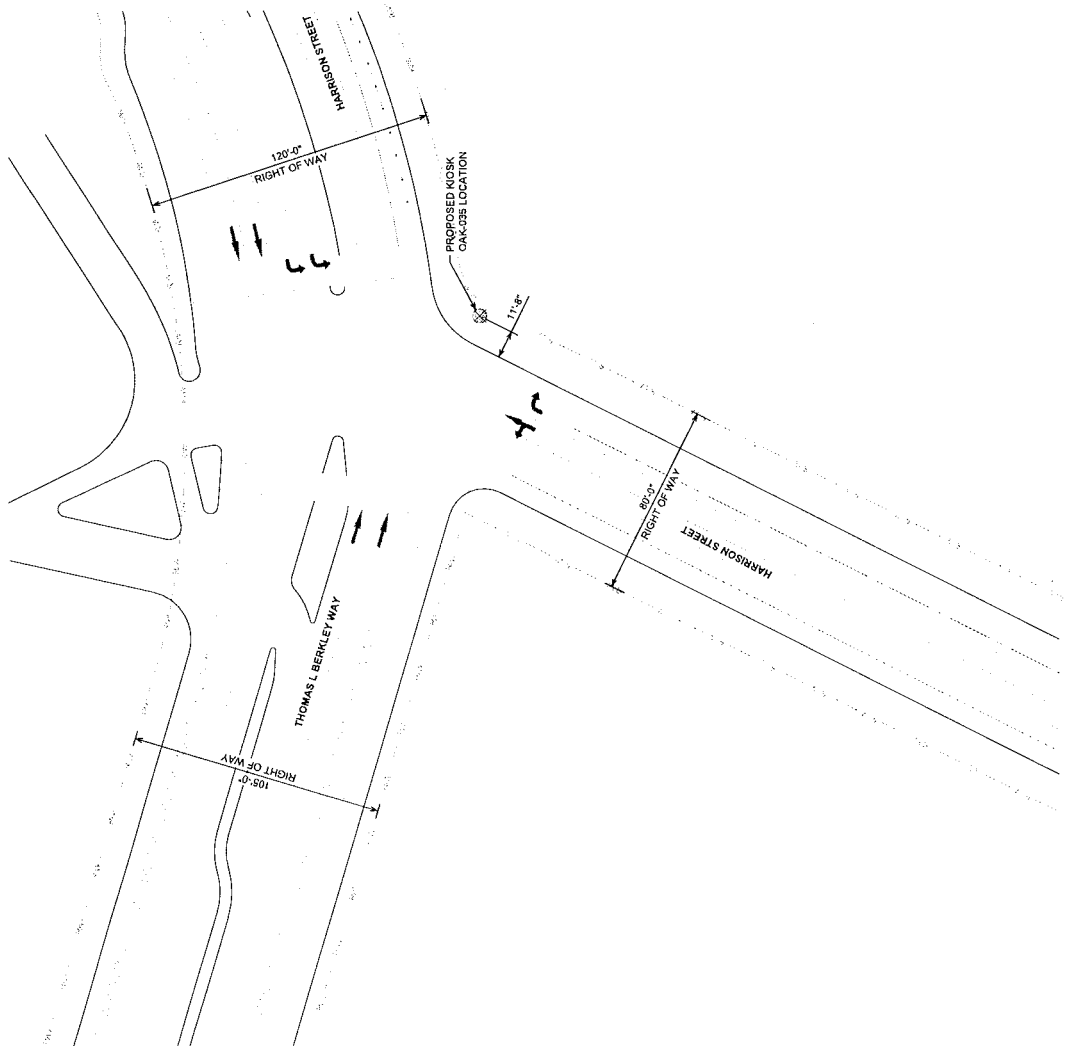
MAJOR ROADWAY R.O.W. WIDTH	105'-0" - 120'-0"
MINOR ROADWAY R.O.W. WIDTH	80'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MAJOR ROADWAY	30 MPH

LEGEND

	CURB FACE
	LANE STRIPING
	LANE CENTERLINE
	RIGHT OF WAY
	TRAFFIC DIRECTION

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE ALL UTILITIES AT ALL TIMES DURING CONSTRUCTION. DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- CONTRACTOR SHALL VERIFY THE LOCATION FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT CONTROL SYSTEMS OPERATIONAL THROUGHOUT CONSTRUCTION. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A MINIMUM 18" BENCH WIDTH THEY SHALL BE REPLACED WITH 18" BENCH WIDTH.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO PRE-EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE. UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 50'-0"

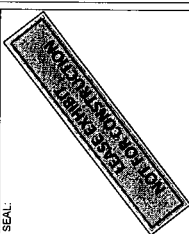
PREPARED BY:



PREPARED FOR:

SITE NAME:
OAK-036
SITE NUMBER:
036
SITE ADDRESS:
1475 BROADWAY
OAKLAND, CA 94612
LATITUDE: 37.840125
LONGITUDE: -122.27116444

SEAL:

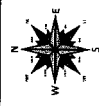


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DRAWN BY: CP CHECKED BY: DG

SHEET TITLE:
LEASE EXHIBIT

SHEET # **LE-1** CURRENT REV # **A**
ETS # **23120820**



DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS MUST BE RECORDED AND BE VERIFIED IN THE FIELD. ENGINEERED TOWER SOLUTIONS, PLLC IS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

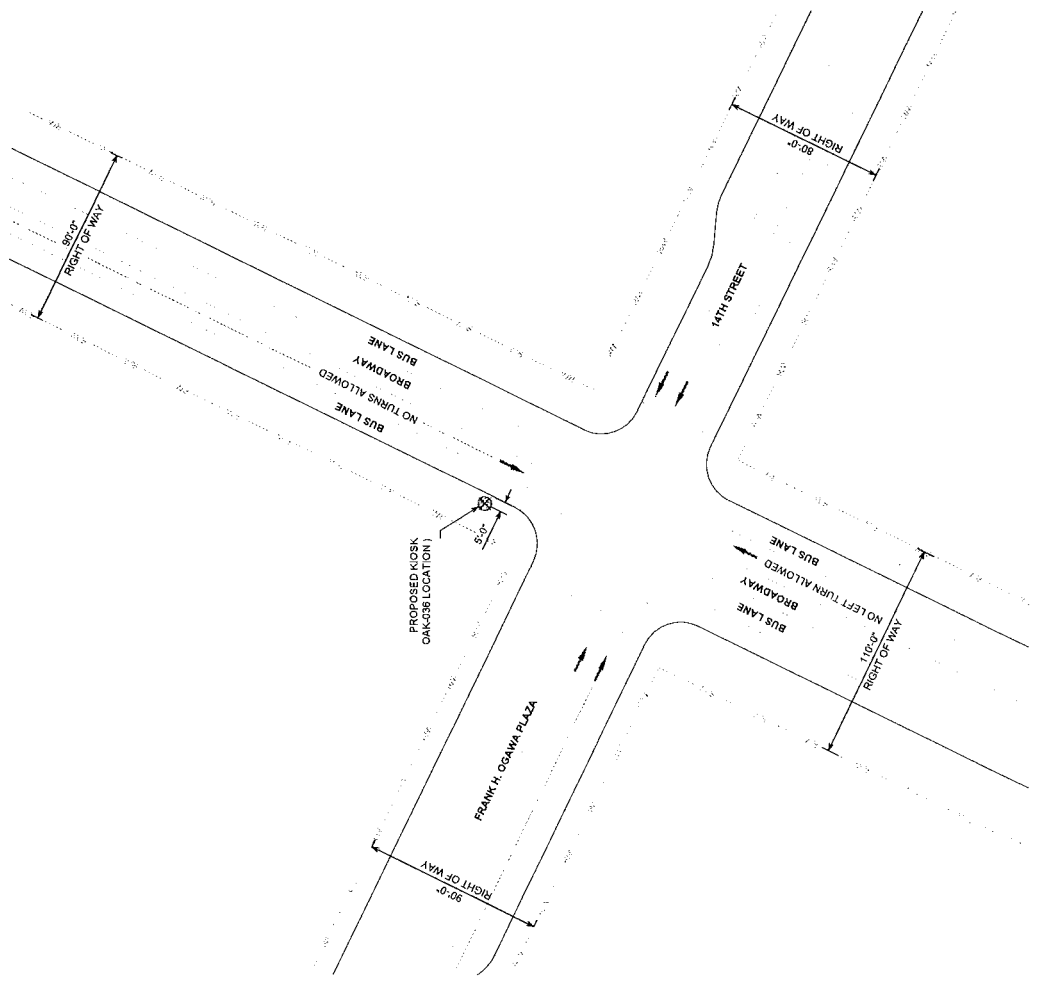
MAJOR ROADWAY R.O.W. WIDTH	90'-0" - 110'-0"
MINOR ROADWAY R.O.W. WIDTH	80'-0" - 90'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MAJOR ROADWAY	30 MPH

LEGEND

_____	CURB FACE
_____	LANE STRIPING
_____	LANE CENTERLINE
_____	RIGHT OF WAY
_____	TRAFFIC DIRECTION

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS AND DIMENSIONS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE ACCURACY OF ALL INFORMATION AND MAKE NECESSARY ADJUSTMENTS TO THE PLAN PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER OF ANY CONFLICTS. ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT STREETS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT TRAPS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- EXISTING HOW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND MAKE NECESSARY ADJUSTMENTS TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT STREETS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT TRAPS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A TRENCH WIDTH THEY SEE FIT TO PLACE THE EXISTING SIDEWALK ON THE PLANS TO PRE-EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 80'-0"

PREPARED BY:



PREPARED FOR:

SITE NAME: OAK-037
SITE NUMBER: 037
SITE ADDRESS: 1000 BROADWAY, OAKLAND, CA 94612
LATITUDE: 37.814942, LONGITUDE: 122.264420



REV	DATE	DETAILS
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DRAWN BY: CP
CHECKED BY: DG
SHEET TITLE: LEASE EXHIBIT
SHEET # LE-1
CURRENT REV # A
ETS # 23120821



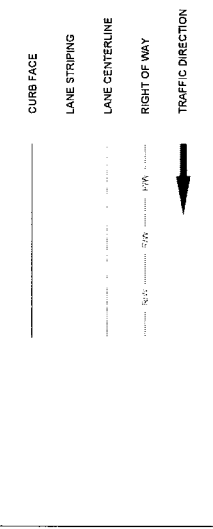
DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND CONDITIONS ARE RECORDED AND REFERRED TO BY FIELD ENGINEERED TOWER SOLUTIONS. PLS IS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

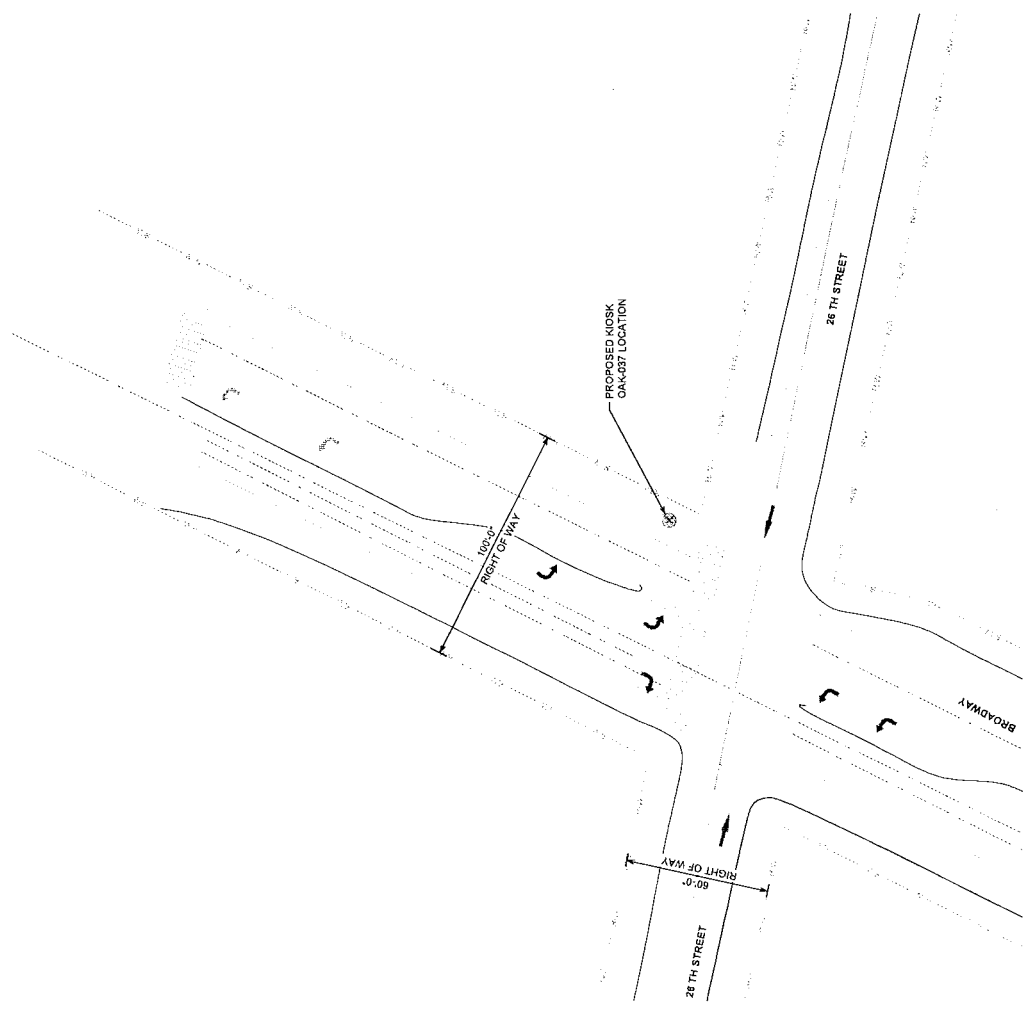
MAJOR ROADWAY R.O.W. WIDTH	100'-0"
MINOR ROADWAY R.O.W. WIDTH	60'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MAJOR ROADWAY	30 MPH

LEGEND



NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND EXISTING CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- EXISTING ROW LOCATIONS SHOULD BE VERIFIED BEFORE COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT STREETS OR AREAS. THE CONTRACTOR SHALL MAINTAINLY REMOVE SILT/DEBRIS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A TRENCH WIDTH THEY SEE FIT.
- THE CONTRACTOR SHALL PLACE THE EXISTING SIDEWALK ON THE PLANS TO PRE-EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE. UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 60'-0"

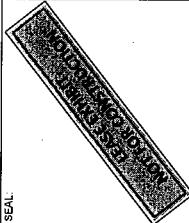
PREPARED BY:



PREPARED FOR:

SITE NAME:
OAK-038
SITE NUMBER:
038
SITE ADDRESS:
447 17TH STREET
OAKLAND, CA 94612
LATITUDE/COORDINATES:
37.688897, -122.328704

SEAL:



REV	DATE	DETAILS
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DRAWN BY: CP
CHECKED BY: DG
SHEET TITLE:
LEASE EXHIBIT

SHEET # **LE-1**
CURRENT REV # A
ETS # 2312052



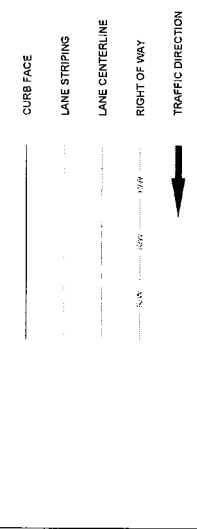
DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND DIMENSIONS ARE RECOMMENDED TO BE VERIFIED IN THE FIELD. ENGINEER TOWER SOLUTIONS, PLLC IS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

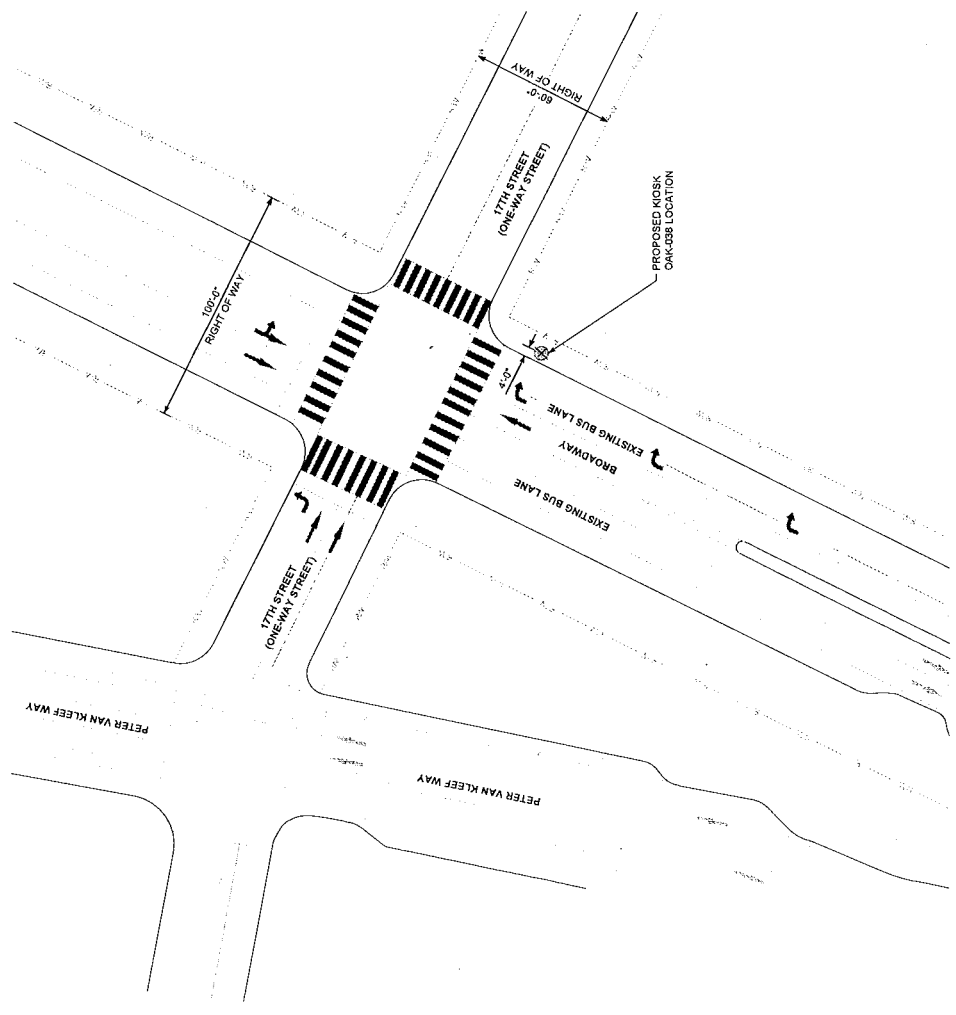
MAJOR ROADWAY R.O.W. WIDTH	100'-0"
MINOR ROADWAY R.O.W. WIDTH	60'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MINOR ROADWAY	30 MPH

LEGEND



NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS OF ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CLEARANCES BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO EXISTING UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION OR BETTER. DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING ROW LOCATIONS BEFORE COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS.
- EXISTING STORM DRAIN SYSTEMS SHALL BE MAINTAINED AND NOT REMOVED OR INTO EXISTING STORM DRAIN SYSTEMS. REMOVE SILT/DEBRIS THAT WASHES OFF-SITE OR INTO TRENCH WIDTH THEY SEE FIT.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A MINIMUM OF 18" DEPTH.
- THE CONTRACTOR SHALL REPLACE THE EXISTING SIDEWALK ON THE PLANS TO BE MAINTAINED WITH NEW SIDEWALK. THE CONTRACTOR SHALL MATCH THE EXISTING SIDEWALK TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 80'-0"

PREPARED BY:



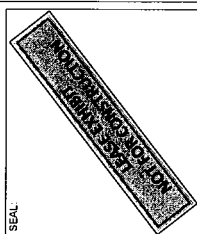
PREPARED FOR:

SITE NAME
OAK-039

SITE NUMBER
039

SITE ADDRESS
1695 AVENUE 100
OAKLAND, CA 94612
LATITUDE/LONGITUDE:
37.705972, -122.285528

SEAL



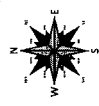
REV	DATE	DETAILS
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DRAWN BY: CP CHECKED BY: DG

SHEET TITLE

LEASE EXHIBIT

SHEET # **LE-1** CURRENT REV # A
ETS # 22120623



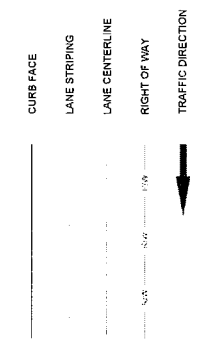
DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND DIMENSIONS SHOWN ARE FOR INFORMATION ONLY. THIS PLAN DOES NOT REPRESENT ENGINEERED TOWER SOLUTIONS. PLC IS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

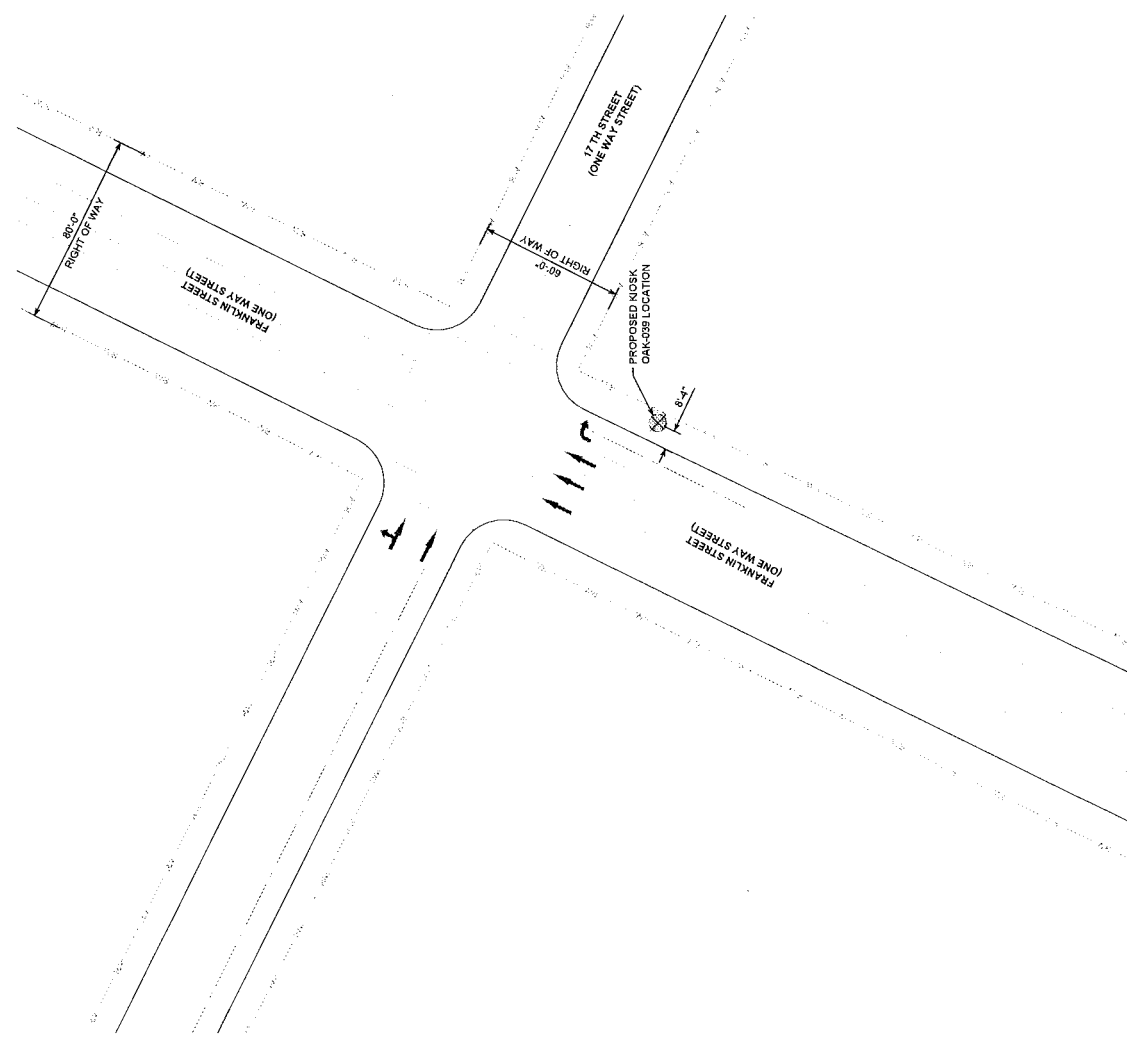
MAJOR ROADWAY R.O.W. WIDTH	80'-0"
MINOR ROADWAY R.O.W. WIDTH	80'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MINOR ROADWAY	30 MPH

LEGEND



NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS. ANY DISCREPANCIES SHOULD BE REPORTED TO THE ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. CONTRACTOR SHALL VERIFY RIGHT OF WAY LIMITS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM ENTERING ADJACENT AREAS. CONTRACTOR SHALL IMMEDIATELY REMOVE SILT/DEBRIS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A MINIMUM 18" DEPTH. CONTRACTOR SHALL VERIFY THE EXISTING SIDEWALK ON THE PLANS TO BE REPLACED. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 80'-0"

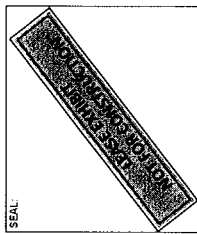
PREPARED BY:



PREPARED FOR:

SITE NAME: OAK-040
SITE NUMBER: 040
SITE ADDRESS: 2600 HARRISON STREET
OAKLAND, CA 94612
LATITUDE: 37.810324
LONGITUDE: -122.261489

SEAL:



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DRAWN BY: AN | CHECKED BY: DG

SHEET TITLE:

LEASE EXHIBIT

SHEET # LE-1 | CURRENT REV # A | ETS # 22120824



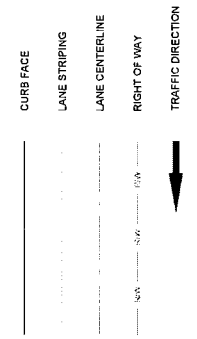
DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN, AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND DIMENSIONS ARE RECOMMENDED TO BE VERIFIED IN THE FIELD. ENGINEERED TOWER SOLUTIONS, PLLC IS NOT LIABLE AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

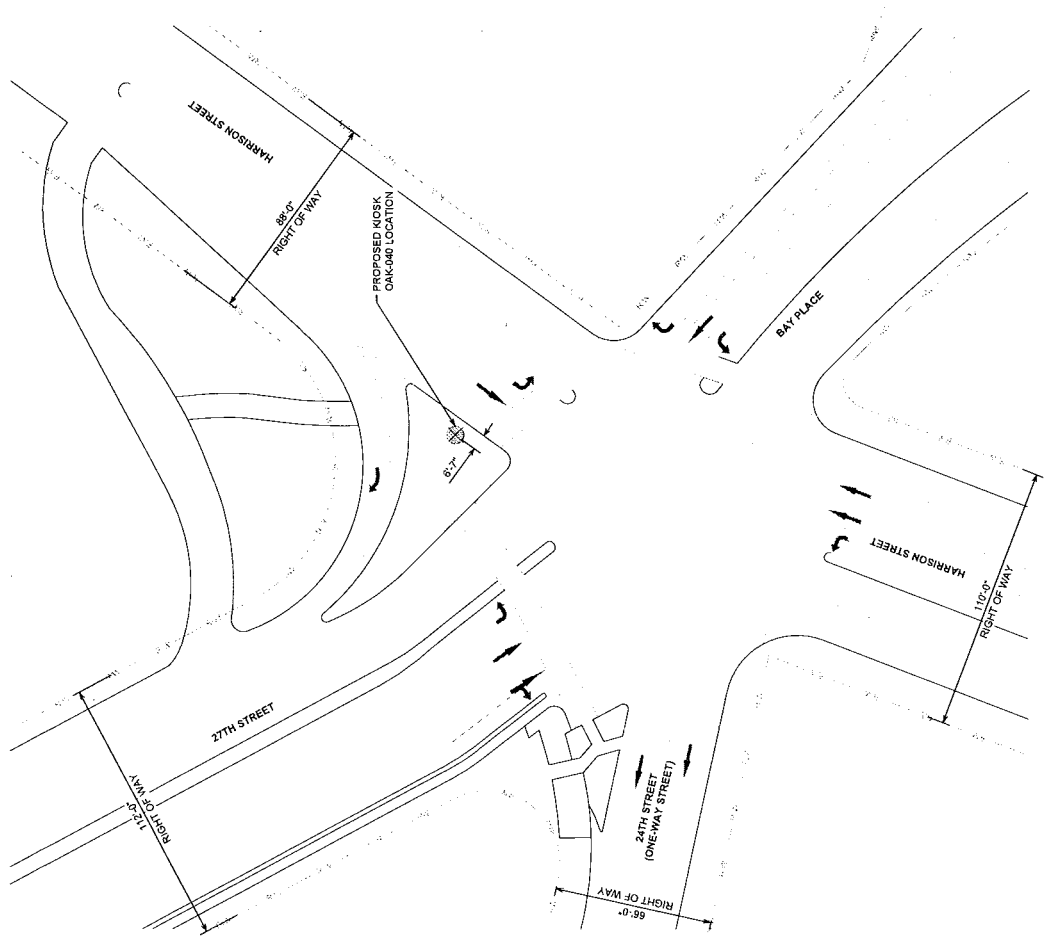
MAJOR STREET R.O.W. WIDTH	112'-0"
MINOR STREET R.O.W. WIDTH	88'-0" - 110'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MAJOR ROADWAY	30 MPH

LEGEND



NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. CONTRACTOR SHALL INSTALLEDLY REMOVE SILT TRAPS THAT WASHES OFF-SITE OR INTO EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A MINIMUM 18" DEPTH. THE CONTRACTOR SHALL PLACE THE EXISTING SIDEWALK ON THE PLANS TO MATCH THE EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE. IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 50'-0"

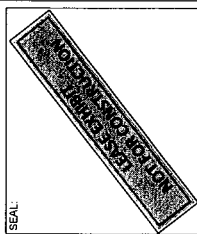
PREPARED BY:



PREPARED FOR:

SITE NAME: OAK-041
SITE NUMBER: 041
SITE ADDRESS: 127th Street, Oakland, CA 94612
LATITUDE: 37.8033989°
LONGITUDE: -122.27187227°

SEAL:



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DRAWN BY: CP
CHECKED BY: DG

SHEET TITLE

LEASE EXHIBIT

SHEET # LE-1
CURRENT REV # A
ETS # 23120625



DISCLAIMER

SITE PLAN BASED ON AERIAL IMAGES. ALL INFORMATION SHOWN ON THIS PLAN IS FOR REFERENCE ONLY. CONTRACTOR TO VERIFY THAT ALL EXISTING INFORMATION IS AS INDICATED ON THE SITE PLAN, AND NOTIFY THE CONSTRUCTION MANAGER OF ANY DISCREPANCIES. ALL PERTINENT ITEMS AND DIMENSIONS ARE RECOMMENDED TO BE VERIFIED IN THE FIELD. ENGINEERED TOWER SOLUTIONS, PLOIS NOT LABEL AND DOES NOT ASSUME RESPONSIBILITY FOR THIS CONTENT.

SITE INFORMATION

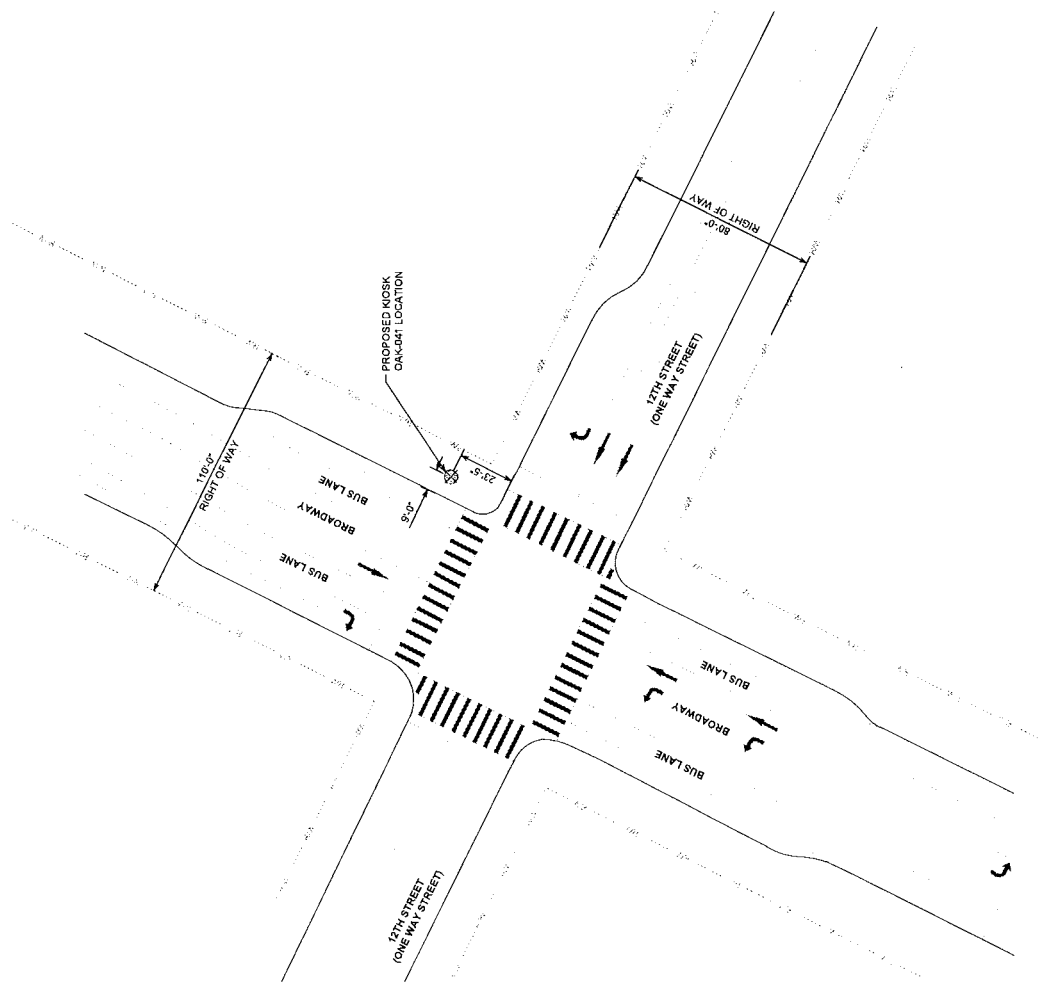
MAJOR ROADWAY R.O.W. WIDTH	110'-0"
MINOR ROADWAY R.O.W. WIDTH	80'-0"
TRAFFIC CONTROLS PRESENT	TRAFFIC LIGHT
POSTED SPEED LIMIT FOR MINOR ROADWAY	30 MPH

LEGEND

- CURB FACE
- LANE STRIPING
- LANE CENTERLINE
- RIGHT OF WAY
- TRAFFIC DIRECTION

NOTES

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL LOCATIONS, ELEVATIONS, AND DIMENSIONS SHOWN ON THIS PLAN. ANY DISCREPANCIES SHOULD BE NOTICED IN ADVANCE OF CONSTRUCTION SO THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. ANY DISCREPANCIES FOUND SHALL BE BROUGHT TO THE OWNER AND ENGINEER BEFORE CONSTRUCTION HAS COMMENCED. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES RESULTING FROM CONTRACTOR'S OPERATIONS SHALL BE RESTORED TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
- DIMENSIONS ARE PROVIDED FOR GENERAL REFERENCE ONLY. DIMENSIONS ARE NOT TO BE USED FOR CONSTRUCTION STAKING.
- EXISTING ROW LOCATIONS SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY EXISTING ROW LOCATIONS AND ADJUST AS NECESSARY TO COMMENCE CONSTRUCTION AND NOTIFY THE OWNER AND ENGINEER OF ANY CONFLICTS.
- ALL AREA DISTURBED DURING CONSTRUCTION SHALL BE RE-STABILIZED PER PLANS. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO KEEP DRAINAGE AND SILT FROM WASHING ONTO ADJACENT PROPERTY OR CROSSING ADJACENT STREETS. CONTRACTOR SHALL MAINTAIN EXISTING STORM DRAIN SYSTEMS.
- THE CONTRACTOR SHALL INSTALL CONDUIT PER LAYOUT AND PER CITY GUIDELINES AT A MINIMUM OF 18" DEPTH. THE CONTRACTOR SHALL PLACE THE EXISTING SIDEWALK ON THE PLANS TO THE EXISTING GRADE. THE REPLACEMENT SIDEWALK SHALL BE PER CODE IT SHALL BE MADE TO MATCH SHADE AND TEXTURE OF EXISTING CONCRETE, UNLESS OTHERWISE NOTED.



LEASE EXHIBIT
1" = 40'-0"

Exhibit B

Recording requested by:

CITY OF OAKLAND

When recorded mail to:

City of Oakland
Public Works Department
Dalziel Admin Building
250 Ogawa Plaza - 4th Floor
Oakland, CA 94612
Attn: Director, DOT

----- space above for Recorder's use only -----

INDENTURE AGREEMENT

Addresses Approximately 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859 Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway

Permit no. TBD

Parcel nos. 8-642-16, 1-201-4, 1-201-1, 8-649-7, 18-415-2, 18-450-6, 10-764-3, 8-751-5, 8-659-2-1, 8-656-8-1, 25-718-7, 12-967-5-1, 38-3182-27, 8-624-8, 3-69-14, 8-649-12, 1-244-5, 2-96-1, 8-619-8-1, 14-1277-151, 9-685-18-6, 8-641-8-5, 2-59-3-1, 2-55-2, 3-71-108, 10-764-3, 2-98-2, 8-635-2-1, 2-101-3, 10-764-3, 2-33-15-1, 8-651-15-2, 8-623-6-1, 8-635-2-1, 8-619-8-1, 9-685-18-6, 8-622-14, 8-624-31, 10-798-2-3, 2-51-5

Authorities Municipal Code Section 12.08.080

Description Digital Kiosks encroaching into the Public Right of Way along multiple streets.

RECITAL

The owner subscribed below of fee simple interest in the property referenced above and described in Exhibit B, attached hereto ("Property"), is hereby granted the revocable permit referenced above allowing the temporary encroachment described above and delineated in Exhibit C, attached hereto, and limiting the use, exercise, and operation of the encroachment with the requirements and restrictions set forth in Exhibit A, attached hereto, and the associated Major Encroachment Permit ("Permit"). The owner ("Permittee") agrees by and between themselves to be bound by the general and special conditions in Exhibit A and to comply with these conditions faithfully and fully at all times. The conditions of this Indenture Agreement and associated Permit shall equally bind all agents, heirs, successors, and assigns of the owner.

ACKNOWLEDGEMENT OF PROPERTY OWNER

(Notarization of signature required)

IKE SMART CITY, LLC

Signature _____

Date _____

ATTACHMENTS

- Exhibit A - Conditions of encroachment
- Exhibit B - Description of privately owned parcel
- Exhibit C - Limits of encroachment
- Exhibit D - Oakland City Council Resolution XXXXX C.M.S.
- Exhibit E - Form of notice to prospective purchasers and/or tenants

<p>CITY OF OAKLAND a municipal corporation FRED KELLEY Director Department of Transportation</p>	by	<p>_____</p> <p>Emily Ehlers Division Manager, Right of Way Engineering Services Department of Transportation</p>	date	<p>_____</p>
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EXHIBIT A

Conditions for the Encroachments in the Public Right-Of-Way

Addresses Approximately 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859 Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway

Parcel nos. 8-642-16, 1-201-4, 1-201-1, 8-649-7, 18-415-2, 18-450-6, 10-764-3, 8-751-5, 8-659-2-1, 8-656-8-1, 25-718-7, 12-967-5-1, 38-3182-27, 8-624-8, 3-69-14, 8-649-12, 1-244-5, 2-96-1, 8-619-8-1, 14-1277-151, 9-685-18-6, 8-641-8-5, 2-59-3-1, 2-55-2, 3-71-108, 10-764-3, 2-98-2, 8-635-2-1, 2-101-3, 10-764-3, 2-33-15-1, 8-651-15-2, 8-623-6-1, 8-635-2-1, 8-619-8-1, 9-685-18-6, 8-622-14, 8-624-31, 10-798-2-3, 2-51-5

Permittee IKE SMART CITY, LLC

Permit no. TBD

1. This Indenture Agreement will be automatically voided should (a) the associated Permit be revoked at any time and for any reason, at the sole discretion of the City Council, expressed by resolution, or (b) the associated Permit be suspended at any time, upon failure of the Permittee to comply fully and continuously with each and all of the general and special conditions set forth herein and in the associated Permit, as may be determined by the City Engineer in his or her sole discretion.
2. Upon revocation of the Permit, the Permittee shall immediately, completely, and permanently remove the Encroachments from the public right-of-way and restore the public right-of-way to its original conditions existing before the construction or installation of the encroachment, to the satisfaction of the City Engineer and all at the sole expense of the Permittee.
3. The Permittee does hereby disclaim any right, title, or interest in or to any portion of the public right-of-way, including the sidewalk and street, and agree that the use and occupancy by the Permittee of the public right-of-way is temporary and does not constitute an abandonment, whether expressed or implied, by the City of Oakland of any of its rights associated with the statutory and customary purpose and use of and operations in the public right-of-way.
4. The Permittee agrees to indemnify and save harmless the City of Oakland, its officers, agents, employees, and volunteers, and each of them, from any suits, claims, or actions brought by any person or persons, corporations, or other entities on account of (a) any bodily injury, disease, or illness, including death, damage to property, real or personal, or damages of any nature, however caused, and regardless of responsibility for negligence, arising in any manner out of the construction or installation of a private improvement itself or resulting from the Permittee's failure to maintain, repair, remove and/or reconstruct the private improvement, or (b) any title, ownership or authority issues arising from the existence of the Encroachments in the public right of way.
5. The Permittee shall maintain fully, in force and effect at all times that the Encroachments occupy the public right-of-way good and sufficient public liability insurance in a face amount not less than \$300,000.00 for each occurrence, and property damage insurance in a face amount not less than \$50,000.00 for each occurrence, both including contractual liability, insuring the City of Oakland, its officers, agents, employees, and volunteers against any and all claims arising out of the existence of the encroachment in the public right-of-way, as respects liabilities assume under this Permit, and that a certificate of such insurance and subsequent notices of the renewal thereof, shall be filed with the City Engineer of the City

of Oakland, and that such certificate shall state that the insurance coverage shall not be canceled or be permitted to lapse without thirty calendar (30) days written notice to the City Engineer. The Permittee also agree that the City of Oakland may review the type and amount of insurance required of the Permittee annually and may require the Permittee to increase the amount of and/or change the type of insurance coverage required.

6. The Permittee shall be solely and fully liable and responsible for the repair, replacement, removal, reconstruction, and maintenance of any portion or all of the private improvements constructed or installed in the public right-of-way, whether by the cause, neglect, or negligence of the Permittee or others and for the associated costs and expenses necessary to restore or remove the encroachment to the satisfaction of the City Engineer and shall not allow the Encroachments to become a blight or a menace or a hazard to the health and safety of the general public.
7. The Permittee acknowledges and agrees that the Encroachments are out of the ordinary and do not comply with City of Oakland standard installations. The Permittee further acknowledges and agrees that the City of Oakland and public utility agencies will periodically conduct work in the public right-of-way, including excavation, trenching, and relocation of its facilities, all of which may damage the encroachment. Permittee further acknowledges and agrees that the City and public utility agencies take no responsibility for repair or replacement of the Encroachments, which may be damaged by the City or its contractors or public utility agencies or their contractors. Permittee further acknowledge and agree that upon notification by and to the satisfaction of the City Engineer, Permittee shall immediately repair, replace, or remove, at the sole expense of the Permittee, all damages to the encroachment that are directly or indirectly attributable to work by the City or its contractors or public utility agencies or their contractors.
8. Permittee shall remain liable for and shall immediately reimburse the City of Oakland for all costs, fee assessments, penalties, and accruing interest associated with the City's notification and subsequent abatement action for required maintenance, repairs, or removal, whether in whole or in part, of the encroachment or of damaged City infrastructure made necessary by the failure, whether direct or indirect, of the Permittees to monitor the encroachment effectively and accomplish preventative, remedial, or restorative work expeditiously. The City reserves the unqualified right to collect all monies unpaid through any combination of available statutory remedies, including recordation of Prospective Liens and Priority Liens/ Special Assessments with the Alameda County Recorder, inclusion of non-reimbursed amounts by the Alameda County Assessor with the annual assessment of the general levy, and awards of judgments by a court of competent jurisdiction.
9. The Permittee shall provide written notice, in the form attached hereto as *Exhibit E*, to all prospective purchasers and/or tenants of any enclosed habitable space subject to this Encroachment Permit, that the City may revoke or suspend this Permit and require the removal of such encroachments (the "Notice").
10. The Permittee shall file this Indenture Agreement and the Notice to prospective purchasers and/or tenants with the Alameda County Recorder for recordation as encumbrances of the property and its title.
11. That said Permittee acknowledges that the City makes no representations or warranties as to the conditions beneath said encroachment. By accepting this revocable Permit, Permittee agrees that it will use the encroachment area at its own risk, is responsible for the proper coordination of its activities with all other Permittee, underground utilities, contractors, or workmen operating, within the encroachment area and for the safety of itself and any of its personnel in connection with its entry under this revocable Permit.
12. That said Permittee acknowledges that the City is unaware of the existence of any hazardous substances beneath the encroachment area, and Permittee hereby waives and fully releases and forever discharges the City and its officers, directors, employees, agents, servants, representatives, assigns and successors from any and all claims, demands, liabilities, damages, actions, causes of action, penalties, fines, liens, judgments, costs, or expenses whatsoever (including, without limitation, attorneys' fees and costs), whether direct or indirect, known or unknown, foreseen or unforeseen, that may arise out of or in any way connected with the physical

condition or required remediation of the excavation area of any law or regulation applicable thereto, including, without limitation, the Comprehensive Environmental Response, Compensation and Liability Act of 1980, as amended (42 U.S.C. Sections 9601 et seq.), the Resource Conservation and Recovery Act of 1976 (42 U.S.C. Section 466 et seq.), the Safe Drinking Water Act (14 U.S.C. Sections 1401, 1450), the Hazardous Waste Control Law (California Health and Safety Code Sections 25100 et seq.), the Porter-Cologne Water Quality Control Act (California Health and Safety Code Section 13000 et seq.), the Hazardous Substance Account Act (California Health and Safety Code Sections 253000 et seq.), and the Safe Drinking Water and Toxic Enforcement Act (California Health and Safety Code Section 25249.5 et seq.).

13. That said Permittee further acknowledges that it understands and agrees that it hereby expressly waives all rights and benefits which it now has or in the future may have, under and by virtue of the terms of California Civil Code Section 1542, which reads as follows: "A GENERAL RELEASE DOES NOT EXTEND TO CLAIMS WHICH THE CREDITOR DOES NOT KNOW OR SUSPECT TO EXIST IN HIS FAVOR AT THE TIME OF EXECUTING THE RELEASE, WHICH IF KNOWN BY HIM MUST HAVE MATERIALLY AFFECTED HIS SETTLEMENT WITH THE DEBTOR."
14. That said Permittee recognizes that by waiving the provisions of this section, Permittee will not be able to make any claims for damages that may exist, and to which, if known, would materially affect its decision to agree to these encroachment terms and conditions, regardless of whether Permittee's lack of knowledge is the result of ignorance, oversight, error, negligence, or any other cause.
15. That said Permittee, by the acceptance of this revocable Permit, agrees and promises:
 - (a) To indemnify, defend, and hold harmless the City of Oakland, its officers, agents, and employees, to the maximum extent permitted by law, from any and all claims, demands, liabilities damages, actions, causes of action, penalties, fines, liens, judgments, costs, or expenses whatsoever (including, without limitation, attorneys' fees and costs; collectively referred to as "claims", whether direct or indirect, known or unknown, foreseen or unforeseen, to the extent that such claims were either (1) caused by the Permittee, its agents, employees, contractors or representatives, or, (2) in the case of environmental contamination, the claim is a result of environmental contamination that emanates or emanated from the 6570 Girvin Drive, Oakland, California site, or was otherwise caused by the Permittee, its agents, employees, contractors or representatives.
 - (b) That, if any contamination is discovered below or in the immediate vicinity of the encroachment, and the contaminants found are of the type used, housed, stored, processed or sold on or from 6570 Girvin Drive, Oakland, California site, such shall amount to a rebuttable presumption that the contamination below, or in the immediate vicinity of, the encroachment was caused by the Permittee, its agents, employees, contractors or representatives.
 - (c) That said Permittee shall comply with all applicable federal, state, county and local laws, rules, and regulations governing the installation, maintenance, operation and abatement of the encroachment.
16. That this Indenture Agreement and associated Permit shall take effect when all the conditions hereinabove set forth shall have been complied with to the satisfaction of the City Engineer.
17. That this Indenture Agreement alone does not allow work to be done which requires permitting and/or inspection. The Permittee must obtain any and all required permits before beginning work.
18. The rights and obligations of this Indenture Agreement shall be binding upon the Permittee, all successive owners and assigns thereof, and shall be automatically assigned to and assumed by any and all successive persons or entities with a fee interest in all or any portion of the Property.

EXHIBIT B

Description of the Private Property Abutting the Encroachment

Addresses Approximately 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859 Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway

Permit no. TBD

Parcel nos. 8-642-16, 1-201-4, 1-201-1, 8-649-7, 18-415-2, 18-450-6, 10-764-3, 8-751-5, 8-659-2-1, 8-656-8-1, 25-718-7, 12-967-5-1, 38-3182-27, 8-624-8, 3-69-14, 8-649-12, 1-244-5, 2-96-1, 8-619-8-1, 14-1277-151, 9-685-18-6, 8-641-8-5, 2-59-3-1, 2-55-2, 3-71-108, 10-764-3, 2-98-2, 8-635-2-1, 2-101-3, 10-764-3, 2-33-15-1, 8-651-15-2, 8-623-6-1, 8-635-2-1, 8-619-8-1, 9-685-18-6, 8-622-14, 8-624-31, 10-798-2-3, 2-51-5

Deed no. TBD

Recorded TBD

EXHIBIT B (CONTINUED)

[MAP TO BE DETERMINED]

EXHIBIT C

Limits of the Encroachment in the Public Right-Of-Way

Address TBD

Parcel no. TBD

[DETAILED DRAWING TO BE DETERMINED]

A more legible copy is available at the Office of

A more legible copy is available at the Office of
the Director, DOT, City of Oakland, 250 Frank H.
Ogawa Plaza, 4th floor.

EXHIBIT D

Oakland City Council Resolution XXXXX C.M.S. (page 1 reference)

EXHIBIT E:

Major Encroachment Agreement
Conditions of Indenture

page 10 of 12
ENMJ TBD

**FORM OF NOTICE TO PROSPECTIVE PURCHASERS AND/OR TENANTS OF
DIGITAL KIOSKS IN THE RIGHT-OF-WAY AT APPROXIMATELY 1807 TELEGRAPH
AVE, 831 BROADWAY, 826 WASHINGTON ST, 2015 BROADWAY, 416 WATER ST, 1000
OAK ST, BELLEVUE AVE (LAKESIDE PARK NEAR GRAND AVE. AND BAY PL.), 2417
BROADWAY, 2225 TELEGRAPH AVE, 2228 BROADWAY, 3136 INTERNATIONAL
BLVD, 3801 TELEGRAPH AVE, 5859 FOOTHILL BLVD, 1709 WEBSTER ST, 575 15TH
ST, 490 THOMAS L BERKLEY WAY, 200 BROADWAY, 1000 BROADWAY, 150 FRANK
H OGAWA PLAZA, 5110 TELEGRAPH AVE, 2630 BROADWAY, 540 17TH ST, 383 11TH
ST, 1398 FRANKLIN ST, 600 14TH ST, BELLEVUE AVE (LAKESIDE PARK NEAR
HARRISON ST. AND 21ST ST.), 1011 BROADWAY, 274 19TH ST, 400 9TH ST,
BELLEVUE AVE (LAKESIDE PARK NEAR LAKESIDE DR. AND HARRISON ST.), 555
12TH ST, 2000 FRANKLIN ST, 1731 FRANKLIN ST, 274 19TH ST, 1423 BROADWAY,
2616 BROADWAY, 447 17TH ST, 1624 FRANKLIN ST, 2501 HARRISON ST AND 1212
BROADWAY**

Recording requested by:

CITY OF OAKLAND

When recorded mail to:

City of Oakland
Public Works Department
Dalziel Admin Building
250 Ogawa Plaza - 4th Floor
Oakland, CA 94612
Attn: Director, DOT

----- space above for Recorder's use only -----

Addresses Approximately 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859 Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway

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Permit no. TBD

Parcel no. TBD

Authorities TBD

Description Portions of digital kiosks encroaching into the Public Right of Way along 1807 Telegraph Ave, 831 Broadway, 826 Washington St, 2015 Broadway, 416 Water St, 1000 Oak St, Bellevue Ave (Lakeside Park near Grand Ave. and Bay Pl.), 2417 Broadway, 2225 Telegraph Ave, 2228 Broadway, 3136 International Blvd, 3801 Telegraph Ave, 5859

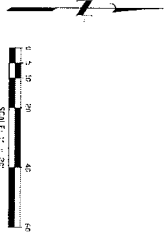
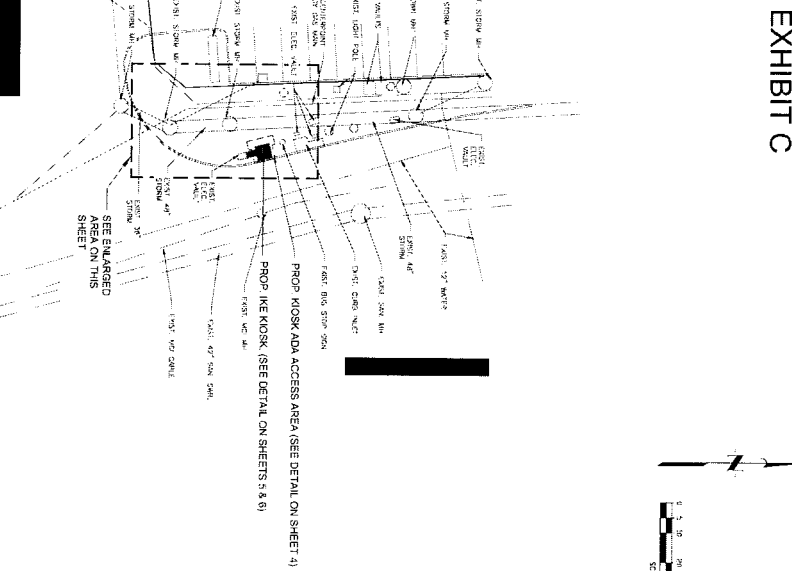
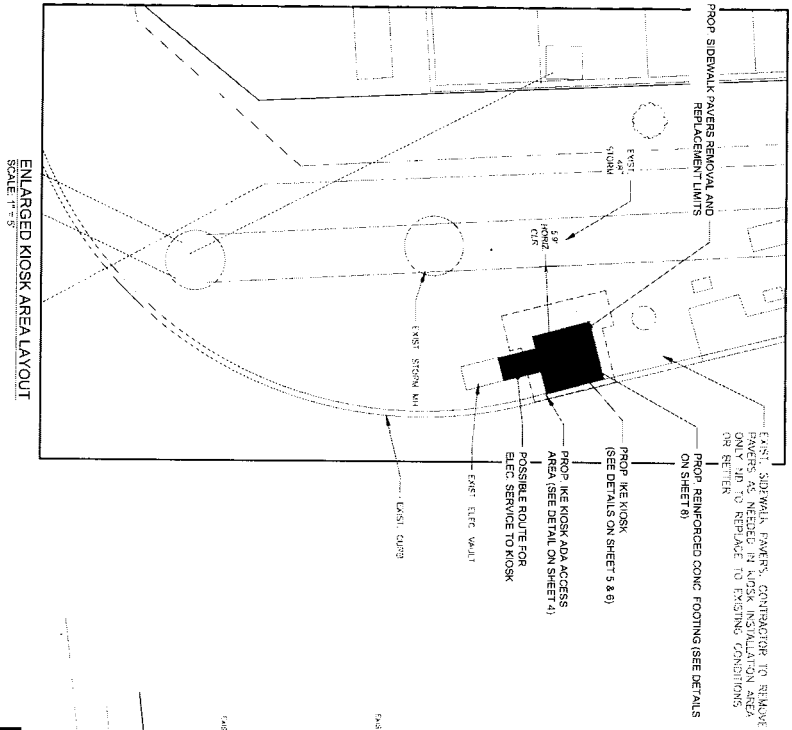
Foothill Blvd, 1709 Webster St, 575 15th St, 490 Thomas L Berkley Way, 200 Broadway, 1000 Broadway, 150 Frank H Ogawa Plaza, 5110 Telegraph Ave, 2630 Broadway, 540 17th St, 383 11th St, 1398 Franklin St, 600 14th St, Bellevue Ave (Lakeside Park near Harrison St. and 21st St.), 1011 Broadway, 274 19th St, 400 9th St, Bellevue Ave (Lakeside Park near Lakeside Dr. and Harrison St.), 555 12th St, 2000 Franklin St, 1731 Franklin St, 274 19th St, 1423 Broadway, 2616 Broadway, 447 17th St, 1624 Franklin St, 2501 Harrison St And 1212 Broadway].

This property is subject to a conditional and revocable Major Encroachment Permit No. ENMXXXX for portions of two earth retaining structures in the public right-of-way (“Encroachment Property”), authorized by City Council Resolution C.M.S. XXXXX on DATE, and effective upon recordation of the accompanying Indenture Agreement between the City of Oakland and IKE SMART CITY, LLC (“Permittee”) and satisfaction of all conditions therein.

The conditional and revocable Major Encroachment Permit and accompanying Indenture Agreement are binding on the Permittee, successive owners and assigns thereof, and on all successive persons or entities with a fee interest in all or any portion of the Encroachment Property. The conditions and requirements of said Major Encroachment Permit and accompanying Indenture Agreement are recorded with the Alameda County Recorder as encumbrances of the Encroachment Property and its title.

Prospective purchasers and tenants are hereby given notice that the City may revoke this Major Encroachment Permit and require removal of said Encroachments upon the terms and conditions set forth in the Indenture Agreement.

EXHIBIT C



NO.	DATE	REVISION	APP.

<p>NOTICE: THIS PLAN AND SPECIFICATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS OF WORK BEFORE BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS OF WORK BEFORE BEGINNING WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL CONDITIONS AND CONDITIONS OF WORK BEFORE BEGINNING WORK.</p>	<p>VERIFICATION OF PRIVATE UTILITY LINES: CONTRACTOR SHALL VERIFY ALL PRIVATE UTILITY LINES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES AND OBTAINING NECESSARY PERMITS AND CROSSING AGREEMENTS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITIES AND OBTAINING NECESSARY PERMITS AND CROSSING AGREEMENTS PRIOR TO CONSTRUCTION.</p>
<p>COMPLETION OF WORK: CONTRACTOR SHALL COMPLETE ALL WORK AND REMOVE ALL DEBRIS AND EXCESS MATERIAL FROM THE SITE PRIOR TO THE START OF THE NEXT WORKING DAY. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION.</p>	<p>CONTRACTOR SHALL BE RESPONSIBLE FOR: OBTAINING ALL NECESSARY PERMITS AND APPROVALS PRIOR TO CONSTRUCTION. VERIFYING ALL CONDITIONS AND CONDITIONS OF WORK BEFORE BEGINNING WORK. NOTIFYING ALL UTILITIES AND OBTAINING NECESSARY PERMITS AND CROSSING AGREEMENTS PRIOR TO CONSTRUCTION.</p>

<p>WATER</p>	<p>STANDARD WATER QUALITY</p>
<p>WASTE WATER</p>	<p>FACILITIES</p>
<p>STORM WATER</p>	<p>CONSTRUCTION SITE/STORMWATER CONTROL & TREATMENT</p>
<p>FILE NO.</p>	<p>1000000000</p>
<p>SHEET NO.</p>	<p>1 OF 20</p>
<p>DRAWING SCALE</p>	<p>AS SHOWN</p>

NOTE: CITY SIGNATURES VALID FOR ONE YEAR ONLY AFTER DATE OF SIGNATURES

SHEET NO. 1 OF 20
DRAWING SCALE AS SHOWN