

**CITY OF OAKLAND
COUNCIL AGENDA REPORT**

FILED
OFFICE OF THE CITY CLERK
OAKLAND

2004 MAR -4 AM 11:07

TO: Office of the City Manager
ATTN: Deborah Edgerly
FROM: Community & Economic Development Agency
DATE: March 16, 2004

RE: CONTINUED PUBLIC HEARING AND RESOLUTION DENYING THE APPEAL AND SUSTAINING THE DECISION OF THE CITY PLANNING COMMISSION IN APPROVING THE APPLICATION FOR A MAJOR CONDITIONAL USE PERMIT TO CONVERT AN EXISTING REST HOME FACILITY INTO A TWENTY-SEVEN UNIT RESIDENTIAL PROJECT LOCATED AT 4690 TOMPKINS AVENUE, OAKLAND.

BACKGROUND & KEY ISSUES

This project, the conversion of the Beulah Rest Homes to 27 apartments, was originally approved by the City Planning Commission on August 6, 2003. On August 11, 2003, Jeff Doney filed an appeal of the Planning Commission's approval. This appeal had been originally scheduled for the City Council meeting on September 30, 2003. It was continued from this hearing to give the parties more time to negotiate their differences. The item subsequently went before the City Council on November 18, 2003. At the hearing, the Council voted unanimously to send the matter back to the Planning Commission for the purpose of receiving clarification and advice on the project. Specifically, the City Council asked the Planning Commission to provide the City Council with clarification and advice on the following two issues:

1. Why were the larger 4-bedroom units not required to be broken down into smaller 2 bedroom units?
2. Does the Planning Commission believe that additional parking could and should be added to the site?

At the Planning Commission hearing of February 4, 2004, the Planning Commission considered the questions and provided answers. As to the first question, the Commission did previously consider and discuss the size of the larger four-bedroom units and approved them as shown because they felt that there were physical constraints in breaking those units down because of exiting issues. All of the buildings exist and the Commission believed it would be too difficult to further internally divide the structures to create even smaller units without compromising either the exterior integrity of the buildings or safety issues related to exiting each unit per the building code. Furthermore, the Planning Commission noted that while large, there is nothing in City regulations forbidding four bedroom units. The Planning Commission suggested one way the Council could address the concern of potential multi-tenant occupation of these larger units

Item: 14.3
City Council
March 16, 2004

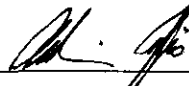
would be to reduce the number of bathrooms in each unit as this would possibly make the larger units less suitable for multiple, unrelated tenants to occupy.

In answer to the second question, the Commission noted that they had recommended more parking than the standards for the R-50 zoning district (which requires at minimum one space for each unit). The project was approved with 27 units and 40 parking spaces (a ratio of 1.48 spaces per unit). The Commission believed there were physical limits to adding further parking and that there were definite site trade offs to requiring more parking on the property. The Commission was reluctant to see the property modified significantly and requiring additional parking above what was approved would likely have meant the removal of buildings, landscaping, retaining walls, and perhaps additional grading as the site has varying topography. The site has a narrow internal access road and the project proposes a hammerhead turnaround for fire vehicles. This turnaround further limits the ability of the site to carry additional parking. For these reasons, the Planning Commission decided not to require additional parking beyond what they approved.

ACTION REQUESTED OF THE CITY COUNCIL

1. Affirm staff's environmental determination.
2. Uphold the Planning Commission approval and deny the appeal.

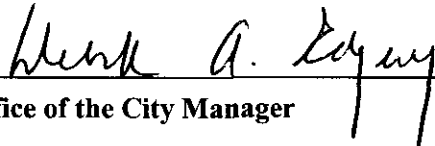
Respectfully submitted,



CLAUDIA CAPPIO
Development Director
Community & Economic Development Agency

Prepared by:
Robert D. Merkamp, Planner III
Planning & Zoning

Approved and Forwarded to the City Council:



Office of the City Manager

Attachments

- A. Minutes from the February 4th, 2004 Planning Commission hearing

Item: 14.3
City Council
March 16, 2004

OAKLAND CITY COUNCIL

2004 MAR -4 AM 11:07

RESOLUTION NO. _____ C.M.S.

INTRODUCED BY COUNCILMEMBER _____

Mark P. Well

**RESOLUTION DENYING THE APPEAL AND SUSTAINING THE
DECISION OF THE CITY PLANNING COMMISSION IN
APPROVING THE APPLICATION FOR A MAJOR CONDITIONAL
USE PERMIT TO CONVERT AN EXISTING REST HOME FACILITY
INTO A TWENTY-SEVEN UNIT RESIDENTIAL PROJECT
LOCATED AT 4690 TOMPKINS AVENUE, OAKLAND**

WHEREAS, the property owner, Walter and Alice Loo, filed an application on July 25, 2000 to convert an existing rest home facility into twenty-seven apartment units at the property located at 4690 Tompkins Avenue; and

WHEREAS, The City Planning Commission took testimony and considered the matter at its meeting held May 21, 2003. Action on the matter was referred to the Design Review Committee. The Design Review Committee took testimony and considered the matter at its meeting held on June 25, 2003. Action on the matter was referred back to the City Planning Commission for a decision. The City Planning Commission took testimony and considered the matter at its meeting held August 6, 2003. At the conclusion of the public hearing held for the matter, the commission deliberated the matter, and voted. The project was approved, 6-0-1; and

WHEREAS on August 11, 2003, an appeal of the Planning Commission's approval and a statement setting forth the basis of the appeal was received; and

WHEREAS, after giving due notice to the Appellant, the Applicant, all interested parties and the public, the Appeal came before the City Council for a public hearing on September 30, 2003; and

WHEREAS, the public hearing on the Appeal was continued by the City Council on September 30, 2003 to November 18, 2003 to give the applicant and appellants additional time to discuss their differences; and

WHEREAS, on November 18, 2003 the City Council referred the matter to the City Planning Commission for further consideration and advice, pursuant to Oakland Planning Code Section 17.134.070A on 1) why were the larger 4-bedroom units not required to be broken down into smaller 2 bedroom units and 2) whether the Planning Commission believed that additional parking could be placed on the site; and

14.3
ORA/COUNCIL
MAR 16 2004

WHEREAS, the City Planning Commission considered the questions of the City Council at their meeting of February 4, 2004. To the first question the Planning Commission responded that they believed that breaking down the units further would be difficult as the building was existing and that it would be difficult to ensure adequate exiting of each unit. To the second question the Planning Commission noted that they had required more parking than the zoning regulations required and that adding even more parking would likely result in the removal of significant landscaping, structures, retaining walls, and require more site grading; and

WHEREAS, after giving due notice to the Appellant, the Applicant, all interested parties and the public, the Appeal came before the City Council for a continued public hearing on March 16, 2004; and

WHEREAS, the Appellant, the Applicant, supporters of the application, those opposed to the application and interested neutral parties were given ample opportunity to participate in the public hearing by submittal of oral and/or written comments; and

WHEREAS, the public hearing on the Appeal was closed by the City Council on March 16, 2004;

Now, Therefore, Be It

RESOLVED: The requirements of the California Environmental Quality Act (CEQA) of 1970, as prescribed by the Secretary of Resources, and the City of Oakland's environmental review requirements, have been satisfied, and, in accordance the adoption of this resolution is exempt from CEQA under Section 15332 "In-Fill Development" of the State CEQA Guidelines.

FURTHER RESOLVED: That, the City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Application, the City Planning Commission's decision, and the Appeal, finds that the Appellant has not shown, by reliance on evidence already contained in the record before the City Planning Commission that the City Planning Commission's decision was made in error, that there was an abuse of discretion by the Commission or that the Commission's decision was not supported by substantial evidence in the record based on the August 6, 2003 Staff Report to the City Planning Commission (attached as Exhibit "A") and the November 18, 2003, City Council Agenda Report (attached as Exhibit "B") hereby incorporated by reference as if fully set forth herein. Accordingly, the Appeal is denied, the Planning Commission's CEQA findings and decision are upheld, and the Project is approved (the Major Conditional Use Permit), subject to the findings and conditions of approval contained in Exhibits "A."

FURTHER RESOLVED: That, in support of the City Council's decision to approve the Project, the City Council affirms and adopts the August 6, 2003 Staff Report to the City Planning Commission (including without limitation the discussion, findings, conclusions and conditions of approval) all attached as Exhibit "A", as well as the November 18, 2003, City

Council Agenda Report, attached hereto as Exhibit "B," (including without limitation the discussion, findings, and conclusions) except where otherwise expressly stated in this Resolution.

FURTHER RESOLVED: That, the City Council finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Exemption with the appropriate agencies.

FURTHER RESOLVED: That, the record before this Council relating to this application and appeal includes, without limitation, the following:

1. the application, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. the notice of appeal and all accompanying statements and materials;
4. all final staff reports, final decision letters and other final documentation and information produced by or on behalf of the City, including without limitation and all related/supporting final materials, and all final notices relating to the application and attendant hearings;
5. all oral and written evidence received by the City Planning Commission and City Council during the public hearings on the application and appeal; and all written evidence received by relevant City Staff before and during the public hearings on the application and appeal;
6. all matters of common knowledge and all official enactments and acts of the City, including, without limitation (a) the General Plan; (b) Oakland Municipal Code (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations.

FURTHER RESOLVED: That, the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, 3rd Floor, Oakland CA.; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, CA.

FURTHER RESOLVED: That, the recitals contained in this Resolution are true and correct and are an integral part of the City Council's decision.

In Council, Oakland, California, _____, 2004

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, BRUNNER, CHANG, NADEL, QUAN, REID, WAN, AND
PRESIDENT DE LA FUENTE

NOES-

ABSENT-

ABSTENTION-

ATTEST: _____

CEDA FLOYD
City Clerk and Clerk of the
Council of the City of
Oakland, California

14.3
CRA/COUNCIL
MAR 16 2004



*Clinton Killian, Chair
Michael Lighty, Vice Chair
Nicole Franklin
Colland Jang
Suzie W. Lee
Mark McClure
Anne Mudge*

FEBRUARY 4, 2004
Regular Meeting

POLICIES AND

4:00 P.M.

PROCEDURES

Hearing Room 1, City Hall

COMMITTEE

1 Frank H. Ogawa Plaza

MEETING

The Policies and Procedures Committee did not meet due to the lack of a quorum

MEAL GATHERING

5:00 P.M.

Max's Diner, 500-12th Street, Oakland City Center

BUSINESS MEETING

6:30 P.M.

Hearing Room 1, City Hall, One Frank H. Ogawa Plaza

ROLL CALL

Present: Franklin, Jang, Killian, Lee, McClure,
Excused Absence: Lighty, Mudge
Staff: Patton, Thombs - CEDA Planning and Zoning
Wald - City Attorney

WELCOME BY THE CHAIR

Chair Killian, welcomed all to the meeting and explained the conduct of meetings.

For further information on any case listed on this agenda, please contact the case planner indicated for that item. For further information on Historic Status, please contact the Oakland Cultural Heritage Survey at 510-238-6879. For other questions or general information on the Oakland City Planning Commission, please contact the Community and Economic Development Agency, Planning and Zoning Division, at 510-238-3941.

Video tape recordings of any item heard at this Planning Commission meeting are available by contacting KTOP at 510-238-3566. There is a \$2.50 charge for each tape. Please allow 7 to 10 working days for tape reproduction.



COMMISSION BUSINESS

Approval of Minutes: January 21, 2004

Commissioner McClure moved approval of the January 21, 2004 minutes, seconded by Commissioner Lee.

ACTION: On approval of the minutes: 5 ayes (Franklin, Jang, Killian, Lee, McClure), 0 noes, 2 absent (Lighty, Mudge); minutes approved.

Agenda Discussion

Chair Killian noted that he had a request regarding item number four (4) from the appellant, Nina Rosen, who has a disability and will not be available for the extent of the meeting. Chair Killian, with the consent of the Commission, noted that he would be taking the item out of order for discussion immediately following his comments. The item was discussed immediately following agenda discussion and prior to Correspondence. The item was an appeal of a design review approval of an addition to a four-plex at **6426 Benvenue Avenue (APN 016 -1410-016-02)**. Note: Item four was discussed as the first item, however the discussion and action is reflected under item 4 of the minutes.

Correspondence

The Commission has been provided with copies of all correspondence received. All correspondence relates to items on the agenda.

City Council Actions: None appearing

Director's Report: 1. A request by the City Council for clarification from the Planning Commission related to approval of **CM00-249 (A03-377)** at **4690 Tompkins Avenue**. Gary Patton, Deputy Director, reviewed the request from the City Council. The City Council requested clarification on two items as follows:

1. Why were the larger 4-bedroom units not required to be broken down into smaller 2 bedroom units.
2. Does the Planning Commission believe that additional parking could and should be added to the site.

Robert Merkamp, case planner, reviewed the initial application

Speakers:

- Jeff Doney
- Eric Anthony
- Amy Rosen
- Leila Moncharsh

The Planning Commission discussed the size of the larger 4-bedroom units and felt that there were constraints to breaking



those units down because of exiting requirements and because the units are currently legal.

The commission focused on trying to find a balance between requiring additional parking vs. removing landscaping, retaining walls, and having to bring more grading to the site.

Recommendation:

1. The Planning Commission recommends that the applicant reduce the number of bathrooms in the project.
2. The Planning Commission recommends that additional parking be provided to the extent feasible acknowledging trade-offs with grading and landscaping.

Committee Reports None appearing

City Attorney's Report None appearing

OPEN FORUM

The following persons addressed the Commission:

CONSENT CALENDAR

The Commission will take a single roll call vote on all of the items listed below in this section. The vote will be on approval of the staff report in each case. Members of the Commission may request that any item on the Consent Calendar be singled out for separate discussion and vote.



1. **Location:** 987 Scott Street (APN: 011-0851-005-00)
Proposal: To convert a single-family dwelling into a clean and sober facility (a Service-Enriched Residential activity).
Applicant: TLC Residential, LLC
Contact Person/Phone Number: David Stegall / (925) 989-6938
Owner: Stanley Fong
Case File Number: CM03-557
Planning Permits Required: Major Conditional Use Permit to establish a service-enriched housing activity.
General Plan: Mixed Housing Type
Zoning: R-40, Garden Apartment Residential Zone
Environmental Determination: Exempt 15301; State CEQA Guidelines, Existing Facilities
Historic Status: Not a Potentially Designated Historic Property. Survey Rating: X
Service Delivery District: III
City Council District: 2
Status: Continued from January 21, 2004 meeting.
Action to be Taken: Action to be Taken based on Staff Report
Finality of Decision: *Appealable to City Council*
For Further Information: Contact case planner Leigh McCullen at (510) 238-4977 or by email: lmccullen@oaklandnet.com

Lee McCullen, case planner, was available for Commission questions.

David Stegall, representing the applicant, addressed the application.

Commissioner McClure moved approval of the staff report, seconded by Commissioner Franklin.

PUBLIC HEARINGS

2. **Location:** 4806 International Blvd. (APN#035-2361-026-00)
Proposal: Major Conditional Use Permit for alcoholic beverage sales activity.
Applicant: Andres & Patricia Guzman
Contact Person/Phone Number: Andres & Patricia Guzman / (510) 261-8696
Owner: Francisco Lopez
Case File Number: CM03-645
Planning Permits Required: Major Conditional Use Permit
General Plan: Urban Residential
Zoning: C-40
Environmental Determination: Exempt, CEQA Guidelines (General Rule Exemption) Section 15301
Historic Status: Non Historic Property (NHP)
Service Delivery District: 4
City Council District: 5
Status: Approve application with attached conditions.
Action to be Taken: Pending
Finality of Decision: *Appealable to City Council*
For Further Information: Contact case planner Jacob Graef at (510) 777-8672 or by email at jgraef@oaklandnet.com.

Jacob Graef, Case planner, was available for questions.



No speakers on this item.

Public hearing closed.

Commissioner McClure moved approval of the application, seconded by Commissioner Lee.

ACTION: On the motion: 5 ayes (Franklin, Jang, Killian, Lee, McClure), 0 noes, 2 absent (Lighty, Mudge) Application approved.

APPEALS

| | | |
|-----------|-------------------------------------|---|
| 3. | Location: | 695 Florence Avenue (APN: 048B-7161-005-01) |
| | Proposal: | Appeal of a denial of a secondary unit. |
| | Appellant/Applicant: | Doina Frentescu |
| | Contact Person/Phone Number: | Doina Frentescu / (925) 899-5947 |
| | Owner: | The August Company |
| | Case File Number: | A03-586 |
| | Planning Permits Required: | Appeal of a Minor Variance and Conditional Use Permit |
| | General Plan: | Detached Unit Residential |
| | Zoning: | R-30 One Family Residential Zone, S-18 Mediated Residential Design Review Combining Zone |
| | Environmental Determination: | Exempt, Section 15303 of the State CEQA Guidelines; addition of secondary unit |
| | Historic Status: | No Historic Record |
| | Service Delivery District: | II – North Hills |
| | City Council District: | 1 |
| | Status: | Pending |
| | Action to be Taken: | Action to be Taken based on Staff Report |
| | Finality of Decision: | <i>Final Decision</i> |
| | For Further Information: | Contact case planner Robert D. Merkamp at (510) 238-6283 or by email: rmerkamp@oaklandnet.com . |

Robert Merkamp, case planner, reviewed the appeal.

- Speakers: Diona Frentescu, the applicant.
 Duane Heil, the owner.
 Robert Miller
 Sam Suttle
 Martin Cepkauskas
 Michael Inocencio

Public hearing closed.

Commissioner McClure moved to uphold the Director' s decision to deny the minor Variance and Conditional Use Permit and deny the appeal, seconded by Commissioner Lee,

ACTION: On the motion: 5 ayes (Franklin, Jang, Killian, Lee, McClure), 0 noes, 2 absent (Lighty, Mudge) Appeal denied.



| | | |
|-----------|-------------------------------------|--|
| 4. | Location: | 6426 Benvenue Avenue (APN 016 -1410-016-02) |
| | Proposal: | Appeal of a design review approval of an addition to a four-plex. |
| | Appellant: | Nina Rosen |
| | Contact Person/Phone Number: | (510) 238-6283 |
| | Applicant/Owner: | Javaheri Morteza |
| | Case File Number: | A03-648 |
| | Planning Permits Required: | Appeal of a Regular Design Review Permit |
| | General Plan: | Mixed Housing Type |
| | Zoning: | R-50 Medium Density Residential, S-18 Mediated Residential Design Review Combining Zone |
| | Environmental Determination: | Exempt, Section 15301 of the State CEQA Guidelines; minor alterations to existing facilities |
| | Historic Status: | Potential Designated Historic Property (PDHP); Survey rating: D1 + |
| | Service Delivery District: | II – North Oakland |
| | City Council District: | 1 |
| | Status: | Pending |
| | Action to be Taken: | Action to be Taken based on Staff Report |
| | Finality of Decision: | <i>Final Decision</i> |
| | For Further Information: | Contact case planner Robert D. Merkamp at (510) 238-6283 or by email: rmerkamp@oaklandnet.com. |

Robert Merkamp, case planner, reviewed the application.

Speakers: Nina Rosen, the appellant spoke against the application.
Marilyn Hagberg
Mike Bacon
Sean Laal, project architect, spoke in favor of the project

Public hearing closed.

Commissioner Jang moved to affirm staff’s environmental determination and deny the Appeal and uphold the Zoning Administrator’s Design Review approval based on the attached findings and subject to the conditions of approval contained in the attached Zoning Administrator letter dated December 17, 2003, seconded by Commissioner McClure.

ACTION: On the motion: 5 ayes (Franklin, Jang, Killian, Lee, McClure), 0 noes, 2 absent (Lighty, Mudge) Appeal denied.

ADJOURNMENT

8:30 P.M.

GARY PATTON
Deputy Director of
Planning and Zoning

Exhibit B

[November 18, 2003 City Council Agenda Report]

**CITY OF OAKLAND
COUNCIL AGENDA REPORT**

FILED
OFFICE OF THE CITY CLERK
CITY OF OAKLAND

2003 SEP 18 PM 1: 49

TO: Office of the City Manager
ATTN: Deborah Edgerly
FROM: Community & Economic Development Agency
DATE: September 30, 2003
RE: PUBLIC HEARING AND RESOLUTION ON THE APPEAL OF PLANNING
COMMISSION APPROVAL OF A TWENTY SEVEN UNIT RESIDENTIAL
PROJECT AT 4690 TOMPKINS AVENUE.

SUMMARY

This project, the conversion of the Beulah Rest Homes to 27 apartments, was originally approved by the City Planning Commission on August 6, 2003. On August 11, 2003, Jeff Doney filed an appeal of the Planning Commission's approval (Attachment A). The appellant raised four points of contention; namely 1) The Planning Commission lacked sufficient information to make their decision; 2) The City should require additional CUP conditions; 3) The City should deny a Conditional Use Permit based upon the applicants' past history of property abuse and current application; 4) The City should require more oversight due to the past history and nebulous information about the project. See Key Issues and Impacts, below, for an analysis of the appeal.

The subject property is approximately 2.34 acres and is located near the I-580 and State Highway 13 Interchange. The project site itself is bounded by Tompkins Avenue on the west, Wilkie Street on the south, and Fair Avenue on the east. The project site is located within the R-50 Medium Density Residential Zone and contains several existing structures including a former rest home (now mostly vacant), a senior assisted living complex, seven small cottages, and a smaller apartment building fronting on Fair Avenue. The project site is surrounded by residential uses, including mainly single family uses to the north and east, and a mixture of single and multi-family residences to the south and west.

FISCAL IMPACT

The project involves a private development, does not request or require public funds and has no fiscal impact on the City of Oakland. The appellant submitted the required appeal fees. If constructed, the project would provide a positive fiscal impact through increased property tax valuation and business license tax.

BACKGROUND

This is a request by the applicant to convert the existing historic Beulah Rest Home into a 27 unit apartment complex. The main building (fronting on Tompkins Avenue) was constructed in 1928. with an addition added in 1948. Many of the cottages were constructed in the 1950s and

14.3
ORA/COUNCIL
MAR 16 2004

14.2
ORA/COUNCIL
NOV 18 2003

Item: 131
City Council
September 30, 2003

the three-unit residential building on Fair Avenue was built in 1963. The rest home has been unused since approximately 1997, and is currently vacant except for the property owner and family. The proposal involves the internal conversion of the 70-room main building into 17 residential units, the conversion of an old dormitory-style building fronting onto Fair Avenue into a 2-unit apartment building, as well as the reuse of the several existing cottages on the property for a total of 27 units. The project will be conducted in phases, with one wing of the main building being worked on at a time. The project proposes no external modifications to the project site. **An** existing Senior Assisted Living Facility is on-site (building two) but is not proposed for modification or change in use. The assisted living facility is state licensed for and operating with 15 residents and has, at most, three employees on any one shift.

The main structure would include 17 residential units, including one occupied by the property owner. Rental unit sizes will vary from 1 bedroom efficiency units of approximately 630 square feet to 4 bedroom units of up to 2,600 square feet.

The project went before the Design Review Committee on June 25, 2003. The applicant was directed to provide as much on-site parking as possible and to meet with the neighbors prior to the item returning to the Planning Commission. The owners met with a representative group of property owners on July 18, 2003 to discuss a variety of issues including parking, design, and other events taking place on the property. The applicant revised their plans, particularly the landscape and site plan. They also reduced the number of units from 29 (the original plan) to 27.

The project returned to the full Planning Commission on August 6, 2003 (see staff report, Exhibit "B") and ultimately approved the project, adding a condition that the project be brought back before the Commission within 6 months of the approval to ensure the project is complying with the conditions of approval.

Staff finds that the project is appropriate for the site. The reuse of the Beulah Rest Home complex as residential units would enhance the property, the neighborhood, and revive a mostly vacant site that otherwise could become a nuisance. As conditioned, staff believes the proposed use is appropriate and recommends the City Council uphold the project and deny the appeal.

KEY ISSUES AND IMPACTS

The following is an analysis of the basis for which the project approval was appealed. The appellant's letter is attached (see Exhibit "A"). The basis of the appeal as contained in the appeal letter is shown in bold text. A staff response follows each point.

1. The Planning Commission lacked sufficient information to make their decision.

Staff Response: The appellant has not specified what information the Planning Commission lacked, so staff cannot respond to this allegation in a meaningful way. The project appeared before the full Planning Commission twice and the Design Review Committee once prior to

Item: ~~BT~~
City Council
September 30, 2003

approval. The application went through several revisions based on the Planning Commission's and community's input or concerns. The Commission strengthened or modified several conditions to increase the level of Commission oversight for the project after it has been approved.

There have been allegations made during and since the Planning Commission hearing that illegal work has been done on the property. Code Enforcement investigation is ongoing. If the allegations prove to be true, staff will issue citations requiring the property owners to stop work and/or obtain all the proper permits, or to remove any modification made without the benefit of permits. At the time of writing the report, no determination has been made. Staff will provide an update on the code enforcement review at the City Council hearing.

2. The City should require additional CUP conditions.

Staff Response: The appellant has not requested any additional specific conditions in the appeal. However, at the final Planning Commission meeting, the neighbors submitted three conditions that they propose be applied to the approval. These were that 1) the City conduct a one year review before the Planning Commission to check on the progress of the project; 2) the applicant make a financial disclosure to prove sufficient assets to complete the project; and 3) that a baseline of work be established through inspections of the property prior to new work being started. Staff believes these conditions were previously addressed in the Planning Commission approval. Our findings and rationale for each issue are presented below:

- A) The first proposed was that the project would return to the Planning Commission within one year for review of the progress being made. The Commission shortened the time frame to 6 months. This review would be in the form of a status report prepared by staff to the Planning Commission, keeping them informed of how the applicants are complying with the conditions of approval and in securing their building permits. The Planning Commission has the power to forward the Conditional Use Permit for revocation should the project be found to be in non-compliance with the conditions of approval.
- B) The second proposed condition was to require the applicants to reveal their financial status in order to demonstrate their ability to secure sufficient funds to complete the project. This condition was rejected as the Planning Commission has no authority to compel an applicant to expose private financial records to the public.
- C) Finally, the last requested condition was that a preliminary inspection of the property be required to establish a "baseline" for all future work. The Planning Commission approved a modified condition that required the applicant to bring the entire property up to the standards of the current Building Code during the development of this project. As this code is part of state law and the City of Oakland's ordinance, it would most suitably serve as a base level against which all future alterations could then be measured. Any alterations required to bring the property to the current code would be required to secure

Item: 2.1
City Council
September 30, 2003

building permits, which involves routine inspections to ensure the work had been done properly to code.

In general, the conditions imposed on this project go further than those normally required for residential projects in the City of Oakland. This *is* due to the uniqueness of the project as it represents the conversion of existing structures as opposed to new construction. Additional landscaping conditions improve the existing plantings and extra fencing conditions improve the quality of the fencing material on site. Also, as the applicant proposes to work in phases; further conditions coordinate the development of the parking with each phase. All told, staff believes that the conditions of approval are adequate, enforceable, and will dramatically improve the existing site and the proposed development.

3. The City should deny a Conditional Use Permit based upon the applicants' past history of property abuse and current application.

Staff Response: Staff is aware of past building code and use violations concerning this property. However, previous violations are not necessarily a reason to deny a Conditional Use Permit for a new project as they are not accurate indicators of future illegal activity. Conditions can be written so as to ensure legal compliance. The Conditional Use Permit includes enforceable conditions to ensure that the property is maintained correctly. Specifically, there have been questions over certain Community Assembly activities taking place on the property over time. It seems the site was being leased to various groups for organized services, workshops, and weekend courses. Such activities are not permitted in the R-50 zoning district without a Conditional Use Permit. The applicants have stated that they were ignorant of the need to obtain permits to conduct such activities. The Conditional Use Permit incorporates a condition that the applicants cease all illegal activity or obtain required Conditional Use Permits to conduct such assembly activities.

4. The City should require more oversight due to the past history and nebulous information about the project.

Staff Response: Staff believes this has been accomplished. Additional conditions have been added to ensure that the property develops as proposed and is maintained in good and proper order (see responses to points #2 & #3 above). The Planning Commission has authorized that a status report be given within 6 months of the approval. Any deviations from the proposed drawings also would be subject to at minimum staff level review, and major alterations would require the project return to the Planning Commission.

SUSTAINABLE OPPORTUNITIES

This section describes the sustainable opportunities that are being addressed or will be implemented as part of the item, such as:

Item: ~~18~~
City Council
September 30, 2003

- Economic: The project will expand the available housing inventory in the City of Oakland and returns an existing underutilized facility to a viable use.
- Environmental: The project has been found to be exempt under Section 15332 "In-Fill Development" of the State of California Environmental Quality Act (CEQA). Furthermore, the permit has been conditioned to require the applicant to use Best Management Practices (BMPs) during construction, divert 50% of the waste generated by construction to recycling, and provide for erosion control on the site during construction to prevent runoff.
- Social Equity: The project benefits the community and improves social equity by providing additional available housing to the City of Oakland as well as additional temporary jobs during the construction of the project.

DISABILITY AND SENIOR CITIZEN ACCESS

The Building Division of the Community and Economic Development Agency will require the project to conform to the Americans With Disability Act in all provisions to ensure equal access to this facility.

STAFF RECOMMENDATION AND RATIONALE

Staff recommends that the City Council uphold the Planning Commission approval and deny the appeal. 1) The Planning Commission's decision was based on its thorough review of all pertinent aspects of the project. 2) The approved Conditional Use Permit includes enforceable conditions of approval that address key neighborhood concerns raised and that require future compliance review by the Planning Commission.

ALTERNATIVE CITY COUNCIL ACTIONS

The City Council also has several other options in addition to the one provided in the recommendation above.

1. The City Council could uphold the appeal and reverse the Planning Commission decision, denying the project.
2. The appeal could be denied, but with additional conditions imposed.
3. The item could be continued pending new information or further clarification of conditions or property inspection.

Item: ~~113~~
City Council
September 30, 2003

ACTION REQUESTED OF THE CITY COUNCIL

1. Affirm staffs environmental determination.
2. Uphold the Planning Commission approval and deny the appeal

Respectfully submitted,



CLAUDIA CAPPIO
Development Director
Community & Economic Development Agency

Prepared by:
Robert D. Merkamp, Planner III
Planning & Zoning

Approved and Forwarded to the City Council:



DEBORAH EDGERLY
Office of the City Manager

ATTACHMENTS:

- A. Appellant's letter of August 11, 2003
- B. Planning Commission Staff Report of August 6, 2003
- C. Project Plans

14.3
CITY COUNCIL

MAR 16 2004

~~N.A.~~
~~CITY COUNCIL~~
~~NOV 18 2003~~

Item: ~~13.1~~
City Council
September 30, 2003

OAKLAND CITY COUNCIL

OFFICE OF THE CLERK
2003 SEP 18 PM 1:50

RESOLUTION No. _____ C.M.S.

INTRODUCED BY COUNCILMEMBER _____

RESOLUTION DENYING THE APPEAL AND SUSTAINING THE DECISION OF THE CITY PLANNING COMMISSION IN APPROVING THE APPLICATION FOR A MAJOR CONDITIONAL USE PERMIT TO CONVERT AN EXISTING REST HOME FACILITY INTO A TWENTY-SEVEN UNIT RESIDENTIAL PROJECT LOCATED AT 4690 TOMPKINS AVENUE, OAKLAND

WHEREAS, the property owner, Walter and Alice Loo, filed an application on July 25, 2000 to convert an existing rest home facility into twenty-seven apartment units at the property located at 4690 Tompkins Avenue; and

WHEREAS, The City Planning Commission took testimony and considered the matter at its meeting held May 21, 2003. Action on the matter was referred to the Design Review Committee. The Design Review Committee took testimony and considered the matter at its meeting held on June 25, 2003. Action on the matter was referred back to the City Planning Commission for a decision. The City Planning Commission took testimony and considered the matter at its meeting held August 6, 2003. At the conclusion of the public hearing held for the matter, the commission deliberated the matter, and voted. The project was approved, 6-0-1; and

WHEREAS on August 11, 2003, an appeal of the Planning Commission's approval and a statement setting forth the basis of the appeal was received; and

WHEREAS, after giving due notice to the Appellant, the Applicant, all interested parties and the public, the Appeal came before the City Council for a public hearing on September 30, 2003; and

WHEREAS, the Appellant, the Applicant, supporters of the application, those opposed to the application and interested neutral parties were given ample opportunity to participate in the public hearing by submittal of oral and/or written comments; and

WHEREAS, the public hearing on the Appeal was closed by the City Council on September 30, 2003;

14.3
ORACOUNCIL

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ORACOUNCIL
SEP 30 2003

Now, Therefore, Be It

RESOLVED: The requirements of the California Environmental Quality Act (CEQA) of 1970, as prescribed by the Secretary of Resources, and the City of Oakland's environmental review requirements, have been satisfied, and, in accordance the adoption of this resolution is exempt from CEQA under Section 15332 "In-Fill Development" of the State CEQA Guidelines.

FURTHER RESOLVED: That, the City Council, having heard, considered and weighed all the evidence in the record presented on behalf of all parties and being fully informed of the Application, the City Planning Commission's decision, and the Appeal, finds that the Appellant has not shown, by reliance on evidence already contained in the record before the City Planning Commission that the City Planning Commission's decision was made in error, that there was an abuse of discretion by the Commission or that the Commission's decision was not supported by substantial evidence in the record based on the August 6, 2003 Staff Report to the City Planning Commission (attached as Exhibit "A") and the September 30, 2003, City Council Agenda Report (attached as Exhibit "B") hereby incorporated by reference as if fully set forth herein. Accordingly, the Appeal is denied, the Planning Commission's CEQA findings and decision are upheld, and the Project is approved (the Major Conditional Use Permit), subject to the findings and conditions of approval contained in Exhibits "B" in the Staff Report for this item prepared for the City Council meeting of September 30, 2003.

FURTHER RESOLVED: That, in support of the City Council's decision to approve the Project, the City Council affirms and adopts the August 6, 2003 Staff Report to the City Planning Commission (including without limitation the discussion, findings, conclusions and conditions of approval) all attached as Exhibit "A", as well as the September 30, 2003, City Council Agenda Report, attached hereto as Exhibit "B," (including without limitation the discussion, findings, and conclusions) except where otherwise expressly stated in this Resolution.

FURTHER RESOLVED: That, the City Council finds and determines that this Resolution complies with CEQA and the Environmental Review Officer is directed to cause to be filed a Notice of Exemption with the appropriate agencies.

FURTHER RESOLVED: That, the record before this Council relating to this application and appeal includes, without limitation, the following:

1. the application, including all accompanying maps and papers;
2. all plans submitted by the Applicant and his representatives;
3. the notice of appeal and all accompanying statements and materials;
4. all final staff reports, final decision letters and other final documentation and information produced by or on behalf of the City; including without limitation and all related/supporting final materials, and all final notices relating to the application and attendant hearings:

5. all oral and written evidence received by the City Planning Commission and City Council during the public hearings on the application and appeal; and all written evidence received by relevant City Staff before and during the public hearings on the application and appeal;

6. all matters of common knowledge and all official enactments and acts of the City, including, without limitation (a) the General Plan; (b) Oakland Municipal Code (c) Oakland Planning Code; (d) other applicable City policies and regulations; and, (e) all applicable state and federal laws, rules and regulations.

FURTHER RESOLVED: That, the custodians and locations of the documents or other materials which constitute the record of proceedings upon which the City Council's decision is based are respectively: (a) Community & Economic Development Agency, Planning & Zoning Division, 250 Frank H. Ogawa Plaza, 3rd Floor, Oakland CA.; and (b) Office of the City Clerk, 1 Frank H. Ogawa Plaza, 1st floor, Oakland, CA.

FURTHER RESOLVED: That, the recitals contained in this Resolution are true and correct and are an integral part of the City Council's decision.

In Council, Oakland, California, _____, 2003

PASSED BY THE FOLLOWING VOTE:

AYES- BROOKS, BRUNNER, CHANG, NADEL, QUAN, REID, WAN, AND
PRESIDENT DE LA FUENTE

NOES-

ABSENT-

ABSTENTION-

ATTEST: _____
CEDA FLOYD
City Clerk and Clerk of the
Council of the City of
Oakland, California

14.3
ORA/COUNCIL
MAR 16 2004

14.2
ORA/COUNCIL
NOV 18 2003

13.1
ORA/COUNCIL
SEP 30 2003

Exhibit A

[August 6, 2003 Planning Commission Staff Report]

Exhibit B

[September 30,2003 City Council Agenda Report]



CITY OF OAKLAND
REQUEST FOR APPEAL OF DECISION TO
PLANNING COMMISSION OR CITY COUNCIL

(REVISED 8/14/02)

PROJECT INFORMATION

Case No. of Appealed Project: (EM 00-249, A 03-377)

Project Address of Appealed Project: 4690 Tompkins

APPELLANT INFORMATION:

Printed Name: Jeff Doney

Phone Number: (510) 482-5383

Mailing Address: 4726 Fair Ave

Alternate Contact Number: Keith H. Monerash

City/Zip Code: oakland, CA 94619

Representing: Neighbors For Doney - (510) 433-0390

An appeal is hereby submitted on:

[] AN ADMINISTRATIVE DECISION (TO THE CITY PLANNING COMMISSION)

YOU MUST INDICATE ALL THAT APPLY:

- [] Approving an application for an Administrative Project
[] Denying an application for an Administrative Project
[] Administrative Determination or Interpretation by the Zoning Administrator
[] Other (please specify)

Pursuant to the Oakland Municipal and Planning Codes listed below:

- [] Administrative Determination or Interpretation (OPC Sec. 17.132.020)
[] Determination of General Plan Conformity (OPC Sec. 17.01.080)
[] Design Review (OPC Sec. 17.136.080)
[] Small Project Design Review (OPC Sec. 17.136.130)
[] Minor Conditional Use Permit (OPC Sec. 17.134.060)
[] Minor Variance (OPC Sec. 17.148.060)
[] Tentative Parcel Map (OMC Section 16.304.100)
[] Certain Environmental Determinations (OPC Sec. 17.158.220)
[] Creek Protection Permit (OMC Sec. 13.16.450)
[] Creek Determination (OMC Sec. 13.16.460)
[] Hearing Officer's revocation/impose or amend conditions (OPC Secs. 15.152.150 & 15.156.160)
[] Other (please specify)

[X] A DECISION OF THE CITY PLANNING COMMISSION (TO THE CITY COUNCIL)
[X] Granting an application to: OR [] Denying an application to:

build out 27 apartment units - Applicant sought a major conditional use permit.

(continued on reverse)

(Continued)

A DECISION OF THE CITY PLANNING COMMISSION (TO THE CITY COUNCIL)

YOU MUST INDICATE ALL THAT APPLY :

Pursuant to the Oakland Municipal and Planning Codes Listed below:

- Major Conditional Use Permit (OPC Sec. 17.134.070)
- Major Variance (OPC Sec. 17.148.070)
- Design Review (OPC Sec. 17.136.090)
- Tentative Map (OMC Sec. 16.32.090)
- Planned Unit Development (OPC Sec. 17.140.070)
- Environmental Impact Report Certification (OPC Sec. 17.158.220F) - *Exemption*
- Rezoning, Landmark Designation, Development Control Map, Law Change (OPC Sec. 17.144.070)
- Revocation/impose or amend conditions (OPC Sec. 17.152.160)
- Revocation of Deemed Approved Status (OPC Sec. 17.156.170)
- Other (please specify) _____

An appeal in accordance with the sections of the Oakland Municipal and Planning Codes listed above shall state specifically wherein it is claimed there was an error or abuse of discretion by the Zoning Administrator, other administrative decisionmaker or Commission (Advisory Agency) or wherein their/its decision is not supported by substantial evidence in the record, or in the case of Rezoning, Landmark Designation, Development Control Map, or Law Change by the Commission, shall state specifically wherein it is claimed the Commission erred in its decision.

You must raise each and every issue you wish to appeal on this Request for Appeal Form (or attached additional sheets). Failure to raise each and every issue you wish to challenge/appeal on this Request for Appeal Form (or attached additional sheets), and provide supporting documentation along with this Request for Appeal Form, may preclude you from raising such issues during your appeal and/or in court.

The appeal is based on the following: *(Attach additional sheets as needed.)*

- 1) The Planning Commission lacked sufficient information,
- 2) The City should require additional CUP conditions
- 3) The City should deny a use permit based upon the host's past history of property abuse and current application
- 4) The City should require more oversight due to the past history and nebulous information about the project.

Supporting Evidence or Documents Attached. *(The appellant must submit all supporting evidence along with this Appeal Form.)* The evidence and documents are already

in the city's file.

Jeffrey J. Rowley

Signature of Appellant or Representative of
Appealing Organization

8/10/2003

Date

Below For Staff Use Only

Date/Time Received Stamp Below:

Cashier's Receipt Stamp Below:

8/14/02

Exhibit A

[August 6, 2003 Planning Commission Staff Report]

| | |
|-------------------------------------|---|
| Location: | 4690 Tompkins Avenue (See map on reverse) |
| Assessors Parcel Number: | APN 037 -2544-017-01 |
| Proposal: | To convert an existing vacant, nursing home into 27 residential units. |
| Applicant: | Wilson Ng |
| Owner: | Walter & Alice Loo |
| Planning Permits Required: | Major Conditional Use Permit for 27 units in the R-50 Zone. |
| General Plan: | Detached Unit Residential |
| Zoning: | R-50 Medium Density Residential Zone |
| Environmental Determination: | Exempt, Section 15332, State CEQ Guidelines, urban infill |
| Historic Status: | Potential Designated Historic Property (PDHP); survey rating: B+3 |
| Service Delivery District: | IV - Lower Hills |
| City Council District: | 4 |
| Action to be Taken: | Decision on application based on staff report |
| For further information: | Contact case planner Robert D. Merkamp at 510-238-6283 or by email at Rmerkamp@oaklandnet.com . |

SUMMARY

This is a request by the applicant to convert the existing Beulah Rest Home into a 27 unit apartment complex. The main building was constructed in the 1928, with an addition added in 1948. Many of the cottages were constructed in the 1950s and the three unit building on Fair Avenue was built in 1963. The rest home has been unused since approximately 1997, and is currently vacant except for the property owner and family. The proposal involves the internal conversion of the 70-room main building into 17 residential units, the conversion of an old dormitory-style building fronting onto Fair Avenue into a 2-unit apartment building, as well as the reuse of the several existing cottages on the property for a total of 27 units. The project will be conducted in phases, with one wing of the main building being worked on at a time. The project proposes no external modifications to the project site. An existing Senior Assisted Living Facility is on-site (building two) but is not proposed for modification or change in use. The assisted living facility is licensed for 15 residents and has at most three employees on any one shift.

The main structure would include 17 residential units, including one occupied by the property owner. Rental unit sizes will vary from 1 bedroom efficiency units of approximately 630 square feet to 4 bedroom units of up to 2,600 square feet.

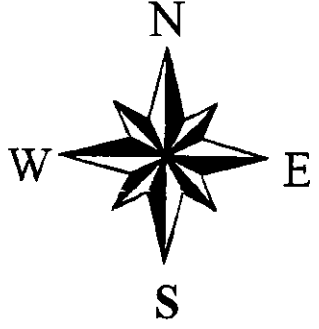
The project was previously heard at the Planning Commission but was continued and referred to the Design Review Committee and to allow the applicants to work with the neighbors. The applicant revised their plans, particularly with respect to the landscape and site plan. They also reduced the number of units they were asking for by two to 27. The project went before the Design Review Committee on June 25, 2003. The applicant was directed to provide as much on-site parking as possible and to meet with the neighbors prior to the item returning to the Planning Commission. The owners met with a representative group of property owners on July 18, 2003 to discuss a variety of issues including parking, design, and other events taking place on the property.

Staff believes the project is appropriate for the site. The reuse of the Beulah Rest Home complex as residential units should enhance the property and neighborhood and clean up a mostly vacant site that

CITY OF OAKLAND PLANNING COMMISSION



Case File: CM00-249
Applicant: Alice Liu
Address: 4690 Tompkins Avenue
Zone: R-50



otherwise could become a nuisance. As conditioned, staff believes the proposed use is appropriate and staff recommends approval of the project.

PROPERTY DESCRIPTION

The subject property is approximately 2.34 acres and is located near the I-580 and State Highway 13 interchange. The project site itself is bounded by Tompkins Avenue on the west, Wilkie Street on the south, and Fair Avenue on the east. The project site is located within the R-50 Medium Density Residential Zone and contains several existing structures including a former rest home (now mostly vacant), a senior assisted living complex, seven small cottages, and a smaller apartment building fronting on Fair Avenue. The project site is surrounded by residential uses, including mainly single family uses to the north and east, and a mixture of single and multi-family residences to the south and west.

GENERAL PLAN ANALYSIS

The project site is designated as Detached Unit Residential on the General Plan Land Use Diagram dated March 24, 1998. The Detached Unit Residential classification is intended to create, maintain and enhance residential areas. The proposal is to reuse the project site and create 27 multi-family dwelling units on site. The project proposes approximately one dwelling unit per 3775 square feet of land area. According to the Guidelines for Determining Project Conformity with the General Plan and Zoning Regulations table 3; the minimum square feet of site area per principal unit in the Detached Residential classification is 2969 square feet per unit (which would allow up to 34 Dwelling Units on a property this size) and thus the project conforms to the General Plan density.

The project conforms to various General Plan policies including;

Policy N3.2: This policy encourages in-fill development in Oakland. In-fill development is encouraged in already developed urban areas to help reduce the pressure for outward expansion of urban zones, creating more compact and efficient cities. This project helps to satisfy this policy by reusing an existing site for residential housing. This specific project would not lead to new buildings going up or the demolition of any structures.

Policy N6.1: The City of Oakland has long sought to develop diversity in the types of housing it makes available to its residents in both scale and economy. The project creates a 27-unit apartment community with apartments ranging in size from 600 to 2,600 square feet. This helps to meet the goals of this policy by creating a wide variety of housing available to a mixture of income types.

Policy N7.1: The goal of this policy is to ensure compatibility in residential neighborhoods. The City of Oakland encourages new development but desires that it blend into the existing neighborhood fabric. The project is compatible with the neighborhood in terms of density with the surrounding properties. The site could, with the buildings removed, accommodate a maximum of up to 34 dwelling units. At 27 units the proposal falls under this maximum density. The project also works with the neighborhood in that it preserves the structures as is, without new construction or substantial exterior modification. These two factors combined will help the residential use being proposed blend into the existing neighborhood.

Policy N9.9: This policy deals with the preservation of historic buildings and calls for respecting the architectural integrity of the historic elements. The project meets this policy in that it shall not significantly modify the exteriors of the structures on this site. The project site is a campus-like setting with a number of buildings on it, some of which have high historic ratings. By avoiding major changes to these buildings, the project will protect and preserve the architectural character of the site.

ZONING ANALYSIS

The project site is in the R-50 Medium Density Residential Zoning District, which is intended to create a neighborhood of mixed housing stock, allowing both apartments and single family residences. The R-50 zoning district would allow up to 68 residential units on a property of this size (although the General Plan limits this to a lower density). The project conforms to the standards of the R-50 in all respects (see the "Key Issues and Impacts" section for a more detailed analysis of zoning requirements. A Major Conditional Use Permit is required for all proposals for more than seven residential units in the R-50 zone.

HISTORIC STATUS

The main building was constructed in 1928, with an addition being accomplished in 1948. Many of the cottages were constructed in the 1950s and the three-unit building on Fair Avenue was built in 1963. The existing main building is a potential designated historic property (PDHP) rated B+3. The rating represents a superior example. The proposed alterations to the structure will preserve the historic characteristics of the building. All existing elements such as exterior materials, footprint of buildings, and site planning will remain.

ENVIRONMENTAL DETERMINATION

The project has been determined to be exempt from environmental review under Section 15332 of the State California Environmental Quality Act (CEQA) Guidelines as it involves in-fill development on a property smaller than 5 acres in an urbanized area and there are no exterior alterations proposed to the historic residence.

KEY ISSUES AND IMPACTS:

New Housing for Oakland: The project furthers the General Plan goals and policies in it's creation of 29 new housing units for the City of Oakland. The units will range between 600 and 2600 square feet, providing a range of sizes and providing housing for different income levels.

Access: The project is served in part by a private access road the runs through that site from Tompkins to Fair Avenue. This access road was a subject of discussion as the Fire Prevention Bureau was concerned that they would not be able to utilize this roadway in the event of an emergency. After several conversations with representatives of that agency, the Fire Prevention Bureau recommended several modifications to the proposal that have been incorporated into the plan. A fire apparatus turnaround area is located toward the middle of the property, allowing an emergency vehicle to turnaround within the site. Finally, much of the driveway will be striped as "no parking" to avoid any potential impediments to emergency vehicles trying to access the site.

Open Space: The R-50 zone requires the project to provide 200 square feet of open space per unit, which works out to 5400 square feet. As proposed, the project would have approximately 30,000 square feet of useable open space, well exceeding the requirements. Furthermore, the open space is located all over the site in a variety of functional pieces that are accessible to all of the units.

Parking: The R-50 zone requires one parking space per residential unit, which comes to 27 spaces. The assisted living use requires a minimum of three spaces per employee during the shift with the maximum

staffing. This use has 3 employees and is required to have 1 parking space (the ratio is set at 1 space per every 3 employees). At 40 proposed spaces, the project exceeds the total requirements of 28 spaces for the site. All parking spaces are appropriately dimensioned and parking is conveniently located around the site. Most of the parking is accessed through either an existing private driveway that crosses the property or an entry driveway accessible from the corner of Tompkins Avenue and Wilkie Street. Other parking will be found in existing parking areas off of both Wilkie Street and Fair Avenue.

The applicant has labeled the parking for the various units under construction at the zoning code's set ratio of one space per unit. The applicant is proposing to add the units in stages and will build the parking associated with each unit as the unit is constructed. Several of the spaces are listed as "V" for visitor. The R-50 section of the code does not require or make provision for visitor parking and this parking will be made available to anyone, including serving as extra parking for the residents. As a condition of approval, these spaces marked as "visitor" shall not be marked as such on the actual property site.

An alternative presented to the Design Review Committee was to increase number of the parking spaces to 43. This number was accomplished by crafting a formula that looked at the number of bedrooms in a unit and set a higher requirement for larger units. Since that time, further analysis by the applicant, the neighbor's architect, and staff have shown that adding this number of parking spaces may be impossible without modifying the site plan significantly and/or removing structures. As one of the goals of the applicant is to preserve the site plan as much as possible they have worked with an architect representing the neighbors and plan to provide 40 spaces. Staff recommends approval of this parking plan for 40 spaces contained within Attachment A.

Landscaping: The site is already heavily landscaped with a large variety of trees, shrubs, and landscaping. The applicant has retained a landscape architect who has proposed a redesigned site and landscape plan (please see sheet C-2A in Attachment A) that adds 14 trees to the site, including Japanese Maples and two species of Magnolia. The site already contains approximately 42 trees of various species and sizes. Each of the trees to be planted will be 24-inch box in size. The application also proposes a wide variety of shrubs, groundcover, annuals, and vines to be planted around the site, with particular emphasis being placed around the front entrance of the main building and along the Wilkie Street elevation. Landscaping is also placed to screen outdoor parking areas that would be otherwise visible from the street. All of the shrubs proposed are a minimum of 5-gallons in size. All the proposed planting shall be maintained by an automatic irrigation system. All in all, the landscaping palette represents a great improvement over the landscaping currently in place. With the addition of automated sprinklers to the property, this should help ensure that the new plantings will continue to look attractive in the future. From the appearance of the current site, irrigation and maintenance by the applicant will be the key to the long term positive appearance of the site. Staff recommends approval of the landscaping plan with the condition that the applicant submits a final landscape plan to Zoning for review and approval before applying for a building permit. The final landscape plan shall include irrigation and planting details.

Fencing: The applicant is proposing an attractive low wall along the Fair Avenue elevation and would remove the chain link fence on that street frontage. This wall will be made out of stucco and will be painted to match the main building. The wall will incorporate three landscape pockets in the wall to soften the design.

Staff is also concerned with the fencing along the northern edge of the property, abutting neighboring residences. The plans show a wall of only 3'6", but staff feels that 6' would be more appropriate as this fence will serve as a buffer between this property and the neighboring residents. Staff recommends that the applicants shall construct a 6' tall solid fence along this elevation.

Community Assembly Activity: There have been complaints from neighbors regarding the applicants allowing their building to be used for a variety of spiritual retreats, seminars, and educational classes. The

number of people attending and the frequency of these events are in dispute. However, it is clear that such activities are classified as Community Assembly uses under the Zoning regulations. Community Assembly in the R-50 zone is a conditionally permitted use and these activities have been conducted heretofore without the benefit of a permit. This use is not covered under this request and the owners have been advised that they cannot conduct this use in the future unless they first obtain the proper zoning permits.

Design: The property owner is proposing no exterior alterations or modifications to the buildings on the project. Staff does not recommend substantial external changes as the buildings are in generally good condition and form an attractive campus-like setting. An analysis of the site shows that some buildings may need some minor external renovation, including possibly new paint or sidings on some of the units. Staff recommends a condition of approval that the applicant will repair and repaint any of the buildings as necessary prior to the issuance of a building permit. Staff recommends that the color and treatments of the buildings be redone to be complimentary to each other. Staff has advised the applicant that any other external modifications on the site will be subject to design review and will need to be compatible with the historic nature of the buildings.

Internal Modification: The project will require a good deal of internal modification as the building will be sectioned off into different units. One-Hour rated firewalls will be required inside the structure and various small bedroom units will be combined to create larger units that preserve their functionality. The applicant has worked with the City of Oakland Building Services Division prior to this meeting to create units that will meet all the relevant codes and have incorporated many changes into their project based on those meetings. The applicant will be modifying the building in stages, working on one wing of the main building at a time. A tentative timetable outlining those phases of construction is found in the plans. The parking spaces have been labeled on the plans to indicate which space goes to which unit as the applicant has pledged to build the parking spaces for the units as the units are created.

Trash Enclosures: Three trash enclosures are to be provided for on site. The main collection facility will be located inside the community off of the internal driveway and will be a walled facility 7.5' tall. Waste collection vehicles will be able to access the site via this driveway and maneuver in the turnaround that will be constructed. Other waste collection areas on Tompkins and Fair Avenue will serve the various buildings on the site.

Assisted Living Facility: The House of Psalm assisted living facility occupies what is described as building two at the northeastern edge of the site. The facility is licensed for up to 15 residents and has a maximum of 3 employees on duty on their largest shift. The applicant does not propose to modify this use or the structure in any way. The proposal will not take away from the required parking for this facility.

Signage: No information regarding any potential signage has been submitted. Any signage will require a design review permit from the Zoning Division prior to construction or installation.

CONCLUSION

Staff believes that the proposed project meets all the required standards for development and that the findings to grant the Major Conditional Use Permit can be made. By meeting all the conditions of approval, the proposal will be further enhanced. The re-use of this significant and mostly vacant parcel for residential housing will serve as a critical improvement to the neighborhood and the site itself, which contains some historic buildings. The project has been extensively re-worked since it first came before the Planning Commission and staff considers this to be an improvement. Staff finds that this proposal will compliment and enhance the use of the property and surrounding uses and recommends approval.

- RECOMMENDATIONS:**
1. Affirm staffs environmental determination
 2. Approve the Conditional Use Permit subject to the attached findings and conditions.

Prepared by:

Robert D. Merkamp
Planner II

Approved by:

GARY V. PATTON
Deputy Director of Planning and Zoning

Approved for forwarding to the
City Planning Commission:

LESLIE GOULD
Director of Planning and Zoning

ATTACHMENTS:

- A. Plans
- B. Site Photographs (color photos available at hearing)
- C. Correspondence from Property Owner July 22, 2003

CM00-249/RDM

~~ORACOUNCIL~~
SEP 3 2003

FINDINGS FOR APPROVAL:

Section **17.134.050** (General Use Permit Findings) as set forth below. All required findings are shown in normal type; explanations as to why these findings can be made are in bold type.

Section **17.134.050**, General Use Permit Findings:

1. That the location, size, design, and operating characteristics of the proposed development will be compatible with and will not adversely affect the livability or appropriate development of abutting properties and the surrounding neighborhood, with consideration to be given to harmony in scale, bulk, coverage, and density; to the availability of civic facilities and utilities; to harmful effect, if any, upon desirable neighborhood character; to the generation of traffic and the capacity of surrounding streets; and to any other relevant impact of the development. The project would convert a mostly vacant rest home complex into a **27** unit residential facility. As it's last use, the building was a **94** bedroom rest home. The project site is large, approximately **2.34** acres and will remain essentially unmodified. Thus, it's impact should be limited in scope. It will not impose any additional light, privacy, or solar access constraints on the adjacent properties than it already does. The project is bounded by three streets with parking being accessed off **of** each of them. Thus, the automobiles using the site will not all use the same path in getting there. The project also provides more than the minimum required number of parking spaces as required by code, reducing the on street parking demand. The site is near the **I-580** and Highway **13** interchange, providing convenient access to other city and regional destinations. Finally, were the site to be redeveloped to it's full residential potential, the applicants could conceivably construct up to **34** residential units per the general plan density. This plan serves as a good compromise, preserving the architectural character of the site while still providing new housing to Oakland.

2. That the location, design, and site planning of the proposed development will provide a convenient and functional living, working, shopping, or civic environment, and will be as attractive as the nature of the use and its location and setting warrant. The project would convert a mostly vacant rest home complex into a **29** unit residential facility. The property has several buildings that will be converted into residential units spread across the grounds. The project is bounded by three streets with parking being accessed off of each of them. Thus, the automobiles using the site will not all use the same path in getting to this location.

3. That the proposed development will enhance the successful operation of the surrounding area in its basic community functions, or will provide an essential service to the community or region. The proposed units provide new quality housing with adequate living accommodations, fulfilling a basic community and regional need.

4. That the proposal conforms to all applicable design review criteria set forth in the design review procedure at Section 17.136.070. This finding is not applicable as the applicant does not propose exterior modifications.

5. That the proposal conforms in all significant respects with the Oakland General Plan and with any other applicable plan or development control map which has been adopted by the City Council. The proposal conforms to the Detached Unit Residential land use classification. The maximum allowable density for this classification is one dwelling unit for every **2,969** sq. ft. of lot area. Based on this density ratio, a **2.34** acre site could support up to **34** dwelling units, where **27** are being proposed. The project conforms to various General Plan policies including **N3.2** which seeks to encourage in-fill development and **N3.5** which seeks to encourage new housing. This project would retain and preserve a significant architectural structure that has been basically vacant for some time, allowing the project site to positively contribute to the neighborhood. It is compatible in density and the existing character of the

FINDINGS

neighborhood (furthering general plan policy N7.1) through the preservation and reuse of an existing structure.

FINDINGS

CONDITIONS OF APPROVAL

Modifications to the Conditions of Approval as directed by the City Planning Commission at the (meeting date) meeting are indicated in underlined type for additions and ~~cross-out type~~ for deletions.

STANDARD CONDITIONS:

1. Approved Use.
 - a. ***Ongoing.***

The project shall be constructed and operated in accordance with the authorized use as described in this staff report and the plans submitted on July 22, 2003 and as amended by the following conditions. Any additional uses other than those approved with this permit, as described in the project description, will require a separate application and approval
2. Effective Date, Expiration, and Extensions
 - a. ***Ongoing.***

This permit shall become effective upon satisfactory compliance with these conditions. This permit shall expire on August 6, 2004, unless actual construction or alteration, or actual commencement of the authorized activities in the case of a permit not involving construction or alteration, has begun under necessary permits by this date. Upon written request and payment of appropriate fees, the Zoning Administrator may grant a one-year extension of this date, with additional extensions subject to approval by the City Planning Commission.
3. Scope of This Approval; Major and Minor Changes
 - a. ***Ongoing.***

The project is approved pursuant to the Planning Code only and shall comply with all other applicable codes and requirements imposed by other affected departments, including but not limited to the Building Services Division and the Fire Marshal. Minor changes to approved plans may be approved administratively by the Zoning Administrator; major changes shall be subject to review and approval by the City Planning Commission.
4. Modification of Conditions or Revocation
 - a. ***Ongoing.***

The City Planning Commission reserves the right, after notice and public hearing, to alter Conditions of Approval or revoke this Conditional Use Permit if it is found that the approved facility is violating any of the Conditions of Approval or the provisions of the Zoning Regulations.
5. Recording of Conditions of Approval
 - a. ***Prior to issuance of building permit or commencement of activity.***

The applicant shall execute and record with the Alameda County Recorder's Office a copy of these conditions of approval on a form approved by the Zoning Administrator. Proof of recordation shall be provided to the Zoning Administrator.
6. Reproduction of Conditions on Building Plans
 - a. ***Prior to issuance of building permit.***

These conditions of approval shall be reproduced on page one of any plans submitted for a building permit for this project.
7. Indemnification
 - a. ***Ongoing.***

The applicant shall defend, indemnify, and hold harmless the City of Oakland, its agents, officers, and employees from any claim, action, or proceeding (including legal costs and attorney's fees) against the City of Oakland, its agents, officers or employees to attack, set aside, void or annul, an approval

CONDITIONS OF APPROVAL

by the City of Oakland, the Office of Planning and Building, Planning Commission, or City Council. The City shall promptly notify the applicant of any claim, action or proceeding and the City shall cooperate fully in such defense. The City may elect, in its sole discretion, to participate in the defense of said claim, action, or proceeding.

STANDARD CONDITIONS FOR NEW RESIDENTIAL CONSTRUCTION:

8. Waste Reduction and Recycling

a. Prior to issuance of a building permit

The applicant may be required to complete and submit a "Waste Reduction and Recycling Plan," and a plan to divert 50 percent of the solid waste generated by the operation of the project, to the Public Works Agency for review and approval, pursuant to City of Oakland Ordinance No. 12253. Contact the City of Oakland Environmental Services Division of Public Works at (510) 238-7073 for information.

9. Hours of Construction

a. Ongoing.

Construction shall only take place between 8:00 a.m. and 7:00 p.m., Monday through Friday. No construction shall occur on Saturdays or Sundays.

PROJECT SPECIFIC CONDITIONS:

10. Access

a. Ongoing.

The access driveway will be kept clear of vehicles and other material at all times. The roadway will be clearly marked "no parking" where ever shown on the plans.

b. Ongoing.

The fire apparatus turnaround area will be kept clear of vehicles and other material at all times. The roadway will be clearly marked "no parking" where ever shown on the plans.

11. Landscaping

a. Prior to application for a building permit.

The applicant will submit a Final Landscape Plan review and approval by the Planning Department showing additional landscaping around the buildings and parking area. Plans shall be drawn up by a certified landscape architect.

b. Ongoing.

The applicant will ensure that the landscaping shall be fully irrigated and maintained in good health at all times.

12. Screening

a. Prior to application for a building permit.

The applicant will submit for review and approval by the Planning Department plans showing a new 6' solid fence between their property and the adjacent properties to the north and east of their site.

13. Design Review

a. Prior to issuance of a certificate of occupancy

The applicant will submit for review and approval to the Planning Department plans showing any necessary repair and/or repainting of any of the structures as needed. All repairs and repainting shall be done in such a way as to match the exterior siding and to be compatible with the historic character of the buildings.

b. Ongoing.

The applicant will be responsible for securing any necessary design review permits from the City of Oakland Zoning division prior to making any external changes to any of the buildings on the project site. Dead landscaping shall be replaced by identical types of plantings.

CONDITIONS OF APPROVAL

14. Signage

- a.** Prior to application for a building permit.

The applicant will submit for design review architectural plans showing any proposed signage including the location(s), size, colors, materials, and lighting.

15. Parking

- a.** Ongoing.

The applicant shall construct each space that is dedicated for a particular unit as that unit is built.

- b.** Ongoing.

No parking spaces shall be labeled as "visitor" parking, all parking shall be open to residents and visitors of the site.

16. Community Assembly Activities

- a.** Ongoing.

The applicant shall not conduct any classes, seminars, retreats, or allow the property to be used for such or similar purposes (defined as Community Assembly in the City of Oakland Zoning Code) unless they have secured a Conditional Use Permit from the City of Oakland zoning division prior to such an activity. The continuation of these activities without first obtaining the necessary permits will be considered grounds for the revocation of this Conditional Use Permit.

17. Waste

- a.** Ongoing.

The applicant shall maintain full access to the designated waste facilities on the property and will ensure that those areas are kept clean and that trash is not visible from the street. The capacity of the waste facilities shall be adequate to serve the number of units on the property.

18. Planning Commission Review

- a. Ongoing.**

Planning staff shall return the project to the Planning Commission within 6 months of the approval date for a review of it's status.

19. Additional Building Improvements

- a. Ongoing.**

In the course of obtaining Building Permits for the work permitted by this permit. the applicant shall bring the balance of the property up to the current building codes.

APPROVED BY: City Planning Commission: _____(date)_____ (vote)
City Council: _____(date)_____ (vote)

13
OAKLAND COUNCIL
SEP 30 2003

CONDITIONS OF APPROVAL

EXISTING BUILDINGS ON SITE:

FORMER BEULAH NINE'S MAIN BUILDING (NO. 1), CONSTRUCTED IN 1928 AND AN ADDED ADDITION IN 1948, AND AN "ANNEX" WAS ADDED IN 1958. THE MAIN BUILDING (NO. 1 AND THE ANNEX) CONTAIN A TOTAL OF 94 BEDROOMS, 18 ROOMS WITH PRIVATE BATHS LOCATED IN THE NEW ANNEX, AND THE REST LOCATED IN THE OLDER ORTION OF THE MAIN BUILDING. 36 BEDROOMS HAVE CONNECTING BATHS 29 BEDROOMS SHARE COMMUNITY BATHS OFF THE HALLWAYS, AND THERE ARE 9 BEDROOM SUITES WITH BATHS PLUS TWO PERSONAL CARE ROOM FULLY SPRINKLERED SYSTEM

MAIN BUILDING (BUILDING NO. 1)
BUILDING TYPE: CONGREGATE RESIDENCE HOME.
ROOM COUNT: 76 BEDROOMS, 1 EXTRA LARGE KITCHEN (3 KITCHENETTES), DINING ROOM, 2 LIVING ROOMS, CHAPEL, LIBRARY, INFIRMARY, 2 OFFICES OFF ENTRY, LOBBY, THREE GARAGES, LAUNDRY, AND STORAGE ROOMS IN BASEMENT, RECREATION ROOM.

BATH/LAVATORY: 26 SATHROON ON THE 1ST FLOOR, 24 ON THE 2ND FLOOR/ THERE BATHTUBS EACH ON THE 1ST AND 2ND FLOOR. THERE ARE 23 FIXTURES, STANDARD GRADE, AND 38 SHOVERS, TILE FINISHED.

OTHER AMENITIES: 15-PASSENGER ELEVATOR, 2500 POUND CAPACITY HYDRAULIC PLUNKER, AUTOMATIC DOORS, THREE STOPS. BUILDING IS ENTIRELY SPRINKLERED FOR FIRE PROTECTION, INSTITUTIONAL KITCHEN WITH VINYL TILE FLOOR, A DISHWASHING SECTION WITH STAINLESS STEEL DRAIN BOARDS, WOOD CUPBOARDS ABOVE, LARGE KITCHEN AREA FOR THREE GAS FIRED WOLF RANGES, AND BLDGETT OVENS WITH STAINLESS STEEL, EXHAUST FAN, DUCTS, AND EXHAUST HOODS, SEPARATE STAFF LUNCHROOM EMPLOYEES LOCKER ROOM IN OFFICE.

THERE ARE 7 COTTAGES. BUILDINGS NO. 1,2,3,4,5,6,7, NO. 12 & 3 WERE BUILT IN 1954 OR 1955, AND AN ADDITION ADDED TO NO. 1 IN 1980. COTTAGES NO. 4,5,6 & 7 WERE BUILT OVER TWO YEARS IN 1930'S. THE LODGE OR BUILDING NO. 3 WAS BUILT IN 1963. AS WAS THE GILBERT HOUSE (BUILDING NO. 2).

BUILDING INFORMATION

PROPOSED RESIDENTIAL UNITS
 TOMPKINS GARDEN (APARTMENTS)
 BUILDING #1
 WEST WING - 6 UNITS
 CENTRAL WING - 3 UNITS
 SOUTHWEST WING - 1 UNITS
 SOUTHEAST WING - 2 UNITS
 ANNEX - 3 UNITS
TOTAL 15 UNITS (PROPOSED)

HOUSE OF PEALM EXISTING
 SENIOR ASSISTED LIVING FACILITY
 4648 TOMPKINS AVE - BUILDING #2
 NO CHANGE

PROPOSED RESIDENTIAL UNITS
 4701 FAIR AVE. - BUILDING #3
TOTAL - 2 UNITS (PROPOSED)

EXISTING COTTAGES, NO CHANGE
 COTTAGE # 1A/1B (209 SF)
 1 BED/1 BA (1A) 1 BED/1 BA (1B)
 COTTAGE #2 617 SF
 1 BED/ 1 BA
 COTTAGE #3 617 SF
 1 BED/ 1 BA
 COTTAGE #4 562 SF
 1 BED/ 1 BA
 COTTAGE #5 1,091 SF
 1 BED/SUN RM/BATH/2 CAR
 COTTAGE #6 562 SF
 1 BED/ 1 BA
 COTTAGE #7 1,262 SF
 3 BED/SUN RM/1 BA

TOTAL - 8 UNITS (EXISTING)
TOTAL 9 UNITS (EXISTING)
TOTAL 19 UNITS (PROPOSED)
TOTAL 27 RESIDENTIAL UNITS (PROPOSED AND EXISTING UNITS)
 SEE SHEET C-6 FOR ADDITIONAL BUILDING INFORMATION

TITLE SHEET

| SHT. NO. | DESCRIPTIONS |
|----------|--|
| T-1 | COVER/TITLE SHEET |
| T-2 | VICINITY MAP |
| T-3 | UTILITY LEGEND, HANDICAPPED DETAILS AND NOTES |
| C-1 | EXISTING SITE PLAN |
| C-2 | EXISTING LANDSCAPE SITE PLAN |
| C-2A | PROPOSED LANDSCAPE SITE P L W |
| C-3 | PROPOSED SITE PLAN |
| C-4 | PROPOSED ACCESS AND PARKING (SITE) PLAN |
| C-5 | PHOTOGRAPH VIEW PLAN |
| C-6 | PROPOSED BUILDING DATA AND GENERAL NOTES |
| A-1 | EXISTING PLAN- BUILDING X1 BASEMENT FLR. PL. |
| A-2 | EXISTING PLAN- BUILDING X1 FIRST FLR. PL. |
| A-3 | EXISTING PLAN- BUILDING #1 SECOND FLR. PL. |
| A-4 | EXISTING PLAN- BUILDING #1 ANNEX WING FLR. PL. |
| A-5 | EXISTING PLAN- BUILDING #2 (4648 TOMPKINS AVENUE) |
| A-6 | EXISTING PLAN- BUILDING #3 (4701 FAIR AVE.) GROUND FLOOR PLAN |
| A-7 | EXISTING PLAN- BUILDING #3 (4701 FAIR AVE.) BASEMENT FLOOR PL. |
| A-8 | EXISTING PLAN- COTTAGES 1A & 1B, 2, 3, 4, 5, 6, & 7 |
| A-9 | PROPOSED PLAN- BLDG #1 BASEMENT FLR. PL. |
| A-10 | PROPOSED PLAN- BLDG #1 FIRST FLR. PL. |
| A-11 | PROPOSED PLAN- BLDG X1 SECONOT FLR. PL. |
| A-12 | PROPOSED PLAN- BLDG #1 ANNEX WING 3RD FLOOR PLAN |
| A-13 | PROPOSED PLAN- BUILDING #3 (4701 FAIR AVE.) GROUND FLR. PL. |
| A-14 | PROPOSED PLAN- BUILDING #3 (4701 FAIR AVE.) BASEMENT FLR. PL. |

SITE DESCRIPTION:

THE SUBJECT PROPERTY IS SLIGHTLY IRREGULAR, BASICALLY TRAPEZOIDAL IN SHAPE FRONTING TOMPKINS AVENUE 301', WILKIE AVENUE 379.07' AND FAIR AVENUE 419'. IT CONTAINS 2.34 ACRES OR 101,930 SQUARE FEET.

LOT SIZE: APPROXIMATELY 2.34 ACRES OR 101,930 SQUARE FEET.

ASSESSOR'S PARCEL NUMBER, 37-2544-17-1

ZONING: R-50 MEDIUM DENSITY RESIDENTIAL DISTRICT

LOCATION, 4690 TOMPKINS AVENUE, OAKLAND. LOCATED ABOVE INTERSTATE 580 NEAR THE CONFLUENCE OF HIGHTWAYS 580 AND 13 (WARREN FREEWAY).

WORK UNDER SEPARATE PERMITS

BUILDING CODES:

CBC 2001 EDITION
 UPC 2001 EDITION
 UMC 2001 EDITION
 NEC 2001 EDITION
 ALL APPLICABLE LOCAL AND STATE REGULATIONS

THIS IS A DESIGN-BUILT PROJECT. THE FOLLOWING IS A LIST OF WORK UNDER SEPARATE PERMITS

- * MECHANICAL
- * ELECTRICAL
- * PLUMBING
- * SPRINKLER
- * ELEVATOR

RECEIVED
 JUN 20 2003

CITY PLANNING COMMISSION
 ZONING DIVISION

COVER/TITLE SHEET (1) (1)

| BUILDING NO. 1 | BUILDING NO. 2 | BUILDING NO. 3 |
|--|---|--|
| TOMPKINS GARDEN (APARTMENTS) FULLY SPRINKLER BUILDING 4678 TOMPKINS AVE. - WEST WING 4690 TOMPKINS AVE. - CENTRAL WING 4724 WILKIE ST. - SOUTHWEST WING 4728 WILKIE ST. - SOUTHEAST WING 4730 WILKIE ST. - ANNEX | HOUSE OF PEALM EXISTING SENIOR ASSISTED LIVING FACILITY 4648 TOMPKINS AVE - BUILDING #2 FULLY SPRINKLER BUILDING | 4701 FAIR AVE. - BUILDING #3 FULLY SPRINKLER BUILDING |

SPRINKLER NOTE

1. THIS BUILDING HAS EXISTING SPRINKLER SYSTEM, STANDPIPE & CONTROLS MODIFICATIONS OF SPRINKLERS WILL BE UNDER A SEPARATE PERMIT WITH SPRINKLER LAYOUT, SPECS. PLANS & FEES SUBMIT TO OAKIANC FIRE DEPT. - PRIOR TO INSTALLATION.
2. IF EXISTING FIRE SPRINKLER SYSTEM IS TO BE MODIFY, SPRINKLER CONTRACTOR SHALL PREPARE A REVISED SPRINKLER HEAD LAYOUT AS PER THE NEW FLOOR PLAN. CONTRACTOR SHALL SUBMIT DRAWING FOR BUILDING DEPT. APPROVAL AND TAKE OUT PERMITS NECESSARY, INCREASE MAIN SIZING FOR HEAD VOLUME. INSTALL DRY HEADS INSIDE EACH OF THE WALK IN BOXES, RUN PIPING ABOVE CEILING AND PROVIDE ALL NECESSARY HEADS, TRIM PIECES, PIPING, FITTINGS, VALVES, CONNECTIONS; TESTING FITTINGS, DRAINS, ETC. FOR A COMPLETE SYSTEM.

ATTACHMENT C

AMPEAK DESIGN CONSTRUCTION CO.

8255 SKYLINE BOULEVARD, Oakland, California 94611
 (510) 339-3233

DRAWINGS FOR
 TOMPKINS GARDEN
 (APARTMENTS)

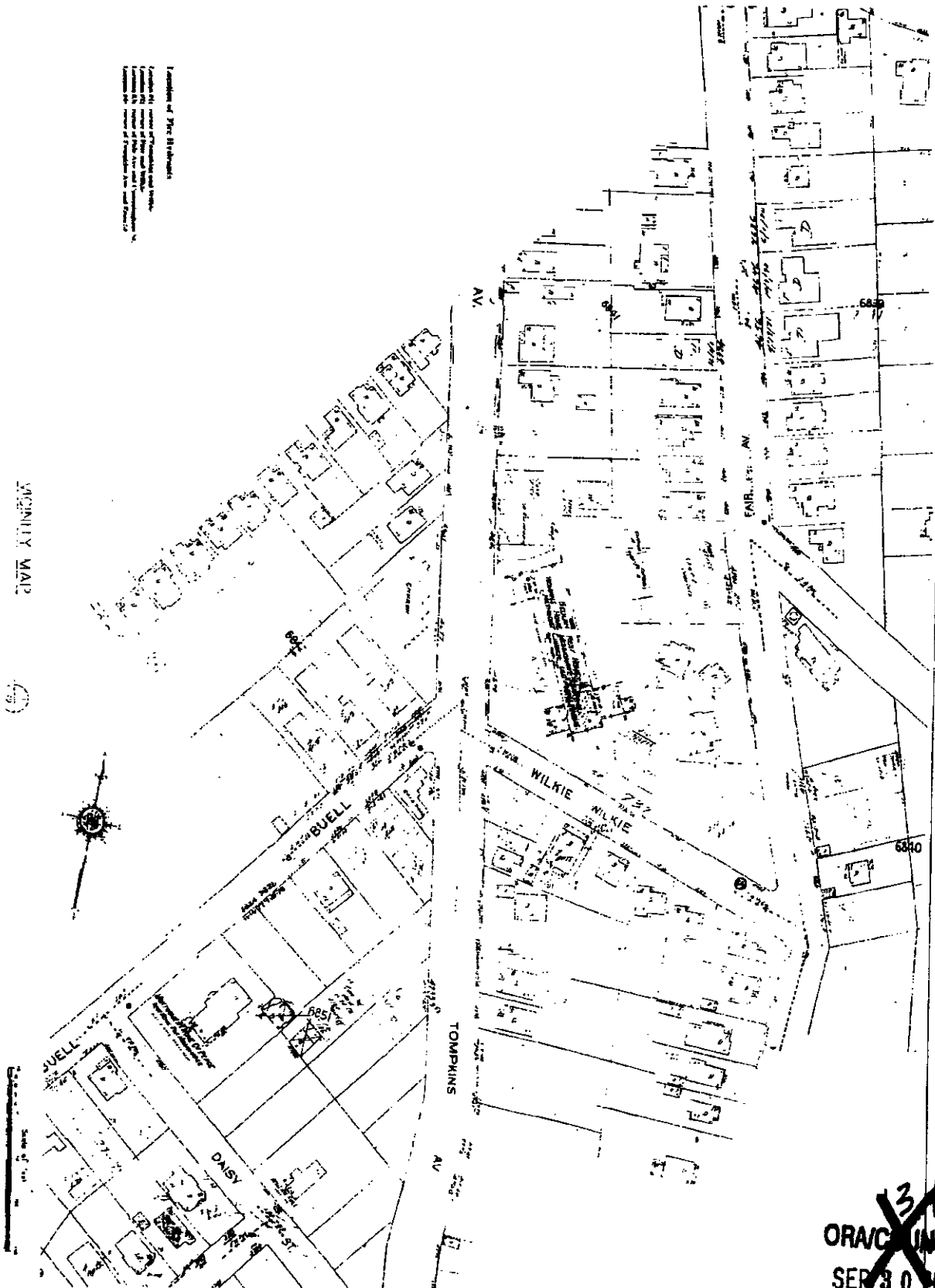
4690 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482-8230

| REVISIONS | | |
|-----------|-------------|------|
| NO. | DESCRIPTION | DATE |
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| | |
|------------------|------------------|
| DATE: | COVER SHEET/DAT. |
| DESIGNER: | WILSON NG |
| CHECKER: | |
| DRAWING NO. DATE | |
| WJN | 3/3/03 |
| CHECKER: | |
| SCALE: AS NOTED | |
| SHEET NO. T-1 | |

Exhibit of Title 11-10-10-10
County of Alameda
City of Oakland
State of California

NEIGHBORHOOD MAP



~~31~~
ORANGE COUNCIL
SEP 30 2003

| REVISIONS | |
|-----------|------------------|
| NO. | DESCRIPTION DATE |
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| | |

DRAWING BY
DATE
CHECKED BY
DATE

PROJECT
LOCATION

SCALE AS NOTED

DRAWINGS FOR
APARTMENTS
4890 TOMPKINS STREET
OAKLAND, CALIFORNIA
(510) 482.8230

AMPEAK DESIGN CONSTRUCTION CO.
8255 SKYLINE BOULEVARD, Oakland, California 94611
(510) 339-3233

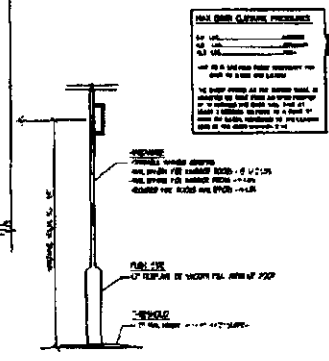
LEGEND-TYPICAL

- NEW WALL - ONE HR. RATED 2X4 SNO O 16" D.C. WITH 5/8" SHEETROCK
- ⊕ LIGHT FIXTURE
- ⊕ DUPLEX O m
- ⊕ LIGHT SWITCH
- CABLE/PHONE
- ⊙ EXHAUST FAN/LIGHT/HEAT (FLOURESCENT LIGHT UNIT)
- ILLUMINATED EXIT SIGN W/ EMERGENCY LIGHTS
- ⊕ EMERGENCY LIGHTS W/ BATTERY BACKUP
- ⊕ HEAT REGISTER
- ⊙ SMOKE DETECTOR (HARDWARE) W/ BATTERY BACK UP
- SKYLIGHT
- HB HOSE BIBB
- G GAS SUPPLY UINE
- H HOT WATER SUPPLY UINE
- C COLD WATER SUPPLY LNE

UTILITY LEGEND

UTILITY NOTES:

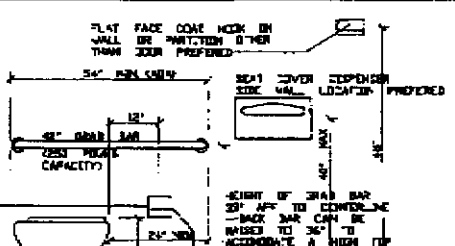
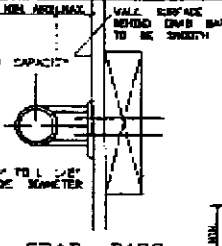
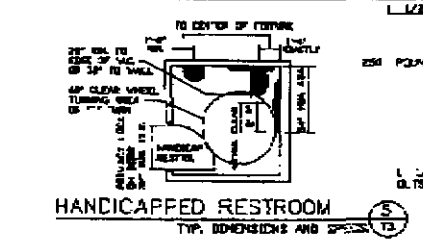
7. SHOWER AND TUB-SHOWER COMBINATION SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING TYPE VALVE.
2. SHOWER HEADS SHAU NOT EXCEED A WATER SUPPLY FLOW RATE OF 2.5 GAL PER MINUTE.
3. MIN. 34"x34" SHOWER STALLS WITH 1024 SQ. IN. AND 30" OIA. CIRCLE TO BE PROVIDED AT BATHROOMS.
4. BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMPERE BRANCH CIRCUIT.
5. PROHDE ONE FLOURESCENT LIGHT FIXNRE OF 40 LUMENS PER WATT OR GREATER FOR BATHROOMS, SWITCH TO BE AT THE ENTRANCE TO M E BATHROOM. FLOURESCENT LIGHT AT KITMM.
6. A U NEW INSTALLED WINDOWS: TO BE DOUBLE PANE, MINYLE INSULATED WITH MIN. U-VALUE OF R.0.75
7. EXTERIOR LIGHTS AND HOUSE LIGHTS TO BE ON SEPARATE PANEL OR TIMED SWITCH OR MOTION DETECTED LIGHTS AND WEATHERPROOF
8. NEW 125 AMP ELECTRICAL SUB PANEL LOCATION AS SHOWN ON PLAN
9. ALL EXHAUST FAN AND DUCTWORK VENT PER CODE. ● O BATH FAN, 6" O KITCHEN EXHAUST FAN
10. GFI AT KITCHEN TO BE DEDICATED 20 AMPERE BRANCH CIRCUIT AS REQ. FOR APPUANCES
11. SUPPLY & INSTALL NEW TILE ENCLOSURE AT SHOWER STALL-70 IN. ABOM DRAIN INLET AND NEW TEMPERED GLASS SHOWER DOOR PER CODE, TYP. O SHOWERS
12. PRDHE 16 GAL PER TANK PER WATER RUSH TOILET



SECTION @ DOOR THRESHOLD
1/4" = 1'-0" HANDICAPPED

UTILITY LEGEND

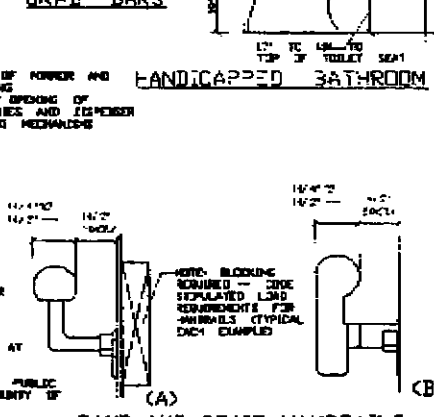
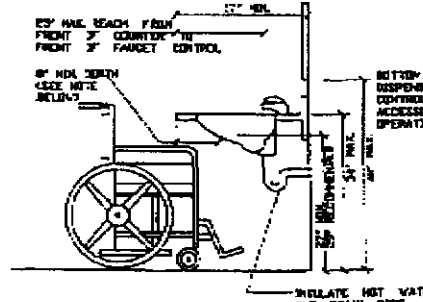
UTILITY NOTES



HANDICAPPED NOTE: ADA ACCESSIBILITY - COMPLY WITH CBC SECTION 11338

1. COMPLY WITH 24 SEC. 3102(A)(9). ENTRANCE SIGNS - ALL BUILDING ENTRANCES ACCESSIBLE TO AND USABLE BY PERSONS W/ DISABILITIES SHALL BE IDENTIFIED W/ AT LEAST 1) STD. SIGN & W/ DIRECTIONAL SIGNS AS REQUIRED TO BE VISIBLE TO PERSONS ALONG PEDESTRIAN WAYS
2. HANDICAP. ACCESSIBILITY REQ. ENTRANCE SEC. 3304(F) DOOR SIZE:
 - 3'-0" DOOR WIDTH
 - 8'-5" DOOR HEIGHT
 - 32" CLEAR WOTH
 - 24" DOOR LATCH CLEARANCE (EXT)
 - 18" DOOR LATCH CLEARANCE (INT)
3. COMPLY TO CBC SECTION 11338 BATHING AND TOILET FACILITIES FOR HANDICAPPED

- SEC. 3304(1.2)**
- TYPE OF HARDWARE
 - MAX. EFFORT (EXT) 8.5 LBS.
 - MAX. EFFORT (INT) 15 LBS.
 - REQ. FIRE DOORS MAX EFFORT 15 LBS. SEC. 3304(1.1)
 - 1/2" GRATE PLATE OR SMOOTH FULL WIDTH OF DOORS
 - 4" FOR SOLID GLASS DOORS
- SEC. 3304(I)**
- 1/2" MAX. THRESHOLD
 - 1/4" / FT. MAX. SLOPE



ADDITIONAL HANDICAP NOTES:

1. FOR ALL REQUIRED CURB RAMPS AT FRONT OF ACCESSIBLE PARKING SPACES, THE MAXIMUM SLOPE IS 1:10 ON FLARED OR FINISHED SIDES, THE SLOPE SHOULD NOT EXCEED A 2 INCH IN ANY DIRECTION.
2. REFLECTORIZED PARKING SPACE IDENTIFICATION SIGNS ARE TO PERMANENTLY POSTED AT EACH ACCESSIBLE PARKING SPACE, 70-90 IN. IN AREA, MOUNTED BY ABOVE PARKING. PARK ACCESSIBLE SIGNS TO BE POSTED AT APPROPRIATE PARKING SPACES.
3. THE MAXIMUM PERMITTED SLOPE FOR ACCESSIBLE PARKING SPACES IS 2% IN ANY DIRECTION.
4. AN INTERNATIONAL SYMBOL OF ACCESSIBILITY IS TO BE PLACED ON OR ADJACENT TO THE BUILDING ENTRANCE AT THE BOTH THE FRONT AND BACK OF THE BUILDING.
5. ALL PARKING SPACES ARE TO BE EQUIPPED WITH CURBS TO PREVENT INTERFERENCE WITH THE REQUIRED 48" WALKWAY, SEE LOC CODE 0250A.3
6. ALL GLAZED DOORS TO HAVE 10" KICKPLATE AT BOTTOM SEE DETAIL.
7. 1/2" THICK 12" MEN'S AND WOMEN'S CEILING SIGNS 54" ABOVE FLOOR ON RESTROOM ENTRANCE DOORS AND (B) RAISED LETTER/BRAILLE SIGNS ON LATCH-SIDE OF RESTROOM ENTRANCE DOORS MOUNTED ON THE WALL, 68" ABOVE THE FLOOR, ALLOWING APPROACH TO WITHIN 3".
8. 42" LONG-SIDE AND 36" LONG REAR GRAB BARS AT 39" ABOVE FIE FLOOR.
9. TOP(S) OF ACCESSIBLE TOILETS ARE 17" TO 19" ABOVE THE FLOOR.
10. ACCESSIBLE TOILET SEAT CLEARANCE IF 28" TO A FEATURE OR 32" TO WALL.
11. ACCESSIBLE TOILET IS CENTERED 18" FROM SIDEWALL.
12. MIRRORS HAVE BOTTOM EDGE NO HIGHER THAN 42" ABOVE THE FLOOR.
13. SWITCHES/CONTROLS/THERMOSTATS/ETC. ARE INSTALLED NOT MORE THAN THE MAXIMUM 48" ABOVE THE FLOOR.
14. RECEPTACLE OUTLETS ARE INSTALLED AT LEAST 15" ABOVE THE FLOOR.
15. PROVIDE STAIRWAY IDENTIFICATION SIGN AT BOTH TOP AND BOTTOM OF STAIR (FIRST FLOOR, SECOND FLOOR), PROVIDED USING ARABIC NUMERALS AND RAISED/BRAILLE SYMBOLS. SIGNS ARE TO BE 3FT ABOVE THE FLOOR/LANDING IMMEDIATELY ADJACENT TO STAIR.



LAVATORIES
[SEC. 115B.9.1]
[PART 5 PLUMB. SEC. 1564.2]

RAMP AND STAIR HANDRAILS
HANDICAPPED DETAILS

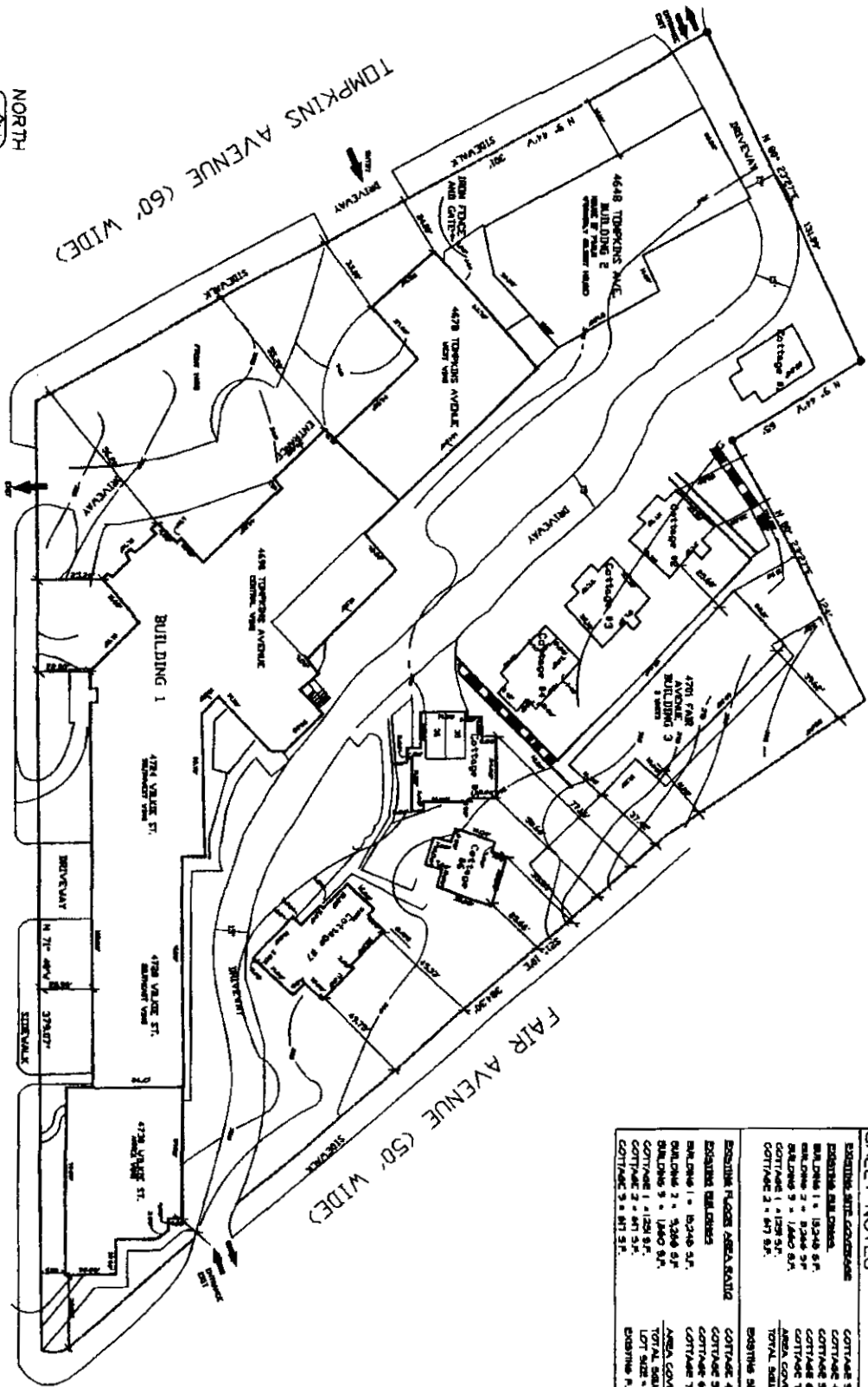
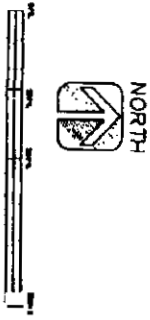
HANDICAPPED NOTES

AMPEAK DESIGN CONSTRUCTION CO.
8256 SKYLINE BOULEVARD, Oakland, California 94611
(510) 358-3233

DRAWINGS FOR
APARTMENTS
4880 TOMPKINS STREET
OAKLAND, CALIFORNIA
(510) 462-0290

| REVISIONS | |
|-----------|-------------|
| NO. | DESCRIPTION |
| | |
| | |
| | |
| | |

GENERAL NOTES
DESIGNER: WILSON NC
CONTRACTOR:
DRAWN BY: WJN
DATE: 1/20/03
CHECKED: JH P
SCALE: AS NOTED
SHEET NO: T-3



EXISTING SITE PLAN

1
CI

WILKIE STREET (40' WIDE)

| SHEET NOTES | |
|--------------------------|----------------------------------|
| EXISTING SITE CONDITIONS | COTTAGE 9 = 471 S.F. |
| BUILDING 1 = 18,248 S.F. | COTTAGE 4 = 562 S.F. |
| BUILDING 2 = 12,248 S.F. | COTTAGE 5 = 1,076 S.F. |
| BUILDING 3 = 1,840 S.F. | COTTAGE 6 = 562 S.F. |
| COTTAGE 1 = 1,251 S.F. | COTTAGE 7 = 1,363 S.F. |
| COTTAGE 2 = 471 S.F. | AREA COVERED = 28,156 S.F. |
| | TOTAL SEPARATE FT. = 75,744 S.F. |
| | [501,900 S.F.] |
| | EXISTING FLOOR AREA STATUS |
| EXISTING BUILDINGS | COTTAGE 4 = 562 S.F. |
| BUILDING 1 = 18,248 S.F. | COTTAGE 5 = 1,076 S.F. |
| BUILDING 2 = 12,248 S.F. | COTTAGE 6 = 562 S.F. |
| BUILDING 3 = 1,840 S.F. | COTTAGE 7 = 1,363 S.F. |
| COTTAGE 1 = 1,251 S.F. | AREA COVERED = 28,156 S.F. |
| COTTAGE 2 = 471 S.F. | TOTAL SEPARATE FT. = 75,744 S.F. |
| COTTAGE 3 = 871 S.F. | LOT SIZE = [501,900 S.F.] |
| | EXISTING FLOOR AREA = 34 |

| REVISIONS | | | |
|-----------|---------|------------------|-----|
| NO. | DATE | DESCRIPTION | BY |
| 1 | 5/23/03 | ISSUE FOR PERMIT | W/S |

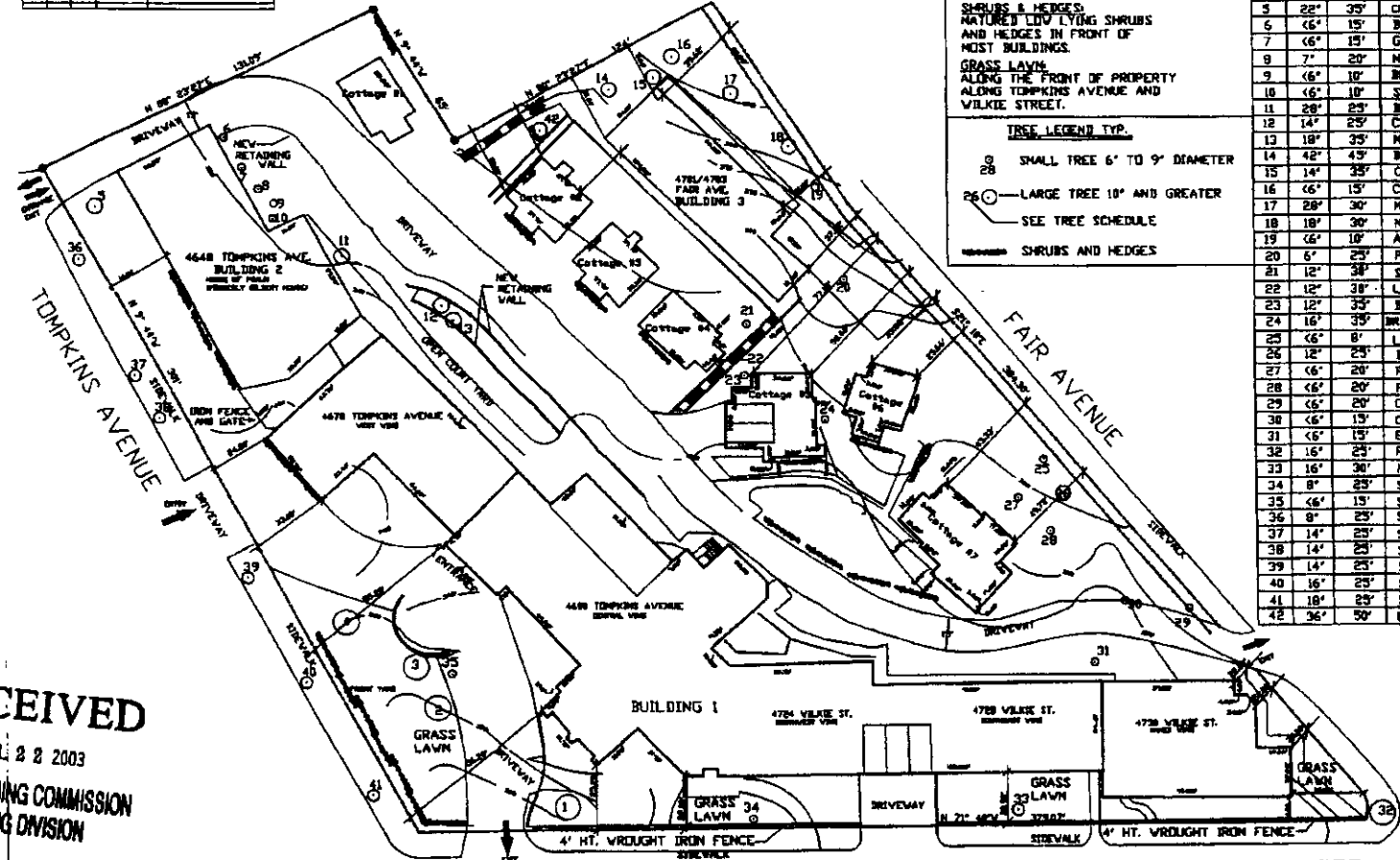
TITLE: EXISTING SITE PL.
 ENGINEER: WILSON NG
 CONTRACTOR:

DATE: 5/23/03
 DRAWN BY: W/S
 CHECKED BY: AS
 SCALE: AS NOTED
 SHEET NO. C-1

DRAWINGS FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4690 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.6230

AMPEAK DESIGN CONSTRUCTION CO.
 6255 SKYLINE BOULEVARD, Oakland, California 94611
 (510) 339-3233

NORTH



EXISTING FENCES:
 4 FEET TALL CHAIN LINK FENCE COVERED WITH MORNING GLORY ALL ALONG FAIR AVENUE.
 4 FEET TALL WROUGHT IRON FENCE ALONG WILKIE STREET.

SHRUBS & HEDGES:
 NATURE'S LOW LYING SHRUBS AND HEDGES IN FRONT OF MOST BUILDINGS.

GRASS LAWNS:
 ALONG THE FRONT OF PROPERTY ALONG TOMPKINS AVENUE AND WILKIE STREET.

TREE LEGEND TYP.

- SMALL TREE 6" TO 9" DIAMETER
- ⊙ LARGE TREE 10" AND GREATER
- SEE TREE SCHEDULE
- ▭ SHRUBS AND HEDGES

| TREE SCHEDULE - EXISTING | | | |
|--------------------------|-----------|--------|-------------------|
| TREE # | TRUNK DBH | HEIGHT | NAME |
| 1 | 36" | 50' | ATLAS CEDAR |
| 2 | 34" | 45' | RED IRON BARK |
| 3 | 40" | 45' | RED IRON BARK |
| 4 | 42" | 45' | RED IRON BARK |
| 5 | 22" | 35' | CHINESE ELM |
| 6 | 26" | 15' | BOTTLE BRUSH |
| 7 | 26" | 19' | GINKGO |
| 8 | 7" | 20' | MONTEREY PINE |
| 9 | 26" | 10' | BOTTLE BRUSH |
| 10 | 26" | 10' | SAUCER MAGNOLIA |
| 11 | 28" | 25' | BLACK ACACIA |
| 12 | 14" | 25' | COAST LIVE OAK |
| 13 | 18" | 25' | MONTEREY PINE |
| 14 | 42" | 45' | BAY LAUREL |
| 15 | 14" | 35' | CHINESE ELM |
| 16 | 26" | 15' | COAST LIVE OAK |
| 17 | 28" | 30' | MONTEREY PINE |
| 18 | 18" | 30' | MONTEREY PINE |
| 19 | 26" | 18' | APRICOT |
| 20 | 6" | 25' | PEAR |
| 21 | 12" | 38' | SAUCER MAGNOLIA |
| 22 | 12" | 38' | LAUREL CHERRY |
| 23 | 12" | 35' | BAY LAUREL |
| 24 | 16" | 35' | BRISBANE BOX |
| 25 | 26" | 8' | LOBLOLLY |
| 26 | 12" | 25' | BAILEYS ACACIA |
| 27 | 26" | 20' | PERSIMMON |
| 28 | 26" | 20' | PERSIMMON |
| 29 | 26" | 20' | COAST LIVE OAK |
| 30 | 26" | 15' | COAST LIVE OAK |
| 31 | 26" | 15' | ENGLISH HEDDY |
| 32 | 16" | 25' | RED FLOWERING GUM |
| 33 | 16" | 30' | MONTEREY PINE |
| 34 | 8" | 25' | SOUTHERN MAGNOLIA |
| 35 | 26" | 15' | SAUCER MAGNOLIA |
| 36 | 8" | 25' | SWEET GUM |
| 37 | 14" | 25' | SWEET GUM |
| 38 | 14" | 25' | SWEET GUM |
| 39 | 14" | 25' | SWEET GUM |
| 40 | 16" | 25' | SWEET GUM |
| 41 | 18" | 25' | SWEET GUM |
| 42 | 36" | 50' | BLACK ACACIA |

AMPEAK DESIGN CONSTRUCTION CO.

8225 SKYLINE BOULEVARD, OAKLAND, California 94611
 (510) 368-8253

DRAWINGS FOR
 TOMPKINS GARDEN
 (APARTMENTS)

4480 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482-6230

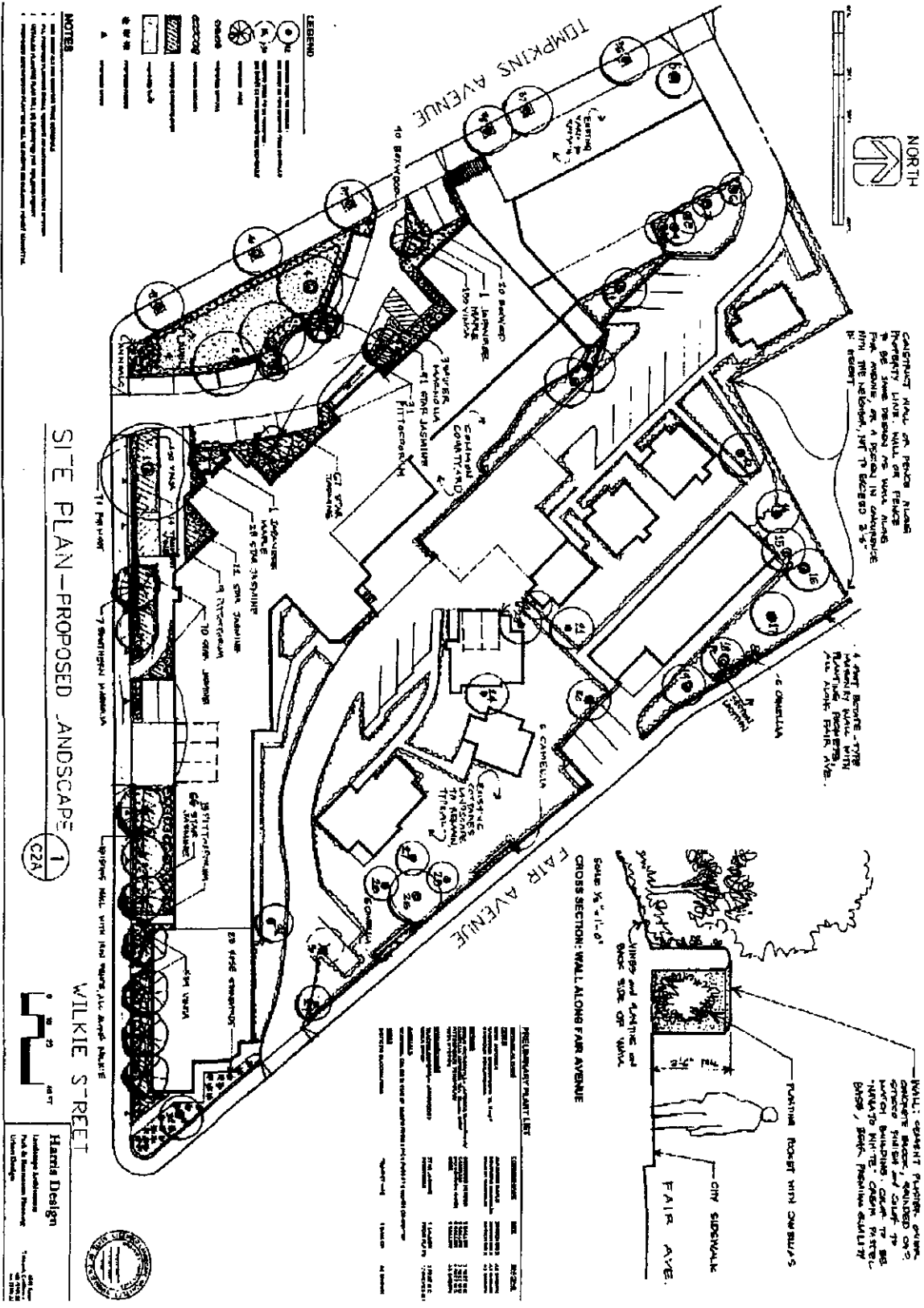
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|-----------|--------|
| NO. | DATE |
| 1 | 5/1/03 |
| 2 | 7/3/03 |

THE EXISTING SITE PL.
 DRAWN BY
 WILSON NG
 CONTRACTOR

MATERIAL:
 DRAWN BY
 WJN
 DATE
 5/3/03
 SHEET NO.
 AS NOTED
 C-2

RECEIVED
 JUL 2 2 2003
 CITY PLANNING COMMISSION
 ZONING DIVISION

SITE PLAN-EXISTING LANDSCAPE 1
 C2



WILKIE STREET

SITE PLAN - PROPOSED LANDSCAPE

1
CZA

AMPEAK DESIGN CONSTRUCTION CO.
8255 SKYLINE BOULEVARD, Oakland, California 94611
(510) 339-3233

DRAWINGS FOR

TOMPKINS GARDEN APARTMENTS
4690 TOMPKINS STREET
OAKLAND, CALIFORNIA 94619
(510) 482.6230

REVISIONS

| NO. | DESCRIPTION | DATE |
|-----|-------------|---------|
| 1 | AS NOTED | 7-21-03 |

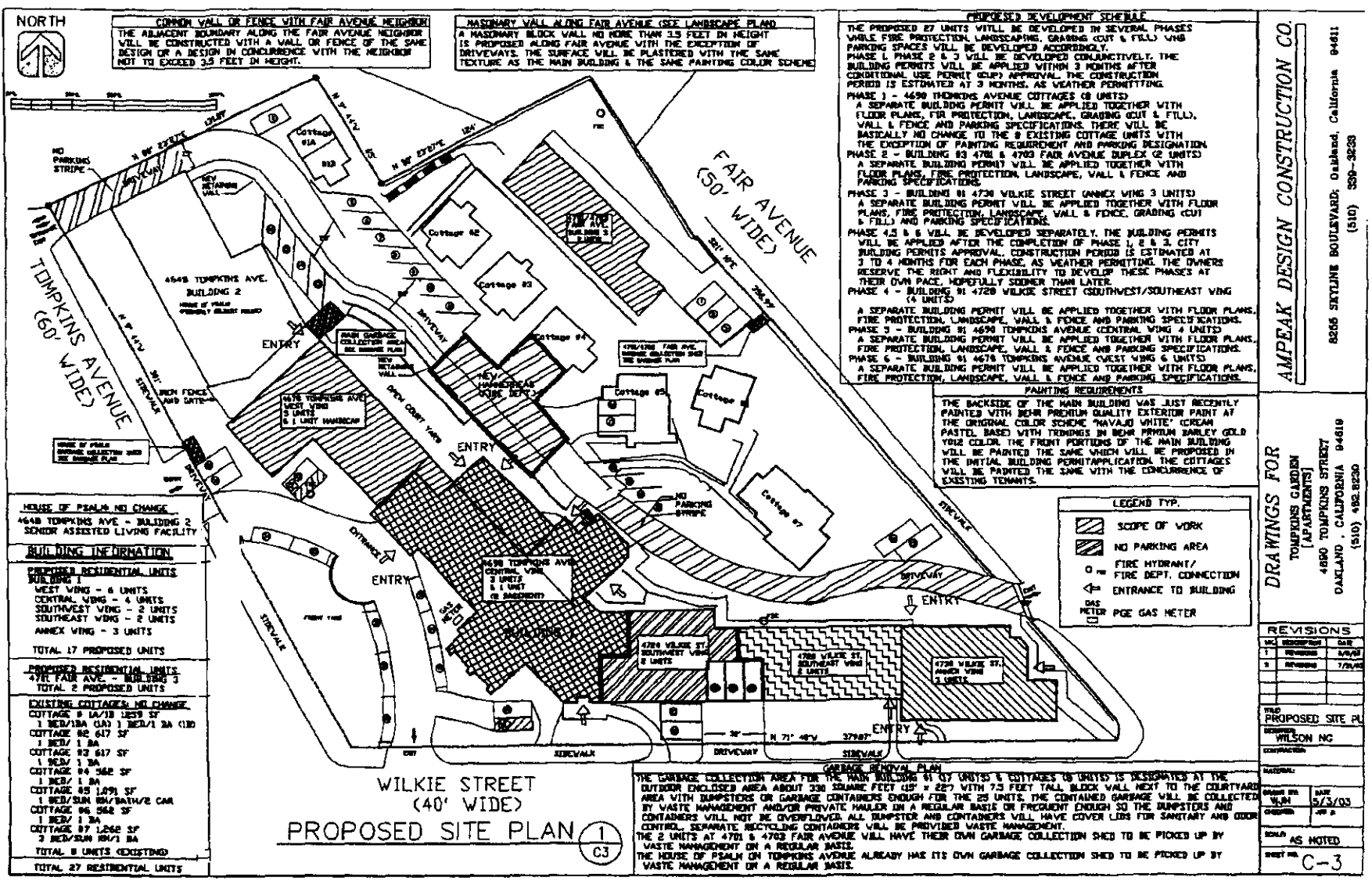
DATE OF

7-21-03

SCALE: AS NOTED

SHEET NO. C-2A

Harris Design
Landscape Architecture
2400 Franklin Street
Oakland, California 94612
(510) 433-3333



COMMON WALL OR FENCE WITH FAIR AVENUE NEIGHBOR
 THE ADJACENT BOUNDARY ALONG THE FAIR AVENUE NEIGHBOR WILL BE CONSTRUCTED WITH A WALL OR FENCE OF THE SAME DESIGN OR A DESIGN IN CONFORMANCE WITH THE NEIGHBOR NOT TO EXCEED 3.5 FEET IN HEIGHT.

MASONRY WALL ALONG FAIR AVENUE (SEE LANDSCAPE PLAN)
 A MASONRY BLOCK WALL NO MORE THAN 3.5 FEET IN HEIGHT IS PROPOSED ALONG FAIR AVENUE WITH THE EXCEPTION OF DRIVEWAYS. THE SURFACE WILL BE PLASTERED WITH THE SAME TEXTURE AS THE MAIN BUILDING & THE SAME PAINTING COLOR SCHEME.

PROPOSED DEVELOPMENT SCHEDULE
 THE PROPOSED 27 UNITS WILL BE DEVELOPED IN SEVERAL PHASES WHILE FIRE PROTECTION, LANDSCAPING, GRADING CUT & FILL AND PARKING SPACES WILL BE DEVELOPED ACCORDINGLY.
 PHASE 1 - PHASE 2 & 3 WILL BE DEVELOPED COLLECTIVELY. THE BUILDING PERMITS WILL BE APPLIED WITHIN 3 MONTHS AFTER CONDITIONAL USE PERMIT OUP APPROVAL. THE CONSTRUCTION PERIOD IS ESTIMATED AT 3 MONTHS, AS WEATHER PERMITTING.
 PHASE 1 - 4690 TOMPKINS AVENUE COTTAGES (8 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, GRADING CUT & FILL, WALL & FENCE AND PARKING SPECIFICATIONS. THERE WILL BE BASICALLY NO CHANGE TO THE 8 EXISTING COTTAGE UNITS WITH THE EXCEPTION OF PAINTING REQUIREMENT AND PARKING DESIGNATION.
 PHASE 2 - BUILDING 83 4701 & 4703 FAIR AVENUE DUPLEX (2 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, WALL & FENCE AND PARKING SPECIFICATIONS.
 PHASE 3 - BUILDING 81 4730 WILKIE STREET (ANNEX WITH 3 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, WALL & FENCE, GRADING CUT & FILL AND PARKING SPECIFICATIONS.
 PHASE 4, 5 & 6 WILL BE DEVELOPED SEPARATELY. THE BUILDING PERMITS WILL BE APPLIED AFTER THE COMPLETION OF PHASE 1, 2 & 3. CITY BUILDING PERMITS APPROVAL. CONSTRUCTION PERIOD IS ESTIMATED AT 3 TO 4 MONTHS FOR EACH PHASE, AS WEATHER PERMITTING. THE OWNERS RESERVE THE RIGHT AND FLEXIBILITY TO DEVELOP THESE PHASES AT THEIR OWN PACE, HOPEFULLY SOONER THAN LATER.
 PHASE 4 - BUILDING 81 4720 WILKIE STREET (SOUTHWEST/SOUTHEAST WING (4 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, WALL & FENCE AND PARKING SPECIFICATIONS.
 PHASE 5 - BUILDING 81 4690 TOMPKINS AVENUE (CENTRAL WING 4 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, WALL & FENCE AND PARKING SPECIFICATIONS.
 PHASE 6 - BUILDING 81 4678 TOMPKINS AVENUE (WEST WING 6 UNITS)
 A SEPARATE BUILDING PERMIT WILL BE APPLIED TOGETHER WITH FLOOR PLANS, FIRE PROTECTION, LANDSCAPE, WALL & FENCE AND PARKING SPECIFICATIONS.

PAINTING REQUIREMENTS
 THE BACKSIDE OF THE MAIN BUILDING WAS JUST RECENTLY PAINTED WITH BEHR PREMIUM QUALITY EXTERIOR PAINT AT THE ORIGINAL COLOR SCHEME "NAVY/JAZZ WHITE" (CREAM PASTEL BASE) WITH TENDERS IN BEHR PREMIUM BARELY GOLD 2002 COLOR. THE FRONT PORTIONS OF THE MAIN BUILDING WILL BE PAINTED THE SAME WHICH WILL BE PROPOSED IN THE INITIAL BUILDING PERMIT APPLICATION. THE COTTAGES WILL BE PAINTED THE SAME WITH THE CONCURRENCE OF EXISTING TENANTS.

LEGEND TYP.

- SCOPE OF WORK
- NO PARKING AREA
- FIRE HYDRANT/FIRE DEPT. CONNECTION
- ENTRANCE TO BUILDING
- GAS METER
- PGE GAS METER

HOUSE OF PSALM, NO CHANGE
 4648 TOMPKINS AVE - BUILDING 2
 SENIOR ASSISTED LIVING FACILITY

BUILDING INFORMATION

PROPOSED RESIDENTIAL UNITS
 BUILDING 1
 WEST WING - 4 UNITS
 CENTRAL WING - 4 UNITS
 SOUTHWEST WING - 2 UNITS
 SOUTHEAST WING - 2 UNITS
 ANNEX WING - 3 UNITS
 TOTAL: 17 PROPOSED UNITS

PROPOSED RESIDENTIAL UNITS
 4701 FAIR AVE - BUILDING 3
 TOTAL: 2 PROPOSED UNITS

EXISTING COTTAGES, NO CHANGE
 COTTAGE # 1A/1B 1253 SF
 1 BED/1BA (2) 1 BED/1 BA (10)
 COTTAGE #6 617 SF
 1 BED/1 BA
 COTTAGE #2 617 SF
 1 BED/1 BA
 COTTAGE #4 562 SF
 1 BED/1 BA
 COTTAGE #5 1,091 SF
 1 BED/SUN RM/BATH/2 CAR
 COTTAGE #6 652 SF
 1 BED/1 BA
 COTTAGE #7 1,260 SF
 3 BED/SUN RM/1 BA
 TOTAL: 8 UNITS EXISTING
 TOTAL: 27 RESIDENTIAL UNITS

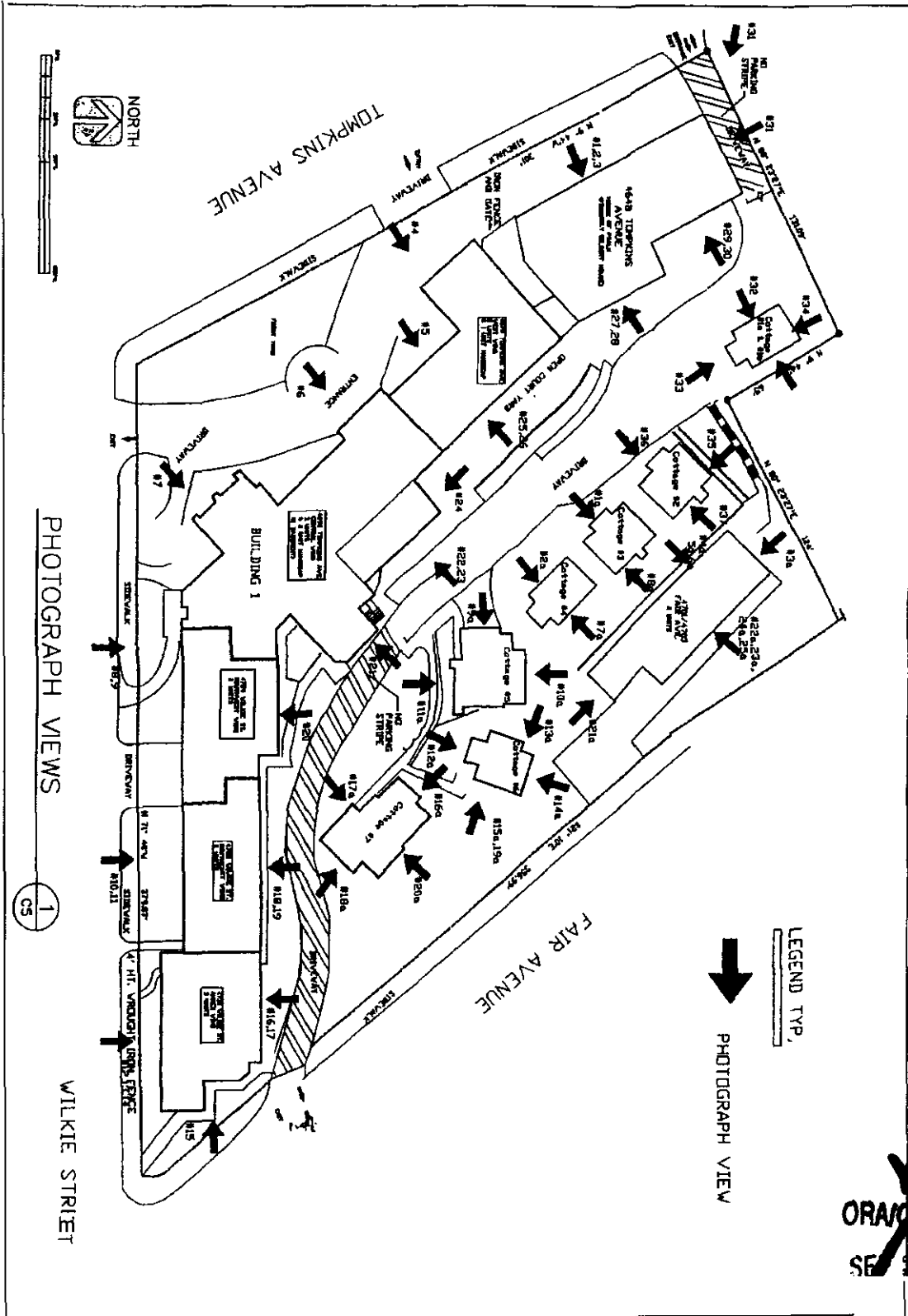
GARAGE COLLECTION AREA
 THE GARAGE COLLECTION AREA FOR THE MAIN BUILDING 81 (17 UNITS) & COTTAGES 18 UNITS IS DESIGNATED AT THE OUTDOOR ENCLOSED AREA ABOUT 330 SQUARE FEET (29' x 22') WITH 7.5 FEET TALL BLOCK WALL NEXT TO THE COURTYARD AREA WITH DUMPSTERS OR GARAGE CONTAINERS ENOUGH FOR THE 25 UNITS. THE CONTAINED GARBAGE WILL BE COLLECTED BY WASTE MANAGEMENT AND/OR PRIVATE HAULER ON A REGULAR BASIS OR FREQUENT ENOUGH SO THE DUMPSTERS AND CONTAINERS WILL NOT BE OVERFLOWED. ALL DUMPSTER AND CONTAINERS WILL HAVE COVER LIDS FOR SANITARY AND ODOR CONTROL. SEPARATE RECYCLING CONTAINERS WILL BE PROVIDED WASTE MANAGEMENT.
 THE 2 UNITS AT 4701 & 4703 FAIR AVENUE WILL HAVE THEIR OWN GARAGE COLLECTION SHED TO BE PICKED UP BY WASTE MANAGEMENT ON A REGULAR BASIS.
 THE HOUSE OF PSALM ON TOMPKINS AVENUE ALREADY HAS ITS OWN GARAGE COLLECTION SHED TO BE PICKED UP BY WASTE MANAGEMENT ON A REGULAR BASIS.

AMPEAK DESIGN CONSTRUCTION CO.
 8266 SETLINE BOULEVARD; Oakland, California 94611
 (510) 359-3630

DRAWINGS FOR
 TOMPKINS GARDEN
 (APARTMENTS)
 4690 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 495-8230

| NO. | DESCRIPTION | DATE |
|-----|-------------|---------|
| 1 | ISSUED | 1/24/03 |
| 2 | REVISED | 7/25/03 |

THIS PROPOSED SITE PLAN
 DRAWING BY: WILSON NG
 CONTRACTOR:
 NATIONAL:
 SHEET NO. AS NOTED
 SHEET NO. C-3



~~31~~
ORANGE COUNCIL
 SEP 30 2003

| REVISIONS | |
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| NO. | DESCRIPTION |
| 1 | PHOTOGRAPH VIEWS |
| 2 | PHOTOGRAPH VIEWS |
| 3 | PHOTOGRAPH VIEWS |
| 4 | PHOTOGRAPH VIEWS |
| 5 | PHOTOGRAPH VIEWS |
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| 7 | PHOTOGRAPH VIEWS |
| 8 | PHOTOGRAPH VIEWS |
| 9 | PHOTOGRAPH VIEWS |
| 10 | PHOTOGRAPH VIEWS |

DRAWINGS FOR
TOMPKINS GARDEN
(APARTMENTS)
 4090 TOMPKINS STREET
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION
 8265 SKYLINE BOULEVARD, Oakland, California
 (510) 338-3233

DATE: 5/2/03
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]
 SCALE: AS NOTED

| BUILDING NO. 1 | | | |
|---|---------------|------------|-------------------|
| 4678 TOMPKINS AVE. - WEST WING (6 UNITS - 3 UNITS (ABC) 1ST FL. & 3 UNITS (ABC) 2ND FL.) | | | |
| FIRST FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A UNIT 1B (HANDICAPPED) UNIT 1C | 3 | 2 | 1,460 |
| SECOND FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 2A | 3 | 1 | 1,000 |
| UNIT 2B | 1 | 1 | 630 |
| UNIT 2C | 3 | 2 | 1,300 |
| 4680 TOMPKINS AVE. - CENTRAL WING (4 UNITS - A, B, C, AND OWNER'S UNIT) | | | |
| BASEMENT FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT B1 (HANDICAP) | 1 | 1 | 750 |
| UNIT B2 (HANDICAP) | 1 | 1 | 820 |
| FIRST FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A | 2 | 1 | 1,100 |
| SECOND FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 2A | 3 | 2 | 1,441 |
| OWNER'S UNIT UNIT (1ST/2ND FL.) | BEDROOMS 7 | BATHS 6 | SQ. FT. 11,630 |
| 4724 WILKIE ST. - SOUTHWEST WING (3 UNITS) (1 UNIT BASEMENT & RECREATION RM, 1 UNIT FIRST FL. & 1 UNIT 2ND FL.) | | | |
| RECREATION ROOM | | | 710 |
| FIRST FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A | 4 | 3 | 3,600 |
| SECOND FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 2A | 4 | 3 | 2,100 |
| 4728 WILKIE ST. - SOUTHEAST WING (2 UNITS: 1 UNIT FIRST FL. & 1 UNIT 2ND FL.) | | | |
| FIRST FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A | 4 | 3 | 1,900 |
| SECOND FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 2A | 4 | 3 | 1,900 |
| 4736 WILKIE ST. - ANNEX (3 UNITS: 1 UNIT FIRST FL., 1 UNIT 2ND FL. & 1 UNIT 3RD FL.) | | | |
| FIRST FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A | 1 | 1 | 650 |
| SECOND FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 2A | 4 | 5 | 2,600 |
| THIRD FLOOR | BEDROOMS | BATHS | SQ. FT. |
| UNIT 3A | 4 | 5 | 2,600 |
| TOTAL OF PROPOSED UNITS TOMPKINS GARDEN (APARTMENTS) | | | |

BUILDING NO. 2

| | |
|---|---|
| BUILDING NO. 2 - HOUSE OF PSALM 4648 TOMPKINS AVE. | |
| FIRST FLOOR, | EXISTING SENIOR ASSISTED LIVING FACILITY (NO CHANGE) |

BUILDING NO. 3

| | | | |
|--|----------|-------|---------|
| BUILDING NO. 3 (FORMERLY "THE LODGE") AVENUE - 2 UNITS) | | | |
| FIRST FLOOR, | BEDROOMS | BATHS | SQ. FT. |
| UNIT 1A | 3 | 2 | 1,440 |
| UNIT 1B | 3 | 3 | 1,296 |
| TOTAL OF PROPOSED UNITS 4701 FAIR AVENUE | | | |
| UNITS | BEDROOMS | BATHS | SQ. FT. |
| 2 | 6 | 5 | 2,736 |

BUILDING INFORMATION 1/13

GENERAL NOTES

- ALL DESIGNS AND MATERIALS SHALL BE IN ACCORDANCE WITH 2001 CALIFORNIA BUILDING CODE, 2001 NATIONAL ELECTRICAL CODE, 2001 THE UNIFORM PLUMBING CODE, 2001 UNIFORM MECHANICAL CODE, 2001 UNIFORM FIRE CODE AND ALL OTHER CODES, CITY AND ORDINANCES WHICH APPLY.
- PORTLAND CEMENT PLASTER-EXTERIOR STUCCO SHALL CONFORM TO SECTION 2506A AND TABLE 25-7 AND 25-1, USC. THE MINIMUM NAIL SIZE FOR FASTEN WOVEN OR WELDED WIRE LATH TO WOODFRAME SHALL BE NO. 11 CALICE, 1-1/2" LONG WITH 7/16" DIAMETER HEAD NAIL OR NO. 16 GAUGE STAPLES HAVING 7/8" LONG LEGS AND MAXIMUM NAIL SPACING 6 INCHES AT STUDS AND TOP AND BOTTOM PLATES.
- GYPSON WALLBOARD SHALL CONFORM TO CHAPTER 25 AND TABLES 25A-D, 25A-H AND 25A-I, CSC. THE MINIMUM NAIL SIZE SHALL BE #4 COOLER NAIL (OR WALLBOARD NAIL) AND MAXIMUM NAIL SPACING 7 INCHES AT PANEL EDGES AND INTERMEDIATE SUPPORTS (UNBLOCKED), UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH STRUCTURAL CALCULATIONS, INCLUDING ANY AND ALL ADDENDA PREPARED BY ENGINEER AND APPROVED BY OAKLAND BUILDING DEPARTMENT.
- ALL EXCAVATIONS SHALL BE NEAT, CLEAN AND TRUE AND SHALL BE FREE OF ALL LOOSE MATERIAL PRIOR TO PLACING CONCRETE.
- CONTRACTOR OR SUB-CONTRACTORS SHALL BE RESPONSIBLE FOR PROVING ALL TEMPORARY BRACING, SHORING, RAILING, ETC., NECESSARY TO ENSURE SAFETY OF PERSONS AND PROPERTY.
- CONTRACTOR AND SUB-CONTRACTORS SHALL CLEAN UP DEBRIS AS THE WORK PROGRESSES. CONTRACTOR AND SUB-CONTRACTORS SHALL PROVIDE FOR TRASH REMOVAL FROM SITE, FINAL CLEANING, AFTER SUBSTANTIAL COMPLETION, BUT PRIOR TO FINAL INSPECTION, SHALL INCLUDE A THOROUGH CLEANING OF ALL SURFACES INSTALLED, INCLUDING COUNTERTOPS, GLASS, LIGHT FIXTURES, FLOOR COVERING, ETC. ALL TEMPORARY FACILITIES, EXCESS MATERIALS, DEBRIS, TRASH, EQUIPMENT, ETC. SHALL BE REMOVED FROM THE SITE.
- PRIOR TO COMMENCING CONSTRUCTION, CONTRACTOR AND SUB-CONTRACTORS SHALL REVIEW ALL DRAWINGS SUPPLIED BY ARCHITECT OR DESIGNER AND ENGINEER, VERIFY ALL SITE AND EXISTING JOB CONDITIONS AND DIMENSIONS AND NOTIFY ARCHITECT OR DESIGNER AND ENGINEER OF ANY ERRORS IN DIMENSIONS, DETAILS OR CODE COMPLIANCE. SUCH ERRORS SHALL BE RESOLVED BY DESIGNER, ENGINEER AND CONTRACTOR BEFORE CONTINUING WITH ANY WORK.
- ALL WORK SHOULD BE PLUMB, LEVEL AND SQUARE. ALL MATERIALS, APPLIANCES, FIXTURES, EQUIPMENTS, ETC., SHALL BE NEW AND CONFORM WITH ALL APPLICABLE CODES. WORKMANSHIP SHALL MEET THE BEST PROFESSIONAL STANDARDS OF THE TRADE.
- FLASHING AND PROTECTION FOR ALL PENETRATIONS AND OPENINGS AS REQUIRED PER CODE.
- SUPPLY NEW DRAINAGE SYSTEM & PIPING @ 20' INTERVALS (MIN.) WITH 1/4" MESH SCREEN (CONTINUOUS)
- SUPPLY MIN. 5 YEARS WARRANTY ON ALL ROOF WORK. ROOF TO BE BUILT UP - BITUMEN TORCH DOWN W/ COATING ROOF PARAPET TO HAVE GALVANIZED FLASHING CAP ALL AROUND, PER CODE.
- ELECTRICAL, UTILITY SERVICE LATERALS AND SEWERAGE SHALL BE UNDERGROUND. SEWERAGE TO BE HOOKED UP WITH EXISTING MAIN INFORM LOCAL UTILITY DEPT.
- COLORS OF INTERIOR AND EXTERIOR FINISHES AND PAINTS ARE TO BE CHOSEN BY OWNER.
- INSULATION SCHEDULE AS FOLLOWS: WALL - R-13; ROOF - R-30; FLOOR/CEILING - R-19 PER TITLE 24.
- PROVIDE FIRE EXTINGUISHER SYSTEM AND TYPE PER OAKLAND FIRE DEPARTMENT REQUIREMENTS AND LOCATION PER CODE.

GENERAL NOTES 2

AMPEAK DESIGN CONSTRUCTION CO

DRAWINGS FOR
APARTMENTS

8265 SKYLINE BOULEVARD, Oakland, California 94611
(510) 939-3253

4690 TOMPKINS STREET
OAKLAND, CALIFORNIA

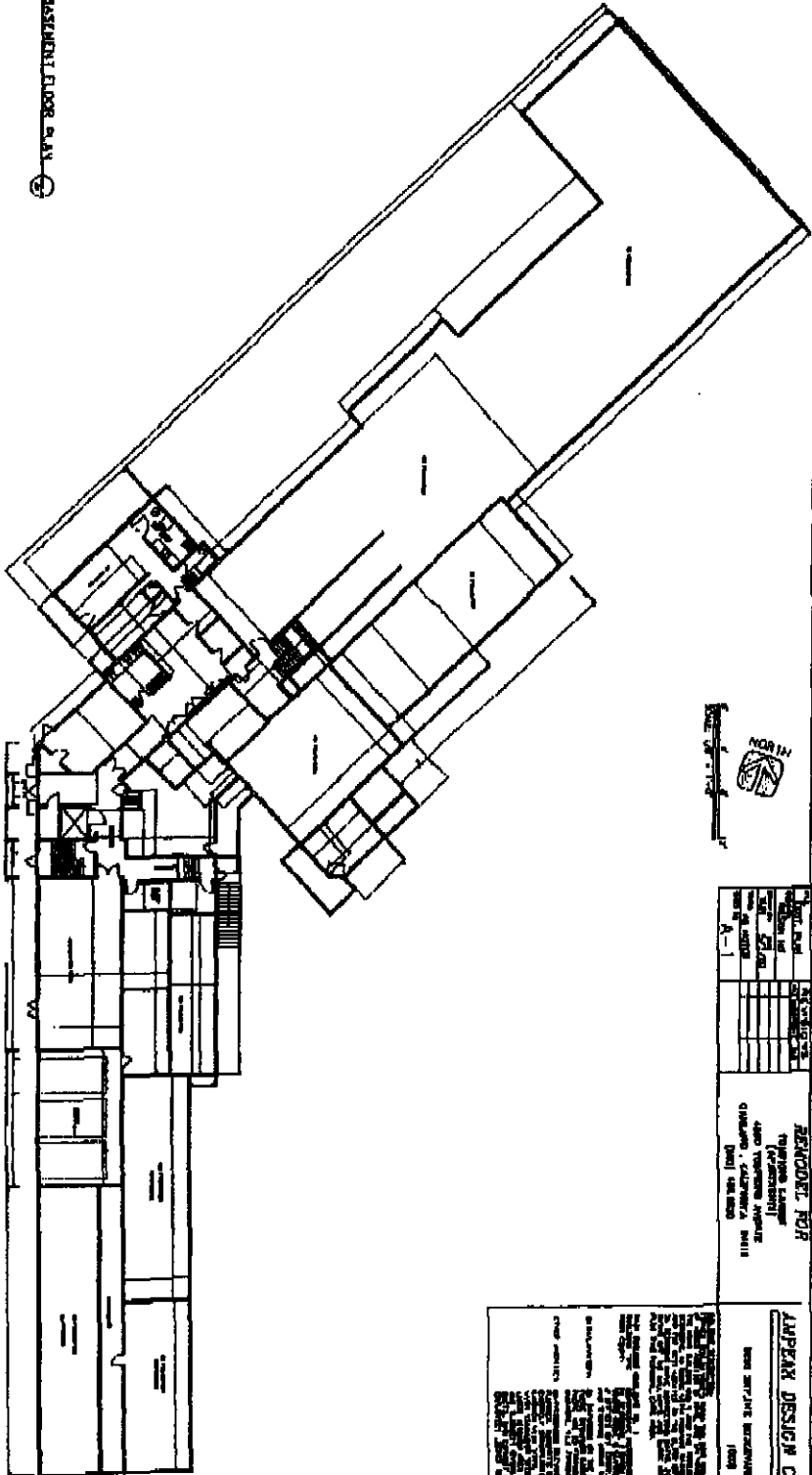
REVISIONS

| NO. | DESCRIPTION | DATE |
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DATE: BUILDING INFOR
WILSON NG
CONTRACTOR:

SCALE: AS NOTED

SHEET NO. C-6



FIRST FLOOR PLAN



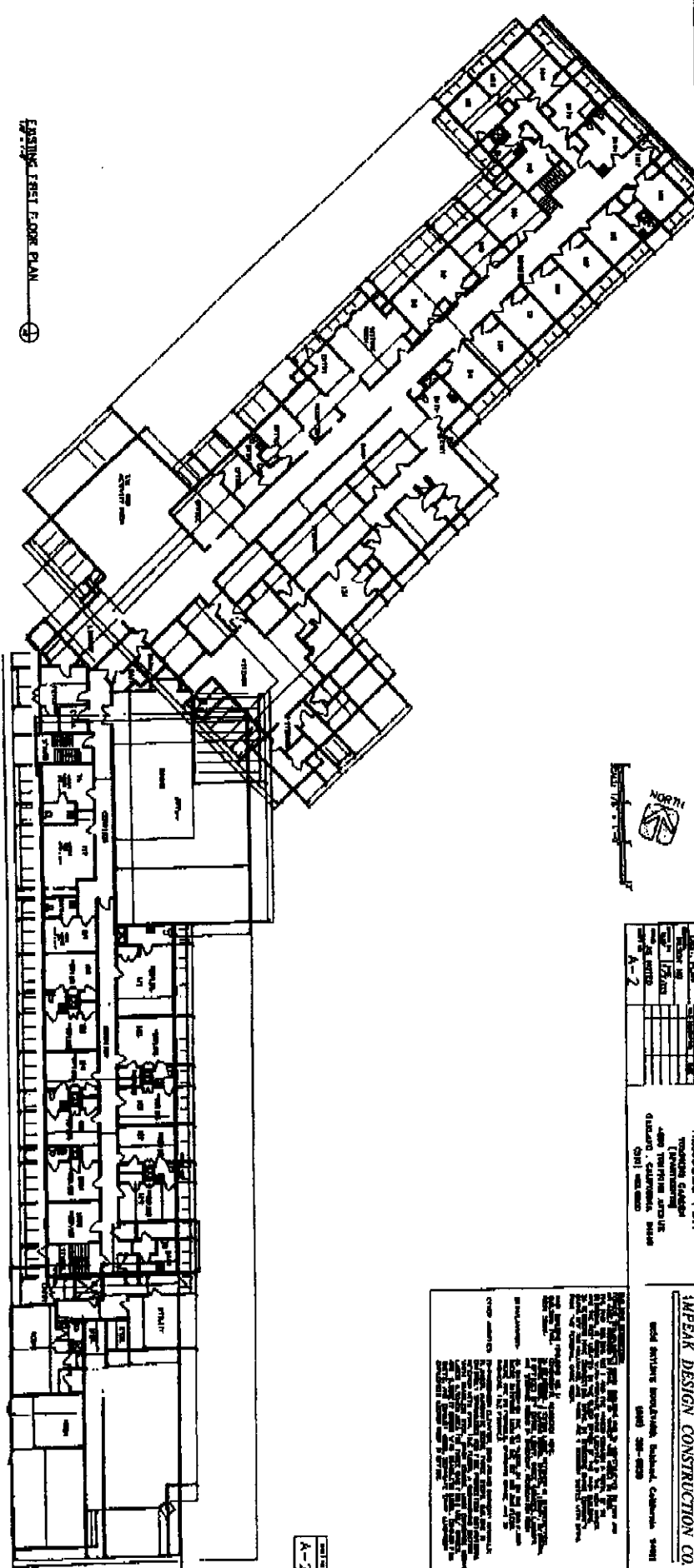
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|-----|-------------|---------|
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| 2 | REVISED | 10/1/58 |
| 3 | REVISED | 10/1/58 |
| 4 | REVISED | 10/1/58 |
| 5 | REVISED | 10/1/58 |
| 6 | REVISED | 10/1/58 |
| 7 | REVISED | 10/1/58 |
| 8 | REVISED | 10/1/58 |
| 9 | REVISED | 10/1/58 |
| 10 | REVISED | 10/1/58 |

REPORT FOR
 TO: [REDACTED]
 AND: [REDACTED]
 DRAWING: [REDACTED]

ALPHEX DESIGN & CONSTRUCTION CO.
 1000 WEST BROADWAY, SUITE 1000, OAKLAND, CALIFORNIA 94612
 (415) 764-1000

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1



EXISTING FIRST FLOOR PLAN



| NO. | DESCRIPTION | DATE |
|-----|-------------|------|
| 1 | REVISION | |
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| 18 | REVISION | |
| 19 | REVISION | |
| 20 | REVISION | |

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 SUITE 1000
 COSTA MESA, CA 92626
 (714) 440-8800

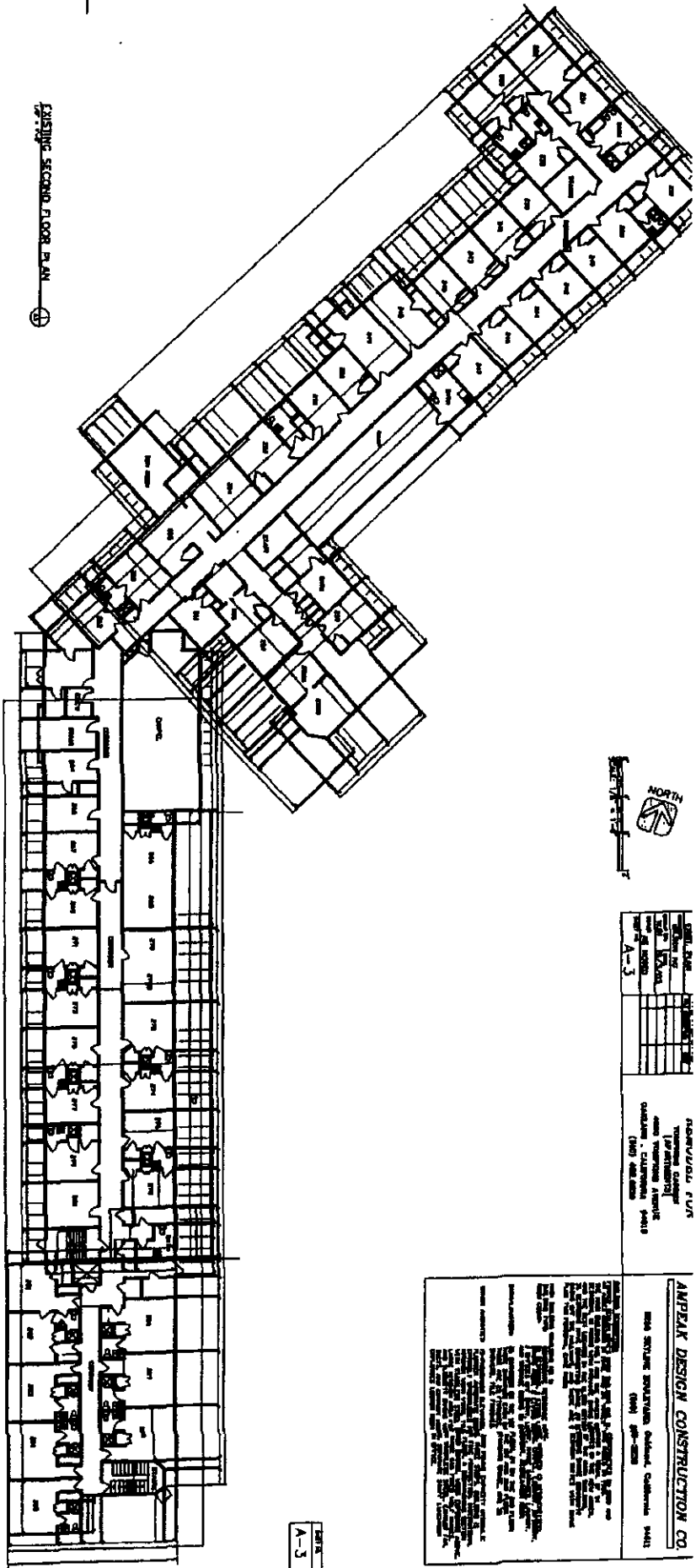
IMPEAK DESIGN CONSTRUCTION CO.
 10000 BAYVIEW BLVD, SUITE 1000
 COSTA MESA, CA 92626
 (714) 440-8800

PROJECT INFORMATION
 PROJECT NO. 03-001
 PROJECT NAME: [REDACTED]
 PROJECT ADDRESS: [REDACTED]
 PROJECT CONTACT: [REDACTED]
 PROJECT PHONE: [REDACTED]
 PROJECT FAX: [REDACTED]
 PROJECT EMAIL: [REDACTED]
 PROJECT START DATE: [REDACTED]
 PROJECT END DATE: [REDACTED]

03-001
 A-2

~~181
 ORA COUNCIL
 SEP 30 2003~~

EXISTING SECOND FLOOR PLAN



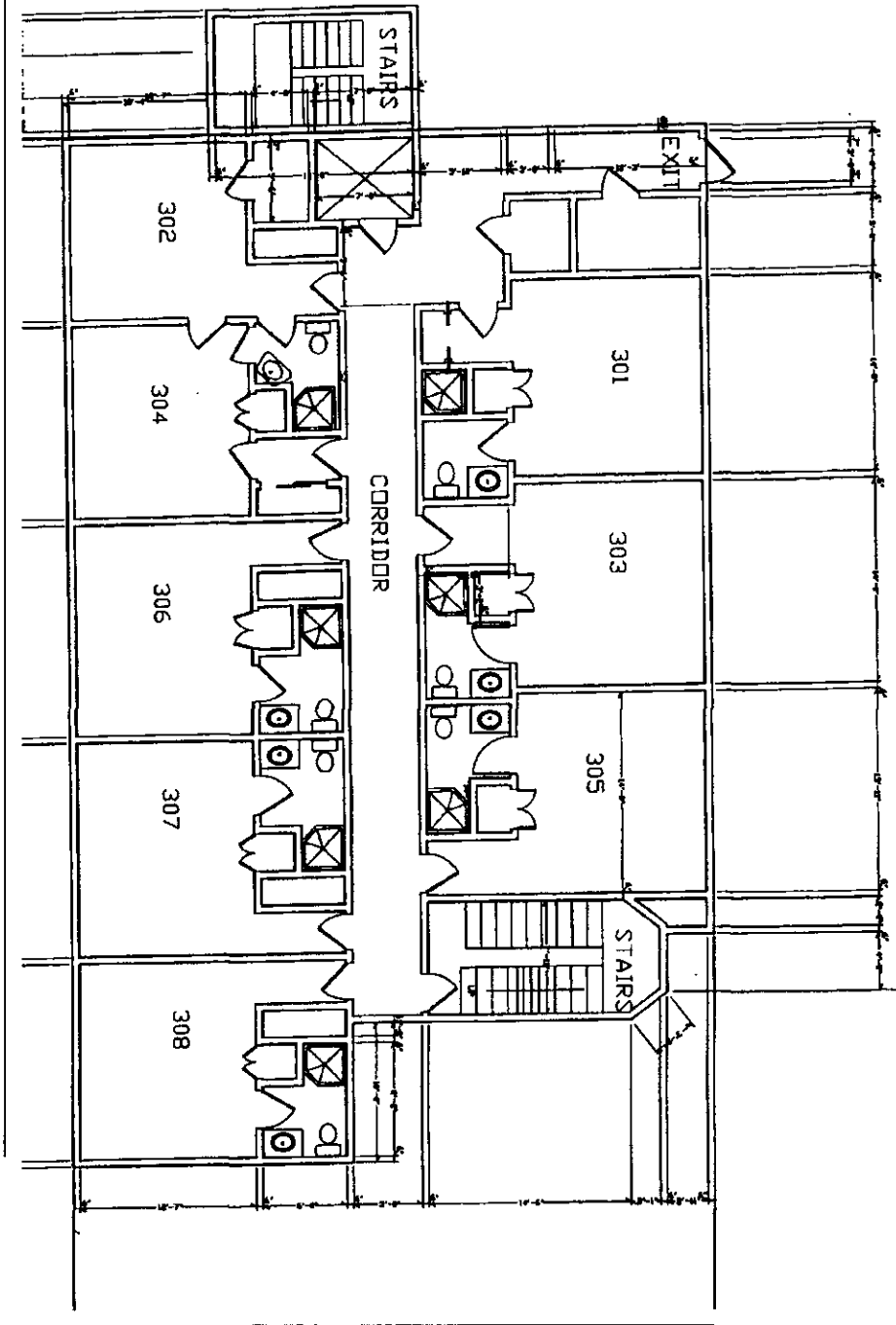
| | |
|---------------|-----------------|
| DATE | 10/1/88 |
| BY | J. J. [unclear] |
| NO. OF SHEETS | 3 |
| SHEET NO. | 1 |
| PROJECT NO. | 88-001 |

REVISIONS
 1. [unclear]
 2. [unclear]
 3. [unclear]

ANPEAK DESIGN CONSTRUCTION CO.
 1000 SOUTH BRANTLEY AVENUE, CHICKENHEAD, MISSISSIPPI 38921
 (601) 837-2222

GENERAL NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 3. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
 4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 5. ALL UTILITIES SHALL BE LOCATED AND MARKED PRIOR TO CONSTRUCTION.
 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
 7. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 8. ALL FINISHES SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

10/1/88



BUILDING NO. 1 EXIST. ANNEX - 3RD FLOOR PL. 1
 1/8" = 1'-0"



| NO. | REVISION | DATE |
|-----|----------|------|
| | | |
| | | |
| | | |
| | | |

TITLE: EXISTING PLAN
 PROJECT: TOMPKINS GARDEN
 DRAWN BY: [blank]
 CHECKED BY: [blank]
 DATE: 5/2/0
 SCALE: AS NOTED

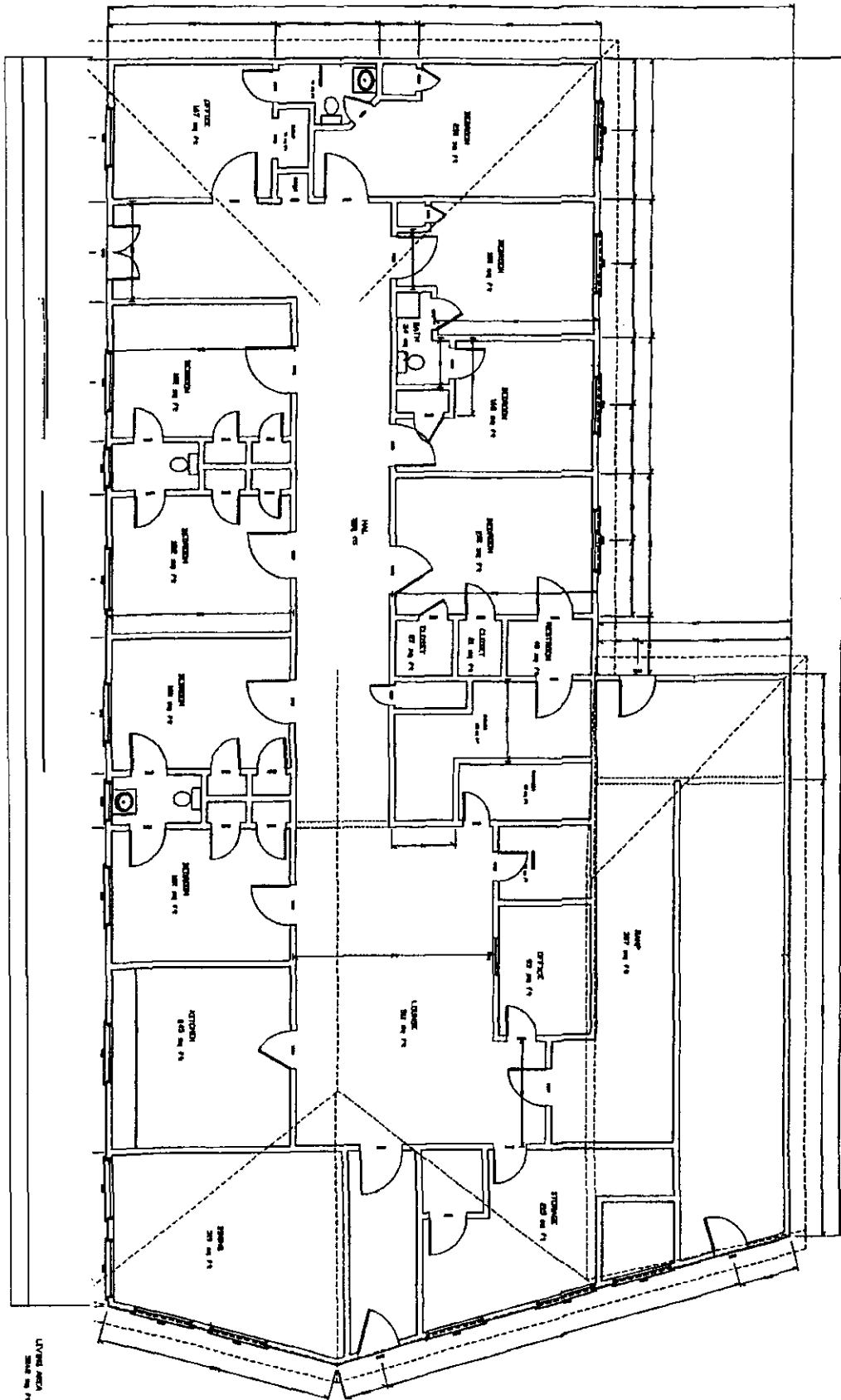
TOMPKINS GARDEN
 [APARTMENTS]
 4890 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482 8230

AMPEAK DESIGN CONSTRUCTION CC

3255 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233

BUILDING NO. 2
 EXISTING 4848 TOMPKINS AVE. FLOOR PLAN
 1/4" = 1'-0"

1/28



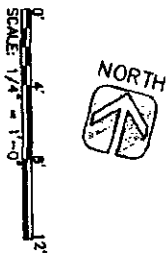
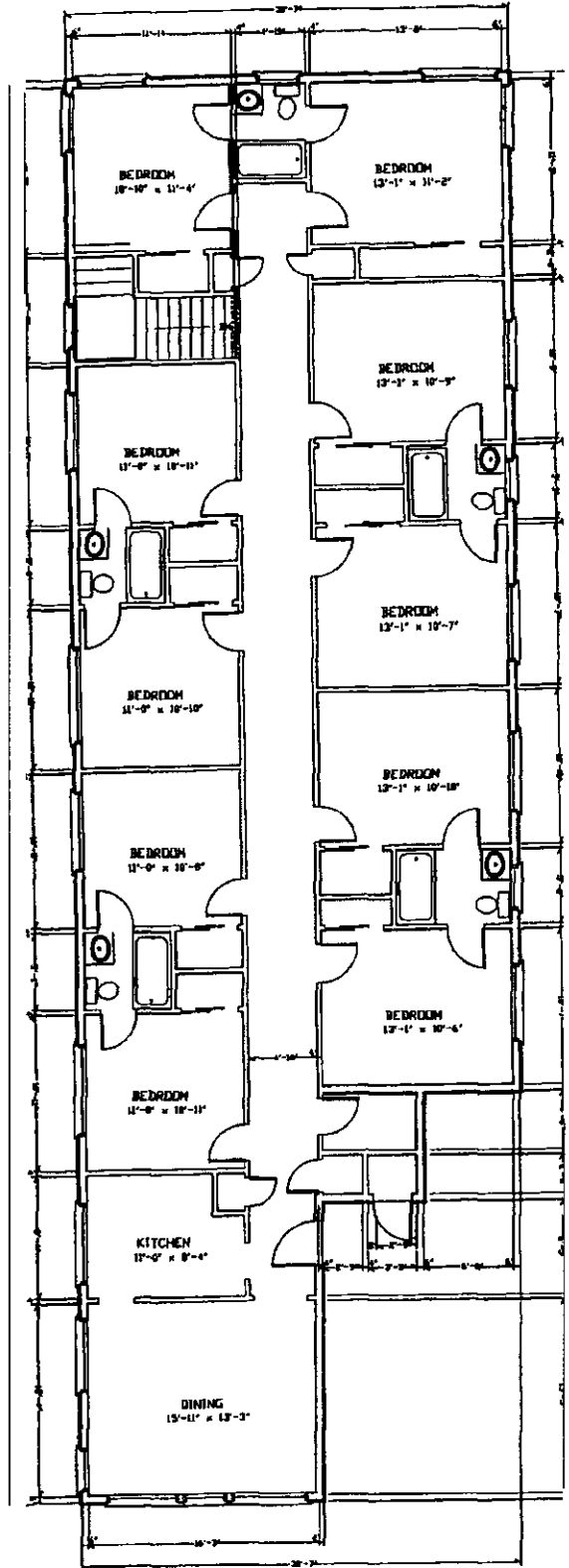
| | |
|-------------|----------|
| DATE | 5/3/03 |
| BY | MAN |
| CHECKED BY | MAN |
| SCALE | AS NOTED |
| PROJECT NO. | V-1-C |

| | |
|-------------|---------------|
| TITLE | EXISTING PLAN |
| DATE | |
| BY | |
| CHECKED BY | |
| PROJECT NO. | |

FOR
 TOMPKINS GARDEN
 (APARTMENTS)
 HOUSE OF PASLM
 4848 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482.0230

AMPEAK DESIGN CONSTRUCTION CO.
 8255 SKYLINE BOULEVARD, Oakland, California 94611
 (510) 339-3233

BUILDING NO. 3 - 4701 FAIR AVE.
EXISTING GROUND FLOOR PLAN



| | |
|---------|----------|
| DATE | BY |
| 02/27/0 | AS NOTED |
| CHANGED | |
| NO. # | |

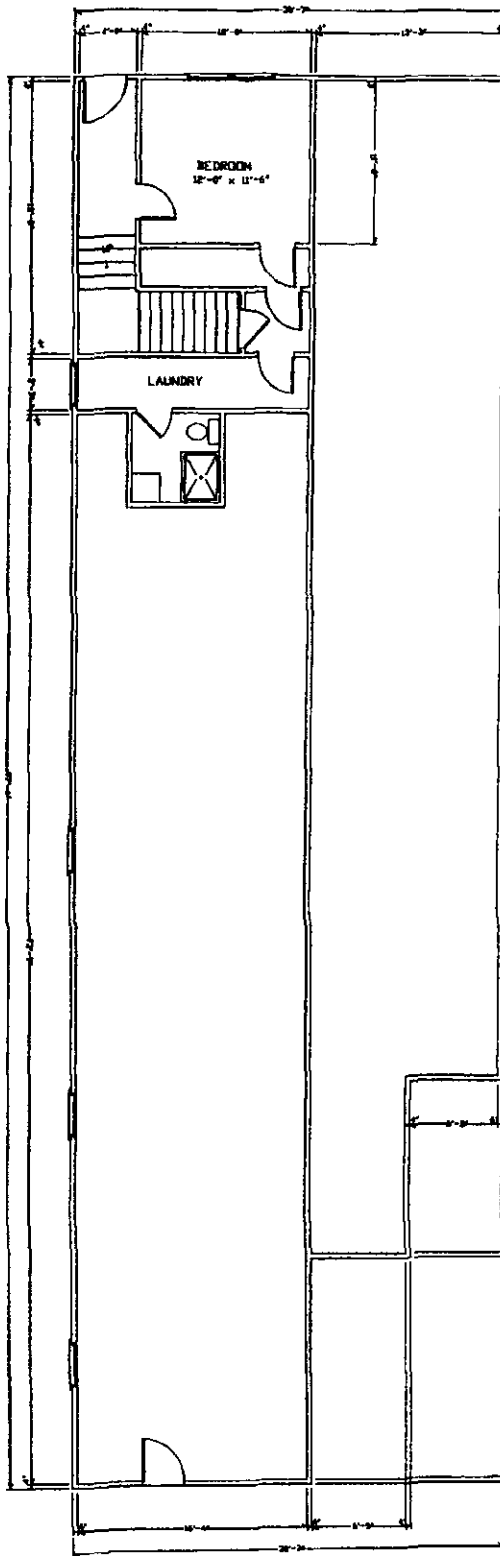
| REVISIONS | NO. | DESCRIPTION | DATE |
|-----------|-----|-------------|------|
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DATE: 02/27/0
BY: AS NOTED
CHANGED: NO. #

TOMPKINS GARDEN
[APARTMENTS]
4701 FAIR AVENUE
OAKLAND, CALIFORNIA 94610

AMPEAK DESIGN CONSTRUCTION CO

8255 SKYLINE BOULEVARD Oakland, California 94611
(510) 330-3233



BUILDING NO. 3 - 4701 FAIR AVE.
 EXISTING BASEMENT FLOOR PLAN
 1/2" = 1'-0"



~~131~~
 ORA/CUNCIH
 SEP 27 2003

| NO. | REVISIONS | DATE |
|-----|-----------|------|
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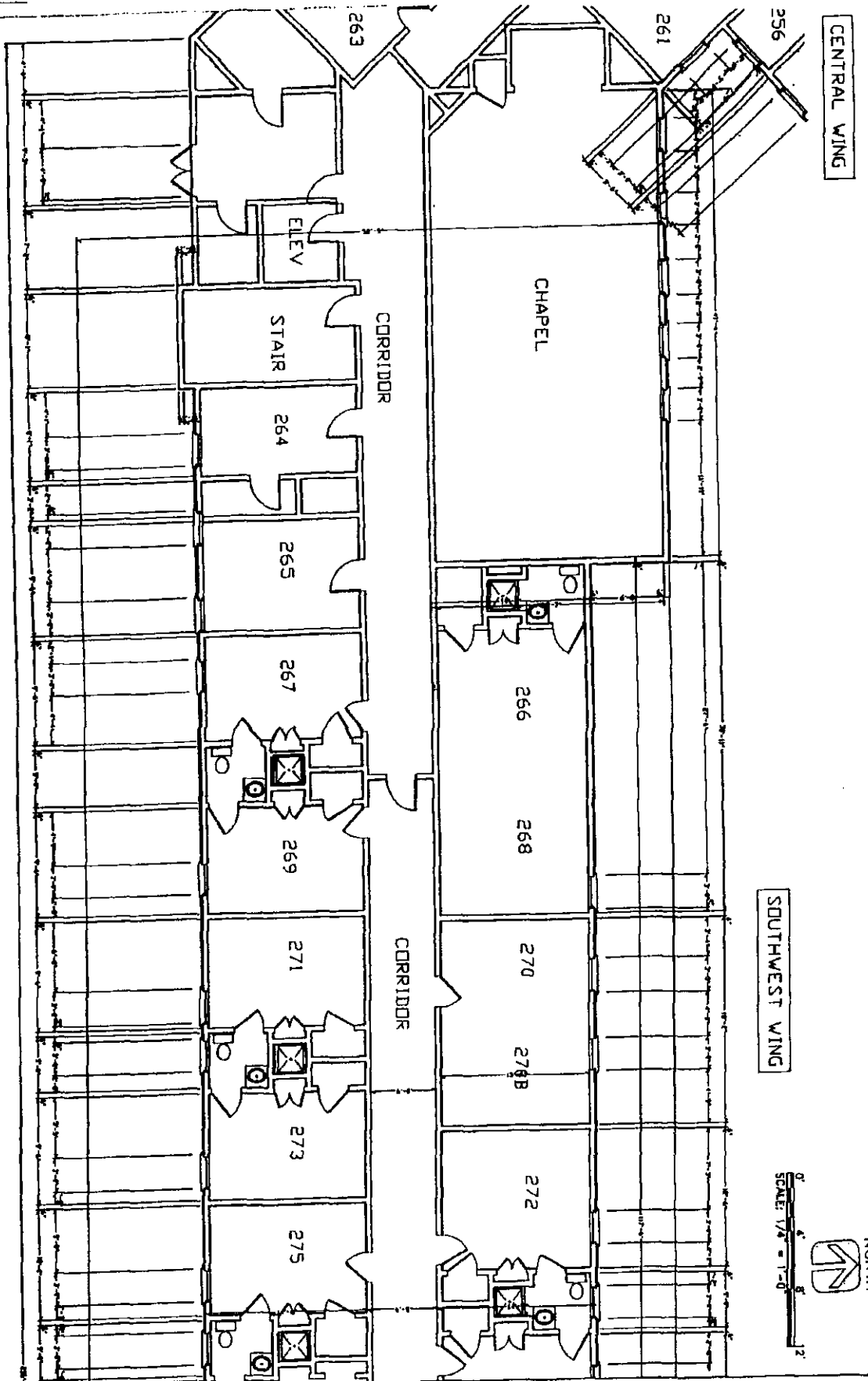
DATE: 5/23/03
 DRAWN BY: WJN
 CHECKED BY: JAB
 SCALE AS NOTED
 SHEET NO. A 7

REMODEL FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4701 FAIR AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482 8230

AMDA DESIGN CO. TRUCTION CO.

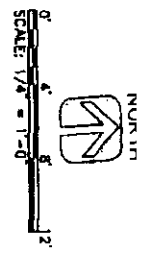
8255 SKYLINE BOULEVARD Oakland, California 94611
 (510) 330-3233

SOUTH WEST WING 2ND FLOOR PLAN



CENTRAL WING

SOUTHWEST WING

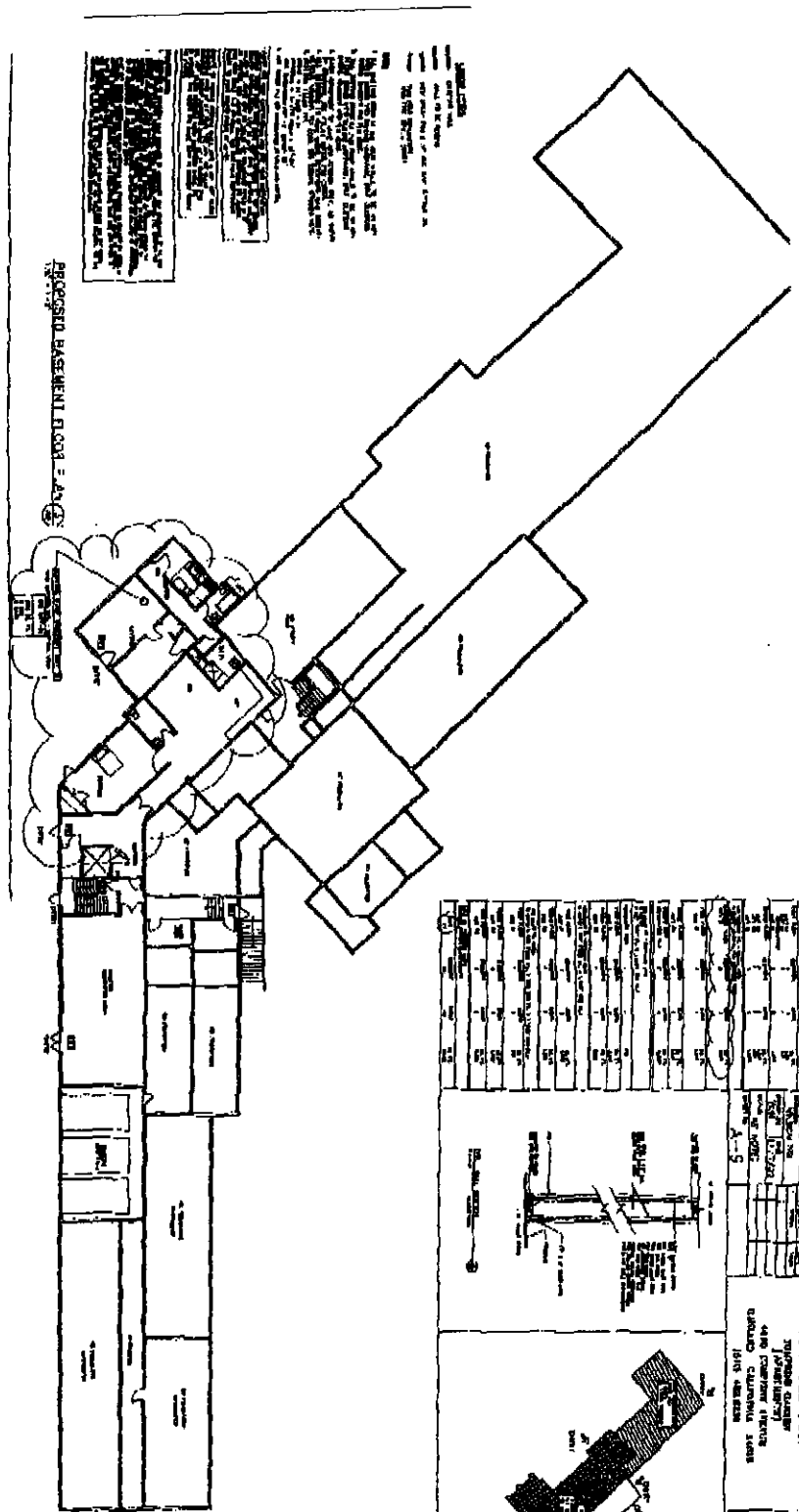


| NO. | DATE | REVISIONS |
|-----|------|-----------|
| | | |
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| | | |

DRAWN BY: M. J. WILSON, INC.
 CHECKED BY: M. J. WILSON, INC.
 DATE: 11/7/92
 SCALE: AS NOTED

REMODEL FOR
TOMPKINS GARDEN
[APARTMENTS]
 4690 TOMPKINS AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482.8230

AMPEAK DESIGN CONSTRUCTION C.
 8255 SKYLINE BOULEVARD, Oakland, California 94612
 (510) 339-3233



PERFORM BASEMENT FLOOR - 400

1. THE ARCHITECT HAS DESIGNATED THE FOLLOWING AREAS AS "PERFORM BASEMENT FLOOR - 400". THESE AREAS ARE TO BE USED FOR THE STORAGE OF MATERIALS AND EQUIPMENT. THE ARCHITECT HAS DESIGNATED THE FOLLOWING AREAS AS "PERFORM BASEMENT FLOOR - 400". THESE AREAS ARE TO BE USED FOR THE STORAGE OF MATERIALS AND EQUIPMENT.

| NO. | DESCRIPTION | QTY | UNIT | PRICE | TOTAL |
|-----|-------------|-----|------|-------|-------|
| 1 | ... | ... | ... | ... | ... |
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| 49 | ... | ... | ... | ... | ... |
| 50 | ... | ... | ... | ... | ... |

THROUGH QUANTITIES AND CONSTRUCTION METHODS LISTED IN THIS SCHEDULE SHALL BE USED UNLESS OTHERWISE SPECIFIED.
 ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
 ALL MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

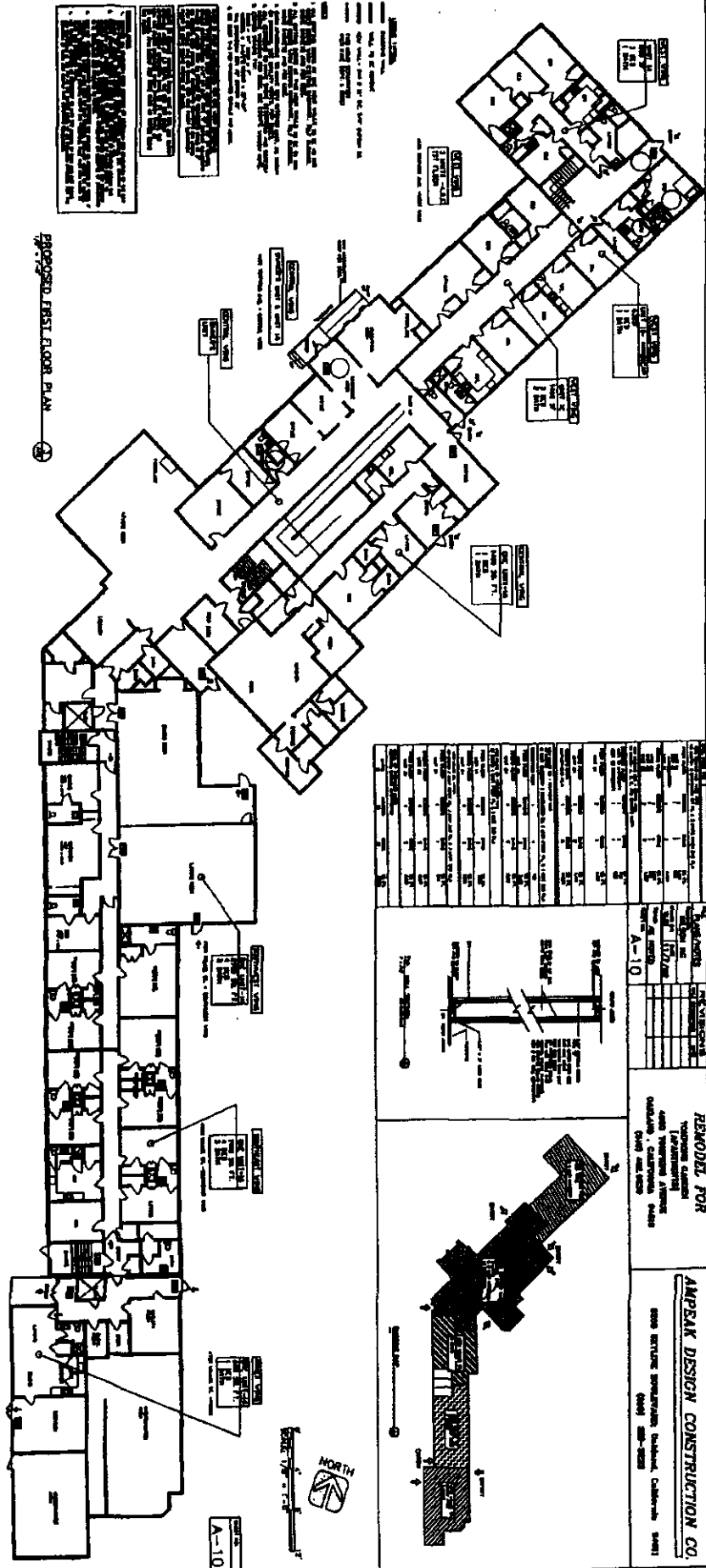
ARCHITECT: [Name]
 12345 MAIN STREET
 SAN FRANCISCO, CALIFORNIA 94101
 (415) 555-1234



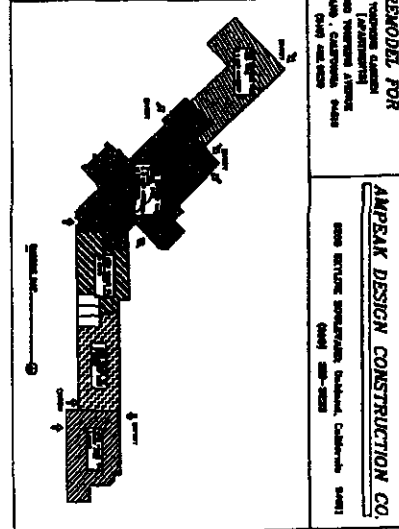
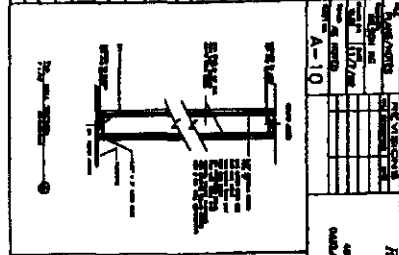
NOTES:

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
6. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
7. THE CONTRACTOR SHALL MAINTAIN RECORD DRAWINGS THROUGHOUT THE PROJECT.
8. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
10. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SCHEDULE OF WORK.

PROPOSED FIRST FLOOR PLAN

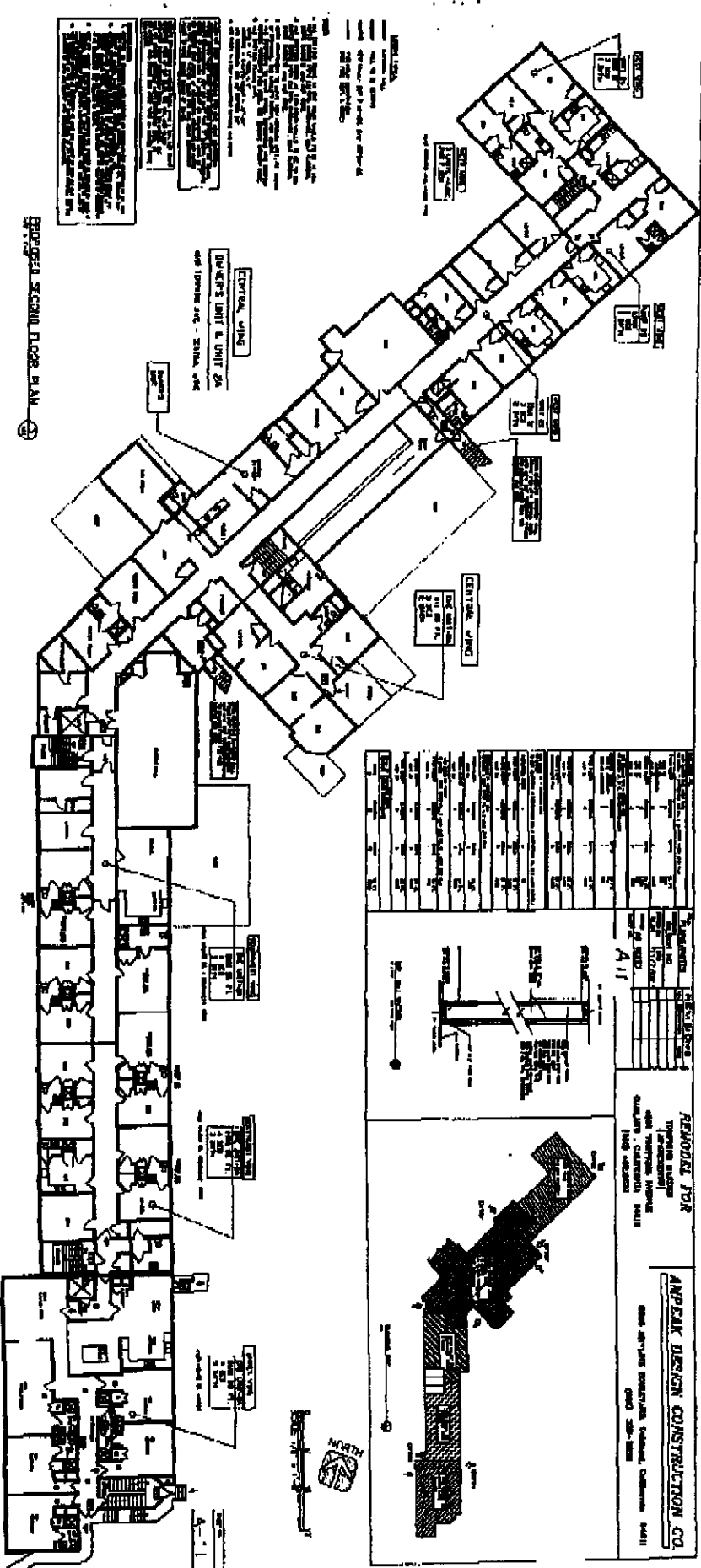


| NO. | DESCRIPTION | QTY | UNIT | PRICE | TOTAL |
|-----|-------------|-----|-------|--------|--------|
| 1 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 2 | STEEL | 50 | TON | 50.00 | 50.00 |
| 3 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 4 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 5 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 6 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 7 | PAINT | 100 | GA | 100.00 | 100.00 |
| 8 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 9 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 10 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 11 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 12 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 13 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 14 | STEEL | 50 | TON | 50.00 | 50.00 |
| 15 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 16 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 17 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 18 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 19 | PAINT | 100 | GA | 100.00 | 100.00 |
| 20 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 21 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 22 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 23 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 24 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 25 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 26 | STEEL | 50 | TON | 50.00 | 50.00 |
| 27 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 28 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 29 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 30 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 31 | PAINT | 100 | GA | 100.00 | 100.00 |
| 32 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 33 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 34 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 35 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 36 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 37 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 38 | STEEL | 50 | TON | 50.00 | 50.00 |
| 39 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 40 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 41 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 42 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 43 | PAINT | 100 | GA | 100.00 | 100.00 |
| 44 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 45 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 46 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 47 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 48 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 49 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 50 | STEEL | 50 | TON | 50.00 | 50.00 |
| 51 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 52 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 53 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 54 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 55 | PAINT | 100 | GA | 100.00 | 100.00 |
| 56 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 57 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 58 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 59 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 60 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 61 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 62 | STEEL | 50 | TON | 50.00 | 50.00 |
| 63 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 64 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 65 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 66 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 67 | PAINT | 100 | GA | 100.00 | 100.00 |
| 68 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 69 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 70 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 71 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 72 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 73 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 74 | STEEL | 50 | TON | 50.00 | 50.00 |
| 75 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 76 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 77 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 78 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 79 | PAINT | 100 | GA | 100.00 | 100.00 |
| 80 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 81 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 82 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 83 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 84 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 85 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 86 | STEEL | 50 | TON | 50.00 | 50.00 |
| 87 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 88 | CEMENT | 50 | TON | 50.00 | 50.00 |
| 89 | WOOD | 100 | CU YD | 100.00 | 100.00 |
| 90 | GLASS | 100 | SQ YD | 100.00 | 100.00 |
| 91 | PAINT | 100 | GA | 100.00 | 100.00 |
| 92 | ROOFING | 100 | SQ YD | 100.00 | 100.00 |
| 93 | MECHANICAL | 100 | HR | 100.00 | 100.00 |
| 94 | ELECTRICAL | 100 | HR | 100.00 | 100.00 |
| 95 | PLUMBING | 100 | HR | 100.00 | 100.00 |
| 96 | LANDSCAPE | 100 | HR | 100.00 | 100.00 |
| 97 | CONCRETE | 100 | CU YD | 100.00 | 100.00 |
| 98 | STEEL | 50 | TON | 50.00 | 50.00 |
| 99 | BRICK | 200 | 1000 | 200.00 | 200.00 |
| 100 | CEMENT | 50 | TON | 50.00 | 50.00 |



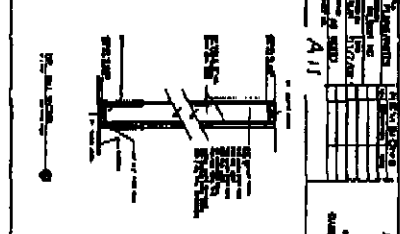
REMODEL FOR
 VISIONS CLINICAL
 LABORATORY
 AND VENTURE ALIENS
 OFFICE BUILDING
 1000 10TH AVENUE
 DENVER, COLORADO 80202

ANPEAK DESIGN CONSTRUCTION CO.
 8000 10TH AVENUE, SUITE 1000, DENVER, CO 80202
 (303) 733-3333



PROPOSED SECOND FLOOR PLAN

| NO. | DESCRIPTION | QTY | UNIT | TOTAL |
|-----|-------------|-----|------|-------|
| 1 | ... | ... | ... | ... |
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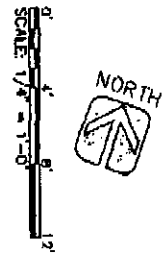
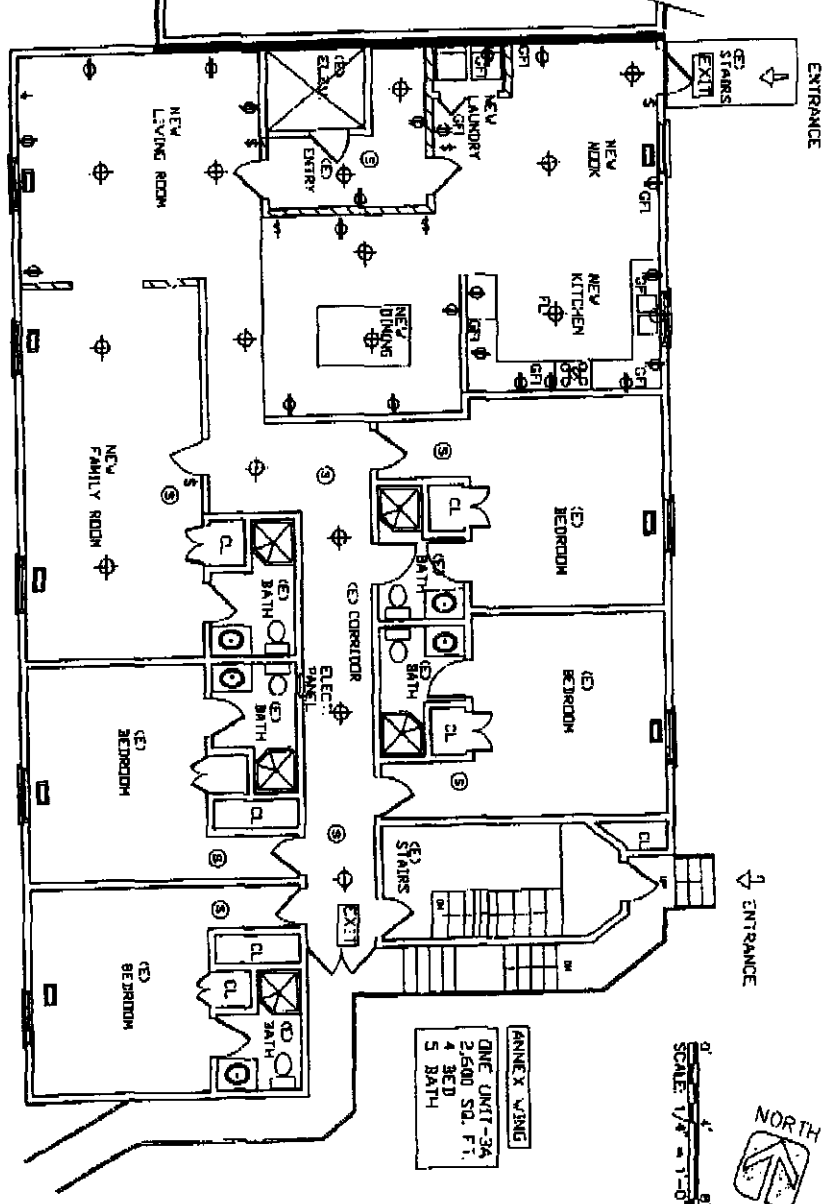
REMODEL FOR
 TRADING FLOOR
 WITH TRADING AREA
 STAIRS, CLOSET, HALL
 (SEE DRAWING)

ANPEAK DESIGN CONSTRUCTION CO.
 6000 47th Street, Suite 200, Dallas, TX 75241
 (214) 343-3333

- NOTES:
1. ALL EXITING DOORS AT ONE HEAR WALLS TO BE 45 MIN. RATED DOORS WITH EXITING HARDWARE, SELF CLOSERS, SMOKE GASKETS AND PER CODE.
 2. ALL EXITING DOORS AT TWO HOUR WALLS TO BE 90 MIN. RATED DOORS WITH EXITING HARDWARE, SELF CLOSERS, SMOKE GASKETS AND PER CODE.
 3. EACH APARTMENT TO HAVE NEW KITCHEN UNIT, AS SHOWN IN DRAWING. SEE UTILITY NOTES, PER CODES.
 4. ALL BEDROOMS TO HAVE SMOKE DETECTORS AND EGRESS/ RESCUE WINDOWS PER CODE. SEE ESCAPE WINDOW NOTE.
 5. EXITING STAIRS TYP.
- TREAD - 11" RISE = 1"
 HEADROOM - 1'-11/2" TO HEIGHT - 22'-34"
 RAIL EXTENSION TOP: 12" BOTTOM: 23"

FLOOR OR ROOF CONSTRUCTION FOR ONE HOUR SEPARATION: DOUBLE WOOD FLOOR OVER WOOD JOISTS SPACED 18" ON CENTER, CEILING CONSTRUCTION: 1/2" OR 5/8" TYPE 'X' GYPSUM WALLBOARD NAILD TO JOISTS WITH 54 COOLER OR WALLBOARD NAILS AT 12" ON CENTER, TWO JOISTS OF WALKBOARD NEAR SEPARATION. FLOOR TO HAVE SOLID BANDING OF 1/2"-3/4" TYPE 'X' GYPSUM BOARD. ESCAPE OR RESCUE WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. THE MIN. NET CLEAR HEIGHT OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE MIN. NET CLEAR WIDTH DIMENSION SHALL BE 20 INCHES. THE MIN. NET CLEAR HEIGHT AND WIDTH NOT MORE THAN 44 INCHES ABOVE THE FLOOR.

| | | | |
|---|------------|---------|--------------|
| ANNEX (4730 WILKIE ST.) 3 UNITS | | | |
| 1 UNIT FIRST FL., 1 UNIT 2ND FL. & 1 UNIT 3RD FL. | | | |
| THIRD FLOOR | 3 BEDROOMS | 5 BATHS | 50 FT. 2,600 |
| UNIT 3A | 4 | 5 | |



ANNEX WING
 ONE UNIT - 3A
 2,600 SQ. FT.
 4 BED
 5 BATH

BUILDING # - 4730 WILKIE STREET
 PROPOSED THIRD FLOOR PLAN - ANNEX WING
 1/8" = 1'-0"

LEGEND TYPICAL

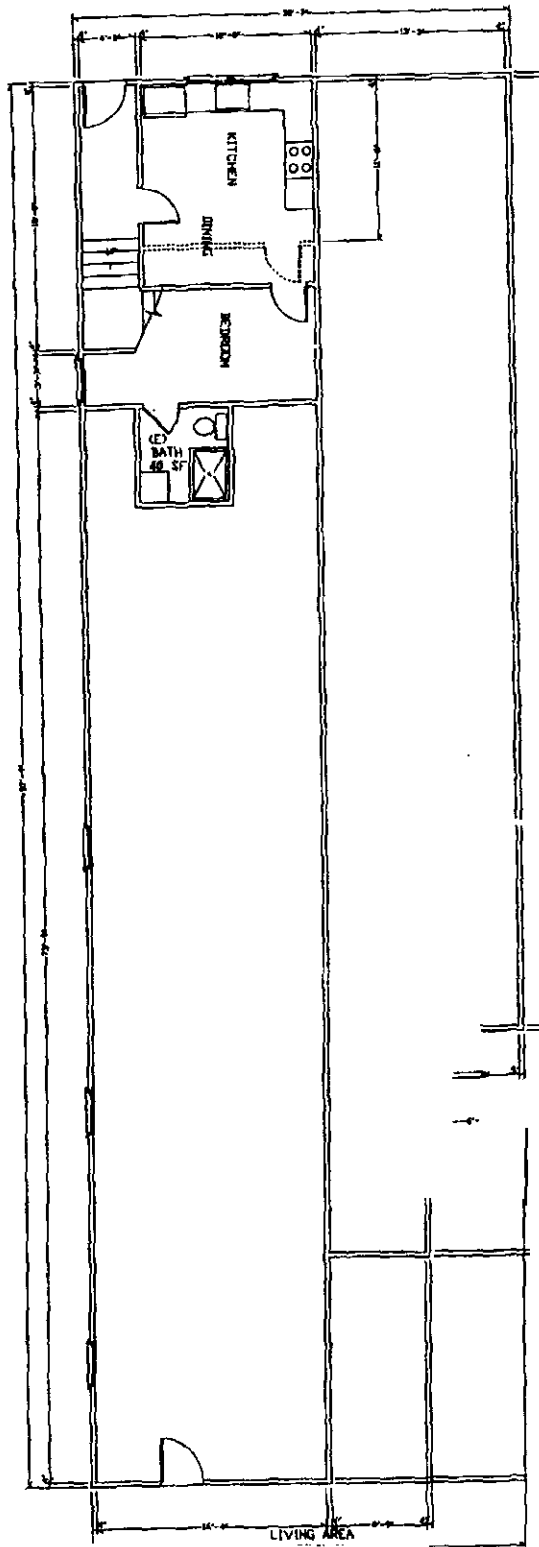
- WALL TO BE REMOVE
- NEW WALL - 2X4 @ 16" O.C. 5/8" GYPSUM 80
- TWO HOUR SEPARATION (PER FIRE DEPT. & CODE)

| NO. | PLANS/NOTES | REVISIONS | DATE |
|-----|-------------|-----------|------|
| 1 | WILKIE NG | | |
| 2 | 5/23/03 | | |

REMODEL FOR
 TOWNHOMES GARDEN
 (APARTMENTS)
 4730 WILKIE STREET

AMPEAK DESIGN CONSTRUCTION CO.
 6266 SKITUNE BOULEVARD, Oakland, California 94611

SHEET NO.
 A-12



BUILDING NO. 3 - 4701 FAIR AVE.
 PROPOSED BASEMENT FLOOR PLAN
 1/4" = 1'-0" (1)

SCALE 1/4" = 1'-0"



14.3
 ORA/COUNCIL
 MAR 16 2004

~~14.2~~
~~ORA/COUNCIL~~
~~NOV 18 2003~~
~~101~~
~~ORA/COUNCIL~~
~~SEP 30 2003~~

| NO. | DATE | REVISIONS |
|-----|------|-----------|
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REMDEL FOR
 TOMPKINS GARDEN
 [APARTMENTS]
 4701 FAIR AVENUE
 OAKLAND, CALIFORNIA 94619
 (510) 482.6230

AMPEAK DESIGN CONSTRUCTION CO.
 8255 SKYLINE BOULEVARD; Oakland, California 94611
 (510) 339-3233