



FILED
OFFICE OF THE CITY CLERK
OAKLAND

2018 JAN 31 AM 10:10

AGENDA REPORT

TO: Sabrina B. Landreth
City Administrator

FROM: William Gilchrist
Director, PBD

SUBJECT: Programmatic Agreement with SHPO
Relating to the Harrison Hotel

DATE: January 17, 2018

City Administrator Approval

Date:

1/30/18

RECOMMENDATION

City Staff Recommends That The City Council Adopt A Resolution Authorizing The City Administrator, Or Designee, To Negotiate And Execute A Programmatic Agreement, Pursuant To Section 106 Of The National Historic Preservation Act, With The California State Historic Preservation Officer (SHPO) Regarding The Rehabilitation Of The Harrison Hotel Located At 1415 Harrison Street, Oakland, California, Without Returning To The City Council.

EXECUTIVE SUMMARY

Adoption of the Resolution would authorize the City Administrator or designee to enter into a Programmatic Agreement with the California State Historic Preservation Officer (SHPO) regarding the rehabilitation of the Harrison Hotel. The purpose of entering into the Agreement is to minimize, reduce or avoid adverse effects on the historic building, complete the National Environmental Policy Act process, and facilitate the rehabilitation of the property as affordable housing.

BACKGROUND / LEGISLATIVE HISTORY

The Harrison Hotel, located at 1415 Harrison Street, is an eight-story, Single Room Occupancy (SRO) building with 81 units. The City has determined that the Harrison Hotel is eligible for listing on the National Register of Historic Places (NRHP), and is a historic resource under the California Environmental Quality Act (CEQA) and National Environmental Policy Act (NEPA). In recent years, the property has been the subject of code enforcement actions by the City.

Resources for Community Development (RCD), a non-profit affordable housing developer, proposes to use funding from the U.S. Department of Housing and Urban Development (HUD) and other sources to convert the 81 SRO units into 52 100 percent fully affordable dwelling units and 29 100 percent fully affordable rooming units for a total of 81 units with three ground floor commercial spaces, a ground floor lobby, property management offices, and community room. The project also includes a restoration of the historical exterior architectural elements of the

Item: _____
CED Committee
February 13, 2018

building, installation of a glass entry door on the Harrison Street side and an access door to the basement, and seismic retrofits. The project includes a 35 percent density bonus for very low-income households. The project was approved by the Bureau of Planning on September 15, 2017.

SHPO is considering a Historic Preservation Tax Credit application. An analysis of the project's potential adverse effects on the environment under NEPA must be completed before RCD can rehabilitate the building. SHPO has requested a Programmatic Agreement for the project (**Attachment A**). With the Programmatic Agreement, the NEPA process can be completed in order to ensure that adverse NEPA historic effects are minimized, reduced or avoided.

On December 13, 2016, the City Council adopted an interim Ordinance that placed a moratorium on the loss of residential hotel units including demolition, conversion, reconfiguration and rehabilitation (Ordinance 13410 C.M.S.). On January 17, 2017, the City Council extended the moratorium through December 11, 2018 (Ordinance 13415 C.M.S.). Although RCD is proposing to reconfigure the units and rehabilitate the property, the enabling legislation allowed these activities where such rehabilitation, reconfiguration, or conversion results in the creation of long-term assisted housing affordable to low, very low, and extremely low-income persons. As noted above, RCD is proposing a 100 percent fully affordable project for very low-income households.

ANALYSIS AND POLICY ALTERNATIVES

City staff is recommending that the City enter into a Programmatic Agreement with SHPO. A Programmatic Agreement is a legally binding document that would ensure that review of the rehabilitation plans and specifications is undertaken in conformance with the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings (Standards). The Programmatic Agreement would include, but not be limited to, provisions requiring consultation with SHPO, a resolution process if the project sponsor is unable to ensure the development of a design that is compatible with the Standards, annual reporting, and dispute resolution.

City staff also consulted with the Federal Advisory Council on Historic Preservation (ACHP) regarding the possibility of entering into the Programmatic Agreement for the property (**Attachment B**). The ACHP did not believe that their participation was needed at this time (**Attachment C**); however, staff has included in the attached legislation the possibility of adding the ACHP to the Programmatic Agreement without returning to City Council. Attached is the draft Programmatic Agreement that was sent to SHPO (**Attachment D**) for their initial consideration. If a Programmatic Agreement is signed with SHPO, Bureau of Planning staff will be entrusted with compliance with its terms and conditions.

A similar Programmatic Agreement was used for the California Hotel Rehabilitation in 2011 and the Hotel Menlo in early 2017 to allow the use of Federal funds for acquisition and rehabilitation.

Policy Alternative

While staff recommends that the City Council authorize the City Administrator or designee to enter into the Programmatic Agreement, another alternative is discussed in the following table:

Alternative # 1: Take No Action	This alternative would result in no action by the City Council in regards to the Programmatic Agreement
Pros	The City would not assume the legal responsibilities for ensuring that the rehabilitation by RCD complies with a design satisfying the Section 106 process pertaining to reducing or avoiding historic resource impacts, as outlined in the Programmatic Agreement.
Cons/Reasons for rejecting	As discussed in the <i>Fiscal Impact</i> section below, taking no action on the proposal would result in RCD's inability to fund the rehabilitation of the property for affordable housing. City staff recommends rejecting this alternative because increasing affordable housing, especially near transit, is an overall goal of the City and the City's Housing Action Plan.

FISCAL IMPACT

If the City Council chooses not to enter into the Programmatic Agreement with SHPO, RCD would be unable to complete the required NEPA analysis, and therefore, be unable to rehabilitate the property for affordable housing.

There is no direct cost attached to the Programmatic Agreement process. The Oakland Housing Authority (OHA) awarded 22 HUD Moving to Work (MTW) SRO Vouchers for the project. In addition, RCD and the City of Oakland jointly submitted an application to the Affordable Housing Sustainable Communities (AHSC) Program for approximately 15.6 million dollars in additional funds to complete the project which has since been awarded. Furthermore, RCD has also been awarded 1.4 million dollars in Federal Affordable Housing Program funds.

PUBLIC OUTREACH / INTEREST

Staff has not conducted public outreach regarding the Programmatic Agreement. However, the project did include a 17-day public notice as part of the Planning entitlements and only minor comments were received related to historic design elements. Furthermore, NEPA review includes a public notice process with a 15-day comment period which will occur if the City Council chooses to enter into the Programmatic Agreement.

RCD has held two community meetings with residents of the Harrison Hotel. Both meetings were well attended and residents expressed support for RCD's proposal to acquire the building, renovate it, and convert it to long-term affordable housing.

COORDINATION

This agenda report and legislation was reviewed by the Office of the City Attorney, Controller's Bureau, Bureau of Planning, and the Oakland Housing Authority.

SUSTAINABLE OPPORTUNITIES

Economic: The property, with implementation of the Programmatic Agreement, would ensure revitalization of a property within Downtown and preserve and maintain housing for low to very low-income housing.

Environmental: The property, with implementation of the Programmatic Agreement, would ensure the rehabilitation of a local historic resource, which is also eligible for the NRHP. Furthermore, the property is located Downtown, near bike lanes and close to transit such as the 12th Street Bay Area Rapid Transit (BART), several AC Transit bus lines, and the future Bus Rapid Transit (BRT).

Social Equity: With implementation of the Programmatic Agreement, the property's 81 units of affordable housing would be preserved. Affordable housing and prevention of displacement are Citywide goals specifically addressed in the upcoming Downtown Plan.

CEQA

The Bureau of Planning is responsible for preparation of the environmental analysis pursuant to CEQA and NEPA. Plans for the conversion and rehabilitation were submitted to the Bureau of Planning in May of 2017 and were approved in September of this year. The project was found to be exempt from CEQA per State CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures; Section 15332 In-fill Development; and Section 15183: Projects Consistent with a Community Plan, General Plan or Zoning. Specifically, staff found that Section 15303 was applicable as this Section exempts projects that include the construction and location of limited numbers of new, small facilities or structures. The proposal includes conversion of 81 SRO units to 52 affordable dwelling units and 29 affordable rooming units with minor alterations to the building. Section 15332 exempts projects intended to promote infill development within urbanized areas. Although the project does not involve new construction, it met the findings for use of this exception as the project is within the city limits, has no value as wildlife habitat, would not result in significant traffic, noise, air quality or water quality impacts and is already served by utilities. Furthermore, as a separate and independent basis, the project was also found to be consistent with the Land Use and Transportation and Historic Preservation Elements of the General Plan, and therefore, Section 15183 also applied.

NEPA

A Programmatic Agreement is an appropriate method to ensure that the project will not have an adverse historic impact pursuant to Section 106 of the NEPA. Once the City has entered into the Programmatic Agreement, City staff will prepare and publish an Environmental Assessment for the project pursuant to NEPA.

ACTION REQUESTED OF THE CITY COUNCIL

City Staff Recommends That The City Council Adopt A Resolution Authorizing The City Administrator, Or Designee, To Negotiate And Execute A Programmatic Agreement, Pursuant To Section 106 Of The National Historic Preservation Act, With The California State Historic Preservation Officer (SHPO) Regarding The Rehabilitation Of The Harrison Hotel Located At 1415 Harrison Street, Oakland, California, Without Returning To The City Council

For questions regarding this report, please contact Heather Klein, Planner IV, at (510) 238-3659 or hklein@oaklandnet.com.

Respectfully submitted,

William Gilchrist, Director
Planning and Building Department

Reviewed by:
Darin Ranelletti, Deputy Director
Bureau of Planning

Prepared by:
Heather Klein, Planner IV
Bureau of Planning

Attachments (4):

- A. Email Correspondence with SHPO noting the need for a Programmatic Agreement*
- B. Consultation Letter to ACHP, dated, November 15, 2017*
- C. Letter from ACHP, dated December 1, 2017*
- D. Draft Programmatic Agreement*

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For questions regarding this report, please contact Heather Klein, Planner IV, at (510) 238-3659 or hklein@oaklandnet.com.

Respectfully submitted,



William Gilchrist, Director
Planning and Building Department

Reviewed by:
Darin Ranelletti, Deputy Director
Bureau of Planning

Prepared by:
Heather Klein, Planner IV
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- C. *Letter from ACHP, dated December 1, 2017*
- D. *Draft Programmatic Agreement*

Klein, Heather

From: ccrake@aemconsulting.net
Sent: Wednesday, November 01, 2017 11:04 AM
To: Klein, Heather
Subject: FW: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Heather,

Below is the email chain with Shannon. On August 30, 4:36 PM, Shannon clearly explains that Tax Credit projects require a PA. Let me know if this works. Thanks -

Regards,

Cinnamon Crake
Associate
AEM Consulting
55 St. James Drive
Santa Rosa, CA 95403
(707) 523-3710
www.aemconsulting.net

From: Lauchner, Shannon@Parks [mailto:Shannon.Lauchner@parks.ca.gov]
Sent: Thursday, August 31, 2017 1:48 PM
To: Cinnamon Crake <ccrake@aemconsulting.net>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

I'm glad there isn't the same time crunch we had with Hotel Menlo! And we have a head start since the language will be nearly identical to the Hotel Menlo agreement!

Thanks, Cinnamon. I hope you enjoy the long holiday weekend as well. ☺

Best,
Shannon
Shannon Lauchner
Historian II
Local Government & Environmental Compliance Unit
California Office of Historic Preservation
(916)445-7013
shannon.lauchner@parks.ca.gov
www.ohp.parks.ca.gov

From: Cinnamon Crake [mailto:ccrake@aemconsulting.net]
Sent: Thursday, August 31, 2017 1:30 PM
To: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Thank you so much, Shannon! Oakland has changed their process to require the City Council to authorize the NEPA Certifying Officer to enter into the agreement. I've checked with the developer and there is time to get this completed – so no worries! Enjoy the holiday weekend coming up.

Regards,

Cinnamon Crake
Associate
AEM Consulting
310 Pacific Heights Drive
Santa Rosa, CA 95403
(707) 523-3710 phone
(707) 595-5098 FAX
www.aemconsulting.net web

From: Lauchner, Shannon@Parks [<mailto:Shannon.Lauchner@parks.ca.gov>]
Sent: Thursday, August 31, 2017 1:37 PM
To: Cinnamon Crake <ccrake@aemconsulting.net>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Thanks Cinnamon!

Gosh, I hope it doesn't require the Oakland City Council getting involved to get a PA through. Staff (so likely Betty) should be able to initiate the process. However, some local governments do require those actions to go up through decision makers. Let me know if anyone has questions about the process. I will be happy to work with all of you every step of the way.

Best,
Shannon
Shannon Lauchner
Historian II
Local Government & Environmental Compliance Unit
California Office of Historic Preservation
(916)445-7013
shannon.lauchner@parks.ca.gov
www.ohp.parks.ca.gov

From: Cinnamon Crake [<mailto:ccrake@aemconsulting.net>]
Sent: Thursday, August 31, 2017 11:16 AM
To: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

I appreciate your help – we will proceed with City Council with Oakland to get a PA going... the architectural historian will give you an update on the Tax Credit Application. Thanks and now I know that if they are thinking of Tax Credits, a PA is appropriate.

Regards,

Cinnamon Crake
Associate

AEM Consulting
310 Pacific Heights Drive
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From: Lauchner, Shannon@Parks [<mailto:Shannon.Lauchner@parks.ca.gov>]
Sent: Wednesday, August 30, 2017 5:00 PM
To: Cinnamon Crake <ccrake@aemconsulting.net>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Thanks, Cinnamon! I always appreciate your help. I'm sorry that this consultation has taken an unexpected turn that will, inevitably, cause delay. I'm happy to do what I can to help resolve things as quickly as we can though.

Have a great evening. I will chat with you soon.

Best,
Shannon
Shannon Lauchner
Historian II
Local Government & Environmental Compliance Unit
California Office of Historic Preservation
(916)445-7013
shannon.lauchner@parks.ca.gov
www.ohp.parks.ca.gov

From: Cinnamon Crake [<mailto:ccrake@aemconsulting.net>]
Sent: Wednesday, August 30, 2017 4:38 PM
To: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Cc: Stacey De Shazo <stacey@evans-deshazo.com>; jsheldon@rcdhousing.org; Zohreh Khodabandelu <ZKhodabandelu@rcdhousing.org>; 'Vern Miller' <vern@aemconsulting.net>; mball@aemconsulting.net
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Shannon,

I understand what you're conveying about the Tax Credits. I'm going to need to contact the architectural historian regarding the status of the project in the process. I will get back to you. Thank you -

Regards,

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Sent: Wednesday, August 30, 2017 4:36 PM
To: Cinnamon Crake <ccrake@aemconsulting.net>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Hi again Cinnamon,

Eeeekkkk!!! Historic Preservation Tax Credits were not mentioned before this!!! We should have entered into a programmatic agreement that bundles the Section 106 review with the Tax review! Is the Tax Credit project already in our office? We really need to draft a PA that defers all comments to the Tax Credit Review because sometimes they are stricter in Washington D.C. than staff reviewers at OHP and we absolutely want to avoid having conflicting comments. We had another project in the City of Oakland that does have a PA bundling the review and it involves the same developer, so I am a little surprised no one thought to mention this earlier in the Section 106 consultation. I hate to say it, but unless the Tax Credit project has already been submitted and is on its way to approval (or approval with conditions) this totally shifts the direction of this consultation.

Any additional information you can send me about the status of the Tax Credit project will be helpful. If it is not already underway, the City is going to need to notify the ACHP of the development of a PA.

I've attached the Hotel Menlo PA here. This is the PA model we will, most likely, need to follow for this consultation.

Keep me posted!

Thanks,
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From: Cinnamon Crake [<mailto:ccrake@aemconsulting.net>]
Sent: Wednesday, August 30, 2017 4:09 PM
To: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Cc: jsheldon@rcdhousing.org; Zohreh Khodabandelu <ZKhodabandelu@rcdhousing.org>; 'Vern Miller' <vern@aemconsulting.net>; mball@aemconsulting.net
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Shannon,

On the initial submittal, plans showed steel bracing up to the 7th floor. Now, as plans have evolved, only bracing to the 3rd floor is needed - just replacing in kind the bracing that's already there. The attached plans show that. On floors 4 - 7, bracing material will be fiber reinforced plastic (FRP) behind the drywall for structural strengthening. It won't be visible from the exterior or interior at all.

This project is seeking Historic Preservation Tax Credits, so all work will comply with the Secretary's Standards for Rehabilitation. Please advise if this further clarification answers your questions. Thank you so much -

Regards,

Cinnamon Crake
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From: Lauchner, Shannon@Parks [<mailto:Shannon.Lauchner@parks.ca.gov>]
Sent: Wednesday, August 30, 2017 1:26 PM
To: Cinnamon Crake <ccrake@aemconsulting.net>
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

Hi again Cinnamon,

I'm sorry if that message was unclear. I put my thoughts down quickly and hit send without rereading things. I do see that Betty's letter says that the scope of work "remains the same." However, in the same paragraph she says the, "revised scope of work calls for seismic bracing and reinforcement on the first through seventh floors..." What is unclear to me is if this bracing is the same as what was analyzed earlier, or if the type of bracing has changed in an effort to avoid excavation and a timely MOA. I know that some methods of bracing have been determined to not meet the Standards, so a bit more information is needed before we can say that the project, as now proposed, meets the Standards.

I hope that helps clarify things a bit.

Best,
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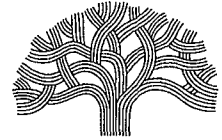
Hi Shannon!

I'm checking with you about the above project. It's been about 30 days since we submitted additional information to your office. Has a letter been issued? Please advise. Thanks !

Regards,

Cinnamon Crake
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Santa Rosa, CA 95403
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CITY OF OAKLAND



DALZIEL BUILDING • 250 FRANK H. OGAWA PLAZA, SUITE 2114 • OAKLAND, CALIFORNIA 94612-2032

Department of Planning and Building
Zoning Division

(510) 238-3911
FAX (510) 238-4730
TDD (510) 238-3254

Refer to: HUD_2017_0616_002

November 14, 2017

John M. Fowler, Executive Director
Advisory Council on Historic Preservation
401 F Street NW, Suite 308
Washington, DC, 20001-2637

Notice of Intent to Enter into a Programmatic Agreement for Section 106 Review:
Harrison Hotel, 1415 Harrison Street, Oakland California

Resources for Community Development proposes to use funding from the U.S. Department of Housing and Urban Development (HUD), as administered by the City of Oakland, to rehabilitate an existing building for the purpose of providing affordable housing. HUD requires the City to satisfy federal environmental review under the National Environmental Policy Act (NEPA) and the National Historic Preservation Act (NHPA), all related Federal statutes and 24 CFR Part 58, HUD's Environmental Review Regulations, prior to use of its program funds.

The subject property, Harrison Hotel, is an historic resource. The building is a contributor to the Coit Building Group, an Historic District listed on the Nation Register of Historic Places. All work is proposed to be undertaken in accordance with the Secretary of the Interior's Standards for the Treatment of Historic Properties, in consultation with the Office of Historic Preservation (OHP), as consultation for Historic Preservation Tax Credits is underway.

As Deputy Director of the Bureau of Planning, I serve as the Agency Official for Section 106 and as the City's Certifying Officer to HUD for NEPA Review of projects within Oakland that qualify for HUD funding. As Agency Official, I recently entered into consultation with the California State Historic Preservation Officer (SHPO) on the effects this undertaking could have upon historic properties. A copy of efforts to contact Native American tribes and all correspondence with OHP is attached for your reference, including public outreach and comments.

Attachment B

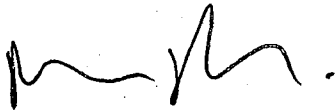
The project developer, Resources for Community Development (RCD), has been awarded \$5,000,000 in Moving To Work (MTW) from the Department of Housing and Urban Development, as administered by the Oakland Housing Authority. We have been advised by Shannon Lauchner of the Office of Historic Preservation that as a Historic Preservation Tax Credit project, a Programmatic Agreement is appropriate.

I am enclosing Summary Documentation required under §800.11(e) for your information. These are all the materials I or Betty Marvin from the City's Oakland Cultural Heritage Survey (OCHS) previously sent for Section 106 Review consultation with Julianne Polanco at SHPO.

Please note, I am not requesting the Council's participation at this time. Pursuant to §800.6(a) (1) (iii), however, please indicate whether you wish the Advisory Council to participate in the preparation of the Programmatic Agreement for this project within 15 days of receipt of this letter. If I have not received a communication from you within that period, I will assume that the Council does not wish to participate in the Memorandum of Agreement.

If you wish to respond, please forward all written communication to me at the above address or contact Heather Klein, Planner IV, Bureau of Planning, (510) 238-3659 hklein@oaklandnet.com.

Yours very truly,



Darin Ranelletti, Deputy Director
Bureau of Planning
250 Frank H. Ogawa Plaza, Suite 3315
Oakland, CA 94612

enclosures

cc: Julianne Polanco, State Historic Preservation Officer c/o Shannon Lauchner
Heather Klein, Planner IV, City of Oakland, Bureau of Planning and OCHS
Betty Marvin, Planner III, City of Oakland
Jessica Sheldon, RCD, Associate Director of Housing Development
Vern Miller, AEM Consulting

Harrison Hotel – Attachment A

- All correspondence to date with the State Historic Preservation Officer under Section 106
- Consultation with Native American Tribes and the Native American Heritage Commission
- CHRIS Records search results and archaeological information

ccrake@aemconsulting.net

From: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Sent: Wednesday, August 30, 2017 4:36 PM
To: Cinnamon Crake
Subject: RE: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002
Attachments: OaklandHotelMenlo340-34413thSt12-7-17.pdf

Hi again Cinnamon,

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From: Cinnamon Crake [<mailto:ccrake@aemconsulting.net>]
Sent: Wednesday, August 30, 2017 1:03 PM
To: Lauchner, Shannon@Parks <Shannon.Lauchner@parks.ca.gov>
Cc: jsheldon@rcdhousing.org; 'Vern Miller' <vern@aemconsulting.net>
Subject: Harrison Hotel, 1415 Harrison Street, Oakland, CA Refer to: HUD_2017_0616-002

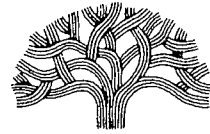
Hi Shannon!

I'm checking with you about the above project. It's been about 30 days since we submitted additional information to your office. Has a letter been issued? Please advise. Thanks !

Regards,

Cinnamon Crake
Associate
AEM Consulting
310 Pacific Heights Drive
Santa Rosa, CA 95403
(707) 523-3710 phone
(707) 595-5098 FAX
www.aemconsulting.net web

CITY OF OAKLAND



250 FRANK H. OGAWA PLAZA, SUITE 3315 • OAKLAND, CALIFORNIA 94612-2032

Department of Planning and Building
Bureau of Planning, Historic Preservation Division

(510) 238-3941
FAX (510) 238-6538
TDD (510) 839-6451

July 28, 2017

Julianne Polanco
Office of Historic Preservation
Department of Parks & Recreation
1725 23rd Street, Suite 100
Sacramento, CA 95816

Refer to: HUD_2017-0616-002

Subject: HUD-funded project Harrison Hotel Rehabilitation, 1415 Harrison Street, Oakland CA

Dear Ms. Polanco:

Thank you for your letter dated July 13, 2017 regarding the Harrison Hotel rehabilitation project, concurring with Evans & De Shazo LLC archaeological report in suggesting that an MOA is appropriate due to the high sensitivity of the APE. That report was based on the project description available at the time.

The scope of work for rehabilitation of the building itself remains the same: seismic upgrades and bracing work for the safety of residents and the preservation of the building. At the time of submittal of Section 106 consultation request to your office the most extreme method under consideration was the installation of 'mini-piles' in the basement area. A records search and archaeological report was prepared in the event that excavation and/or mini-pile driving was needed. In consultation with building and structural engineers, the project sponsor, Resources for Community Development, evaluated various methods and costs and determined that the structural stability can be achieved without excavation. The revised scope of work calls for seismic bracing and reinforcement on the first through seventh floors only, with no work required below the basement. An addendum to the archaeological report has been prepared based on the updated project description (attached).

As the project will not excavate or disturb soil in the basement area, there is no longer any potential to affect archaeological resources. As you have agreed in your previous letter of July 13, 2017, that the rehabilitation of the building otherwise conforms to the Secretary of the Interior's *Standards for Rehabilitation*, we now request your concurrence with our determination of no historic properties adversely affect by the undertaking. If you require further information, please contact me at (510) 238-6879 or bmarvin@oaklandnet.com.

Thank you.

A handwritten signature in black ink that reads "Betty Marvin". The signature is written in a cursive, flowing style.

Betty Marvin
Historic Preservation Planner
for
Darin Ranelletti, Agency Official

enclosures



July 26, 2017

Cinnamon Crake
AEM Consulting
310 Pacific Heights Drive
Santa Rosa, CA 95403

RE: Addendum to Letter Report "Archaeological Record Search and Sensitivity Analysis for the Hotel Harrison Rehabilitation Project, 1415 Harrison Street, Oakland, Alameda County, California, 94612 (APN 008-0625-045)".

Dear Ms. Crake,

Evans & De Shazo (EDS) Principal Archaeologist, Sally Evans, M.A., RPA prepared a letter report, dated April 25, 2017, that presented the results of the record search and review, and archaeological sensitivity analysis for the proposed seven-story Hotel Harrison rehabilitation project (Project), located at 1415 Harrison Street in Oakland, Alameda County, California. Initially, the Project included seismic upgrades to floors four through seven that included mini-piles to be installed in the basement with a depth of up to a depth of 35 feet. The purpose of the record search and review, and archaeological sensitivity analysis was to determine if the proposed Project has the potential to affect significant archaeological resources and to provide recommendations pursuant to Section 106 of the National Historic Preservation Act (NHPA) of 1966 and its implementing regulations 36 CFR Part 800, and the City of Oakland historic preservation ordinances. Based on the results of the record search and review, and the archaeological sensitivity analysis, it was determined that the archaeological sensitivity of the Area of Potential Effect (APE) is high, and that excavation for installation of the mini-piles has the potential to adversely affect previously unidentified archaeological resources. Pursuant to Section 106 of the NHPA (36 CFR 800.4), it was recommended that a Treatment Plan be developed and supported Memorandum of Agreement (MOA) that included pre-construction subsurface exploratory borings under the building in the location of the proposed mini-piles to identify potential subsurface historic properties. However, the current proposed Project, based on updated plans by Gelfand Partners Architects dated May 18, 2017 submitted to the City of Oakland, no longer consists of the installation of the mini-piles, and therefore there will be no ground-disturbance in the basement or any other ground disturbance work proposed for the Project. Therefore, the proposed Project no longer has the potential to affect previously unidentified archaeological resources. In addition, the current Project, which no longer includes ground-disturbance, will not require the development of a Treatment Plan supported by an MOA, as the Project no longer has the potential to affect potentially significant archaeological resources.

Sincerely,

Sally Evans, M.A., RPA
Principal Archaeologist
sally@evans-deshazo.com

**OFFICE OF HISTORIC PRESERVATION
DEPARTMENT OF PARKS AND RECREATION**

1725 23rd Street, Suite 100
SACRAMENTO, CA 95816-7100
(916) 445-7000 Fax: (916) 445-7053
calshpo@parks.ca.gov
www.ohp.parks.ca.gov



July 13, 2017

Refer to HUD_2017_0616_002

Betty Marvin
Historic Preservation Planner
Department of Planning & Building
Bureau of Planning, Historic Preservation Division
City of Oakland
250 Frank H. Ogawa Plaza, Suite 3315
Oakland, CA 94612-2032

Re: Harrison Hotel Rehabilitation Project Located at 1415 Harrison Street, Oakland, CA

Dear Ms. Marvin:

Thank you for forwarding the above referenced undertaking to our office for review and comment pursuant to Section 106 of the National Historic Preservation Act and its implementing regulations found at 36 CFR Part 800. The regulations and advisory materials are located at www.achp.gov.

Undertaking

You have informed us that the City of Oakland intends to provide Resources for Community Development with funding from the U.S. Department of Housing and Urban Development (HUD) for the rehabilitation of the Harrison Hotel located at 1415 Harrison Street in Oakland for continued use as affordable housing. The undertaking includes, but is not limited to, seismic upgrades, exterior rehabilitation work, remodeling of the lobby, installation or replacement of residential kitchenettes, and other minor rehabilitation activities within the residential units.

Area of Potential Effects (APE)

The City has defined the APE as the Harrison and 15th Street Historic District, to which the subject property is a contributor. We believe this is an appropriate APE for this undertaking.

Identification of Historic Properties

The Harrison and 15th Street Historic District was listed in the National Register of Historic Places on October 7, 1996 and the subject property, the Harrison Hotel at 1415 Harrison Street, is the first named contributor to the historic district. Both the City and our office acknowledge that the Harrison Hotel is, therefore, a historic property for the purposes of this Section 106 consultation.

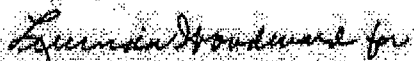
City consultants, Evans & DeShavo Archeology and Historic Preservation (EDS), conducted a records search for the undertaking at the Northwest Information Center (NWIC) of the California Historical Resource Information System (CHRIS) and an archeological field survey of the APE. Based on information obtained during efforts to identify potential subsurface historic properties, it was determined that the archeological sensitivity of the APE is high. The development of a memorandum of agreement (MOA) supported by a treatment plan that includes pre-construction subsurface exploratory boring and other excavation efforts to identify potential subsurface historic properties is recommended.

Assessment of Effects

Consultants EDS also prepared a Secretary of the Interior's Standards for Rehabilitation (Standards) review for the proposed project. Based on the analysis prepared by EDS, the City finds that the proposed undertaking will not have an adverse effect on the historic property, the Harrison Hotel. While we do not object to the application of the Standards, we cannot agree with the City's finding of no adverse effects at this time. The MOA recommended above will address affects to the Harrison Hotel and any potential subsurface historic properties present in the APE. We look forward to continuing consultation with the City to develop the MOA.

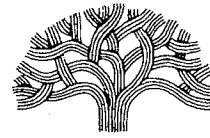
Please be advised that the City of Oakland's Section 106 consultation obligations are not complete at this time. If you have any questions or concerns, please do not hesitate to contact Shannon Lauchner, State Historian II, with the Local Government & Environmental Compliance Unit at (916)445-7013 or by email at shannon.lauchner@parks.ca.gov.

Sincerely,



Julianne Polanco
State Historic Preservation Officer

CITY OF OAKLAND



250 FRANK H. OGAWA PLAZA, SUITE 3315 • OAKLAND, CALIFORNIA 94612-2032

Department of Planning and Building
Bureau of Planning, Historic Preservation Division

(510) 238-3941
FAX 510) 238-6538
TDD (510) 839-6451

June 14, 2017

Julianne Polanco
Office of Historic Preservation
Department of Parks & Recreation
1725 23rd Street, Suite 100
Sacramento, CA 95816

Subject: Request For Section 106 Review: Harrison Hotel Rehabilitation, 1415 Harrison Street, Oakland CA 94612
US HUD Moving to Work Funds – Oakland Housing Authority

Dear Ms. Polanco:

Resources for Community Development proposes to use funding from the U.S. Department of Housing and Urban Development (HUD) as administered by the City of Oakland to rehabilitate an existing building for the purpose of providing affordable housing. HUD requires the City to satisfy federal environmental review under the National Environmental Policy Act (NEPA) and the National Historic Preservation Act (NHPA), all related Federal statutes and 24 CFR Part 58, HUD's Environmental Review Regulations, prior to use of its program funds.

Enclosed are materials to identify and evaluate historic properties within the Area of Potential Effects of this undertaking under Section 106 of the Historic Preservation Act and its implementing regulations at 36 CFR Part 800. On behalf of Darin Ranelletti, Agency Official for this project, I request your views regarding the effect of the project upon historic properties.

AEM Consulting has been engaged to prepare the federal environmental review under NEPA and 24 CFR Part 58, HUD Environmental Review Regulations, prior to use of federal funds. AEM will be pursuing other related federal consultations necessary for the project on behalf the City of Oakland.

Upon reviewing the attached Historic and Cultural Resources Evaluation, I concur with the description of the undertaking and the Area of Potential Effects. I also concur with the determination recommended, which is no adverse effects to historic properties. Please contact me if you have any questions or need additional information. I can be reached at (510) 238-6879 or bmarvin@oaklandnet.com.

Thank you.

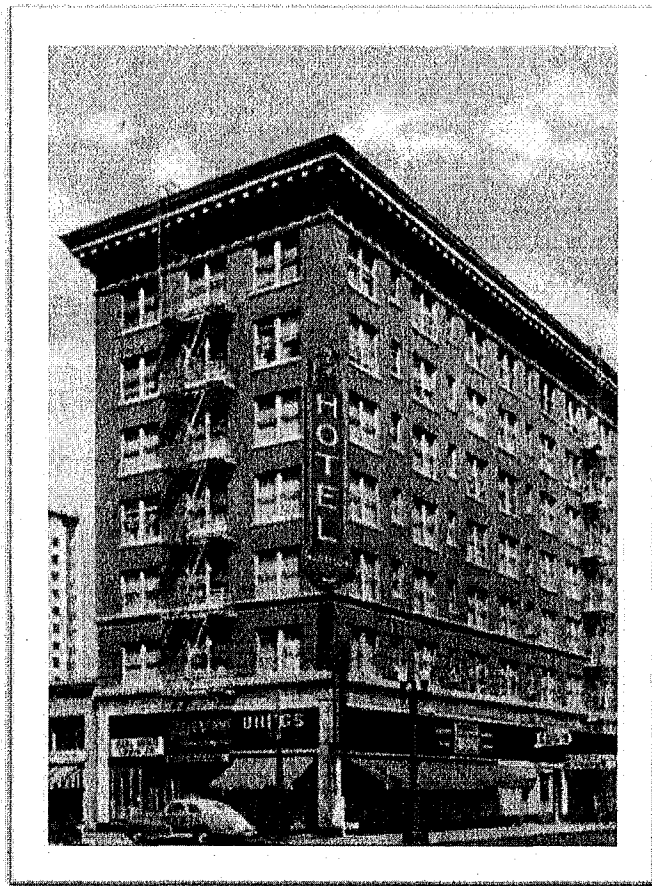
Betty Marvin
Historic Preservation Planner
for
Darin Ranelletti, Agency Official
Enclosure: Historic and Cultural Resources Evaluation, Harrison Hotel

Historic and Cultural Resources Evaluation for Section 106 Review

Harrison Hotel

1415 Harrison Street, Oakland, CA 94612

Prepared for the City of Oakland and Resources for Community Development



June 2017

AEM Consulting

310 Pacific Heights Drive
Santa Rosa, California, CA 95403
(707) 523-3710

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Background

Resources for Community Development proposes to use funding from the U.S. Department of Housing and Urban Development (HUD) as administered by the City of Oakland to rehabilitate an existing building to provide affordable housing. To secure the release of HUD funds for the project, the City of Oakland must provide a suitable federal Environmental Review Record to HUD prepared according to the requirements of the National Environmental Policy Act (NEPA) and HUD's own Environmental Regulations found in 24 CFR Part 58. The appropriate level of federal environmental review in this case is an Environmental Assessment likely leading to a Finding of No Significant Impact (FONSI). Both the Environmental Assessment and subsequent FONSI must be prepared for signature by the Certifying Officer for the City of Oakland.

To achieve a FONSI, HUD requires that the Environmental Assessment demonstrate that the project complies with all applicable federal laws and regulations, including Section 106 of the National Historic Preservation Act. Regulations pertaining to Section 106 Review are found in 36 CFR Part 800.

Regulatory Context for Evaluation of Historical and Architectural Significance

Section 106 of the National Historic Preservation Act (NHPA) requires federal agencies to take into account the effects of their undertakings on historic properties. The Section 106 process seeks to accommodate historic preservation concerns with the needs of federal undertakings through consultation among the agency official and other interested parties, beginning at the early stages of project planning. The goal of consultation is to identify historic properties potentially affected by the undertaking, assess the effects of the undertaking and seek ways to avoid, minimize or mitigate any adverse effects on historic properties. To evaluate the significance of an historical resource, its integrity, and the ability of a property to convey that significance, a building is evaluated according to the National Register criteria.

Criteria for Evaluation

According to the guidelines of the National Register Criteria for Evaluation, the quality of significance in American history, architecture, archeology, engineering, and culture is present in districts, sites, buildings, structures, and objects:

That possess integrity of location, design, setting, materials, workmanship, feeling, and association, and:

- A. That are associated with events that have made a significant contribution to the broad patterns of our history; or
- B. That are associated with the lives of persons significant in our past; or
- C. That embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. That have yielded, or may be likely to yield, information important in prehistory or history.

Harrison Hotel

Section 106 compliance requires the City of Oakland to obtain the views of the State Historic Preservation Officer (SHPO) as to whether any of the project activities could have an “adverse effect” on the setting or character-defining features of any historically significant property in the Area of Potential Effects (APE). A historically significant property is one that would be eligible for listing on the National Register of Historic Places, whether it is currently listed or not.

Undertaking/Project Description

Resources for Community Development (RCD) proposes to rehabilitate the Harrison Hotel located at 1415 Harrison Street, Oakland, Alameda County, California 94612 (APN 008-325-045). The Harrison Hotel is seven stories high, with two ground floor commercial spaces and 81 Single Room Occupancy (SRO) residential units on the upper six floors on a 0.10-acre lot.

The proposed scope of work consists of seismic upgrades that includes steel brace frames, the addition of a new door to allow access to the basement in a previously modified storefront, new storefront windows to match existing, and exterior lighting. Exterior restoration includes cleaning and repair work including restoration of the “Hotel Harrison” blade sign.

Proposed interior scope of work consists of rehabilitation of the lobby of the hotel and relocation of the property manager’s office. The interiors of the 81-units will be rehabilitated, including removal and replacement of kitchenettes and addition of new kitchenettes to units that currently do not have them. Additional interior work includes electrical, plumbing, flooring, lighting, and painting work as needed to support the unit rehabilitation work.

Source: (1)

Scope of work includes the items listed below.

Exterior

- Addition of new storefront windows to match the existing storefronts;
- Restoration of a section of clerestory along the primary façade;
- Updated exterior lighting as needed;
- Basement egress to exterior along east elevation;
- Cleaning, maintenance, and repair work as needed; and
- Restoration of the “Hotel Harrison” blade sign.

Structural

- Structural reinforcement in the basement area (may require 8” min-piles, if unavoidable);
- Reinforcement of existing steel bracing on floors one through three; and
- Install seismic bracing and/or concrete reinforcement on upper floors.

Electrical

- Install Lobby and common area T-12 light fixtures: Replace with LED or T-8 lights and occupancy controls;
- Install smoke detectors;
- Install security camera system throughout; and
- Install Carbon Monoxide detectors.

Harrison Hotel

Interior

- Replace apartment kitchenettes;
- Provide kitchenettes at apartments that do not have them;
- Replace other cabinetry in apartments;
- Replace flooring at apartments (existing = vinyl sheet, some carpet and original penny tile within the bathrooms);
- Replace flooring at common areas;
- Provide elevator upgrades;
- Replace ram, pump/piping, some cab equipment;
- Replace non-historic apartment window blinds;
- Provide minor accessibility upgrades to unit interiors;
- Paint Interior; and
- Provide trash chute in existing shaft, trash rooms at residential floors.

Mechanical Scope and Plumbing/Sprinkler

- Implement temperature and humidity monitoring;
- Install duct Bathroom exhaust fans to exterior west elevation, provide new shaft to roof, replace with Energy Star exhaust fans;
- Install energy-efficient cooking systems;
- Install energy-efficient ventilation for apartment bathrooms;
- Install new exhaust fan at roof for trash chute in shaft;
- Replace kitchenette sinks/faucets at replaced kitchenettes;
- Replace remaining clawfoot tubs with fiberglass surround and fixtures;
- Install energy efficient water heaters in the basement;
- Replace water boiler with hybrid heat pump model; and
- Relocate hydronic heating supply/return pipes.

Source: (2)

Harrison Hotel

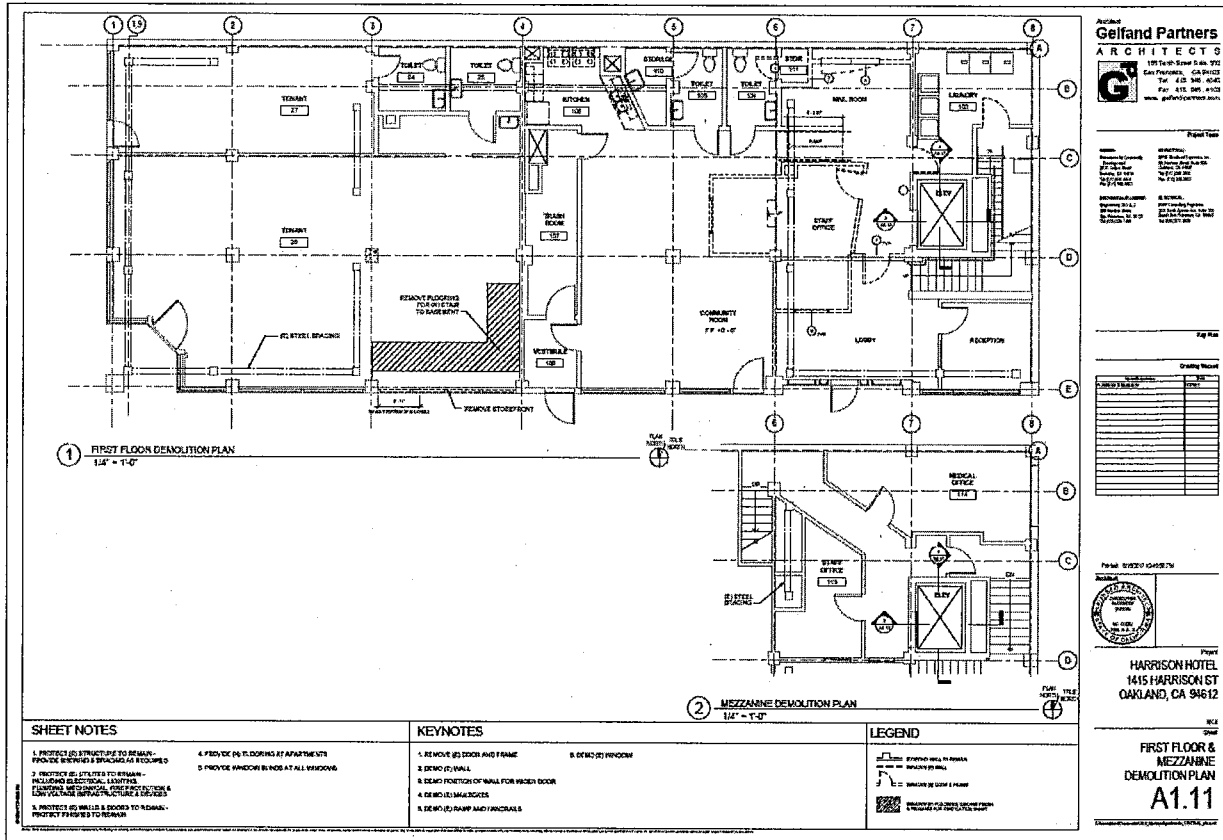


Figure 1 First Floor and Mezzanine Demolition Plan

Harrison Hotel

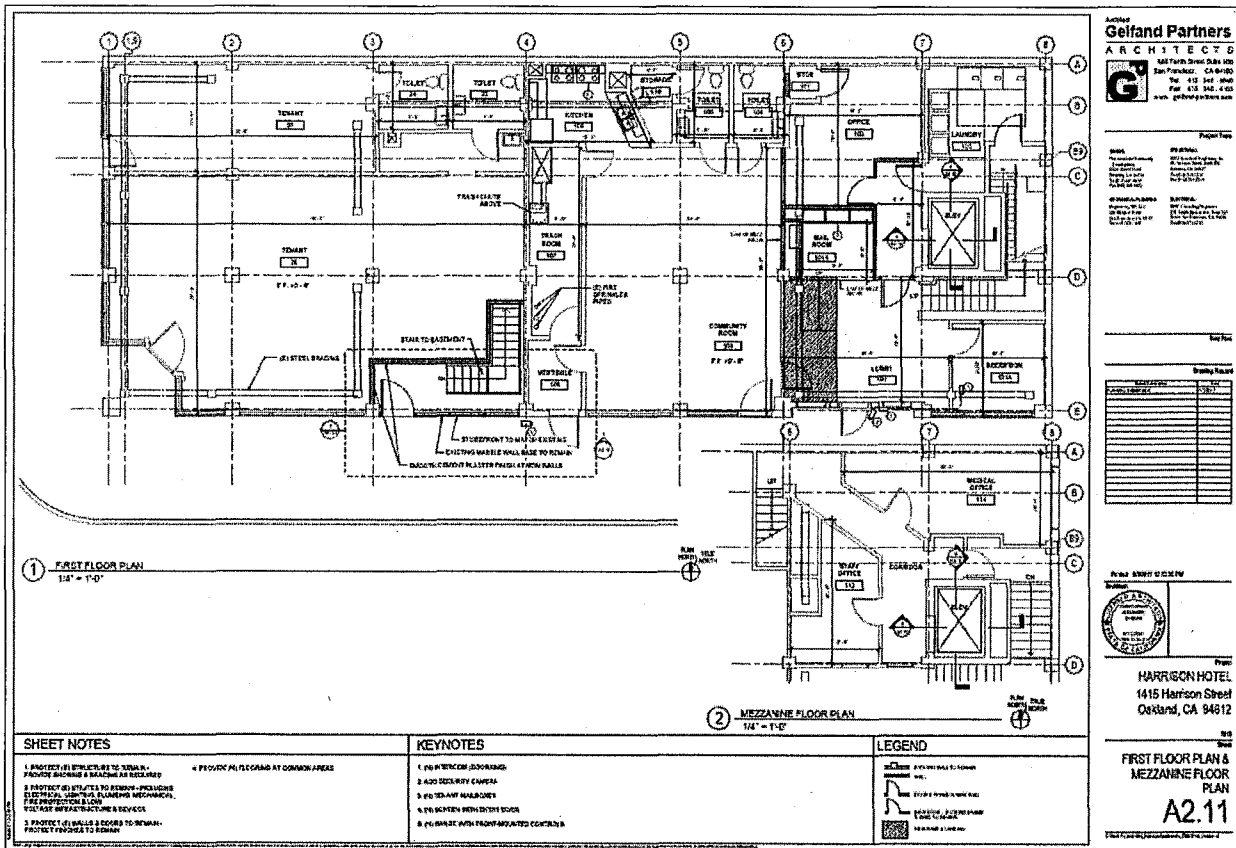


Figure 2 First Floor and Mezzanine Floor Plan

Harrison Hotel

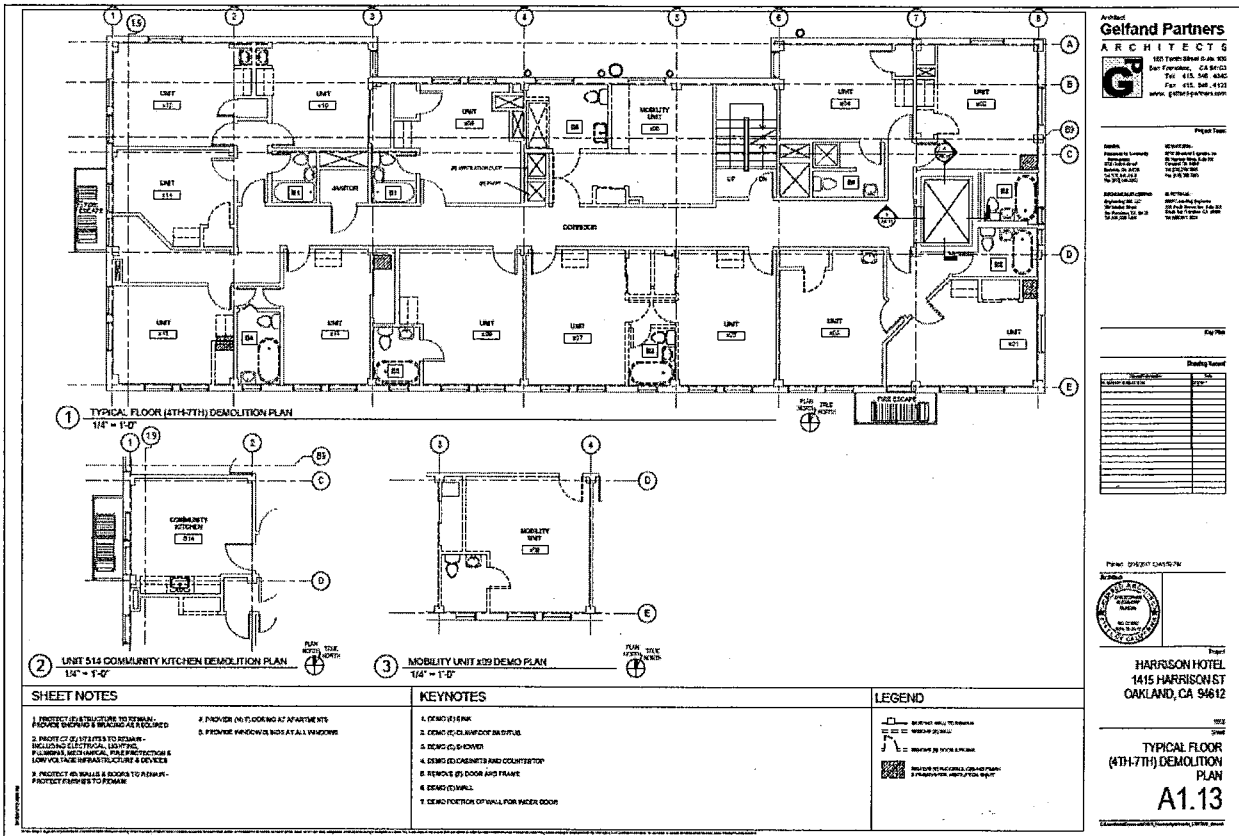


Figure 3 Typical (4th-7th) Demolition Plan

Harrison Hotel

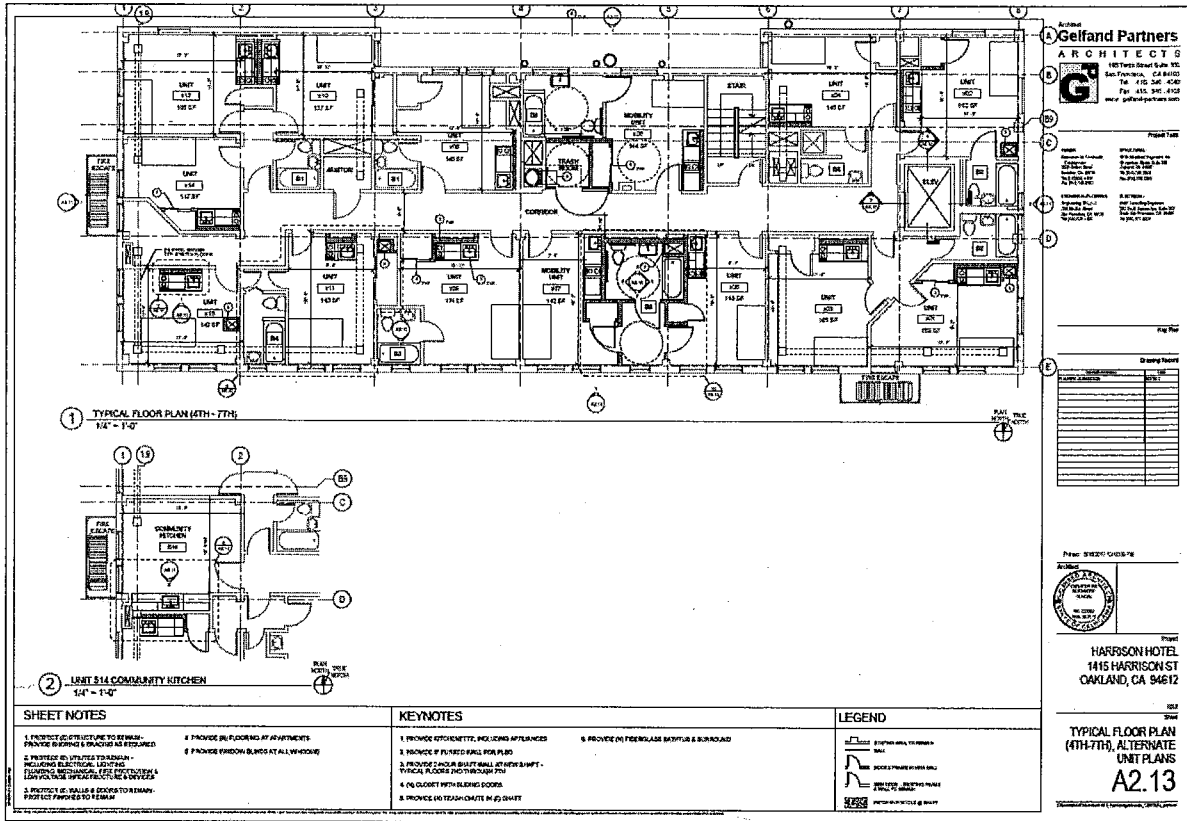


Figure 4 Typical (4th-7th) Unit Plan

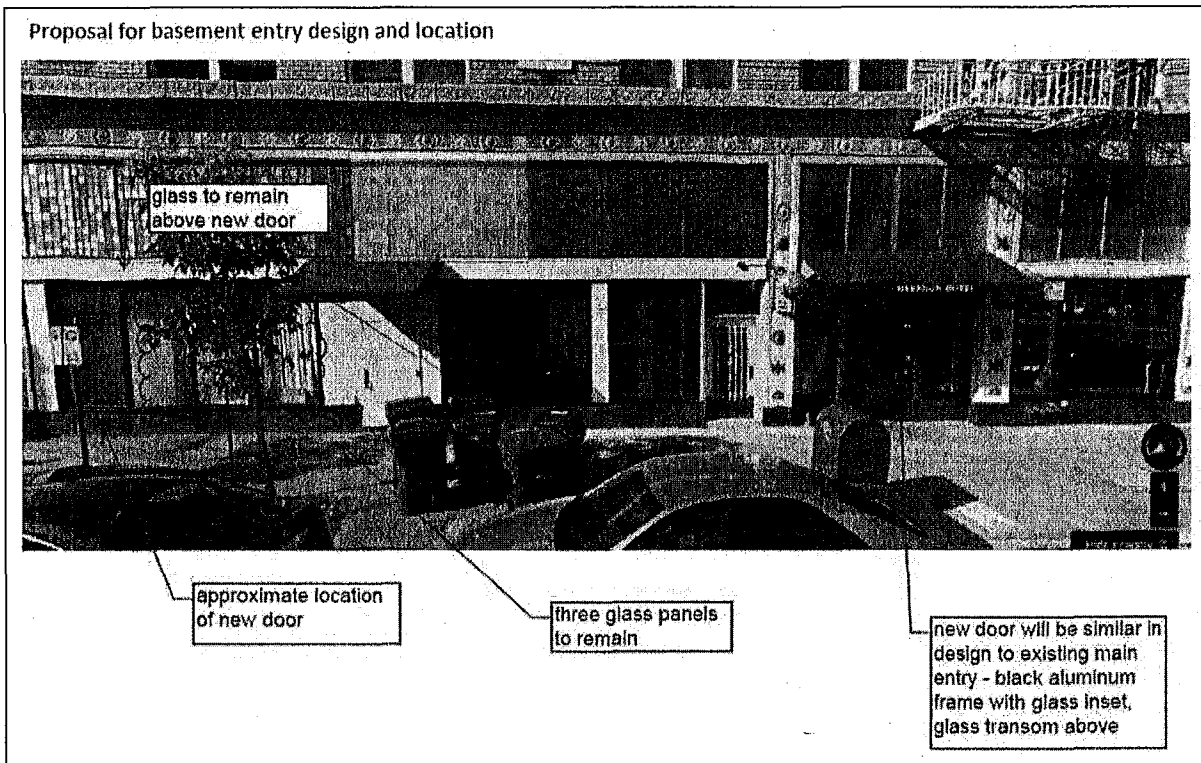


Figure 5 Details showing east elevation and the location of the new door

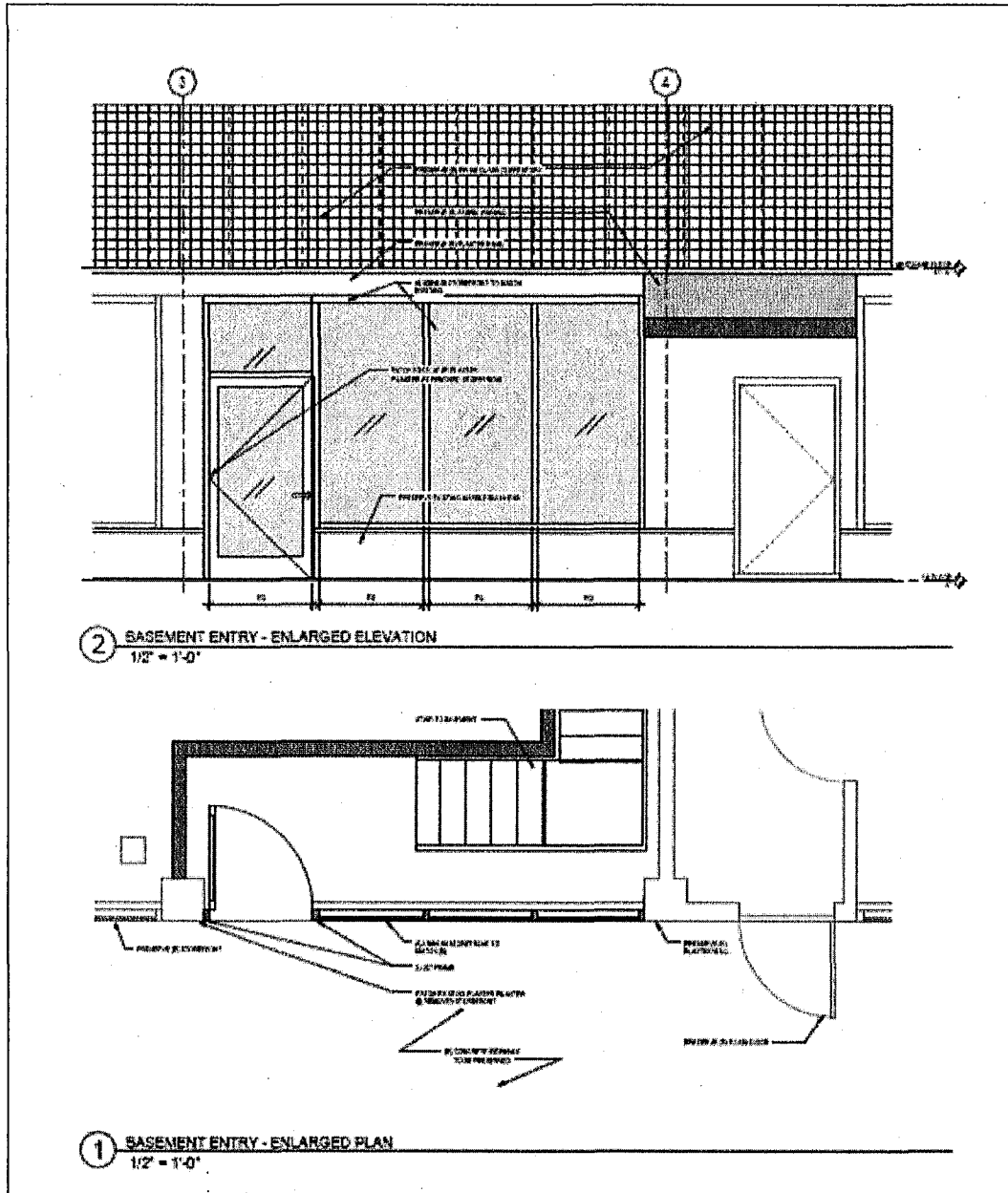


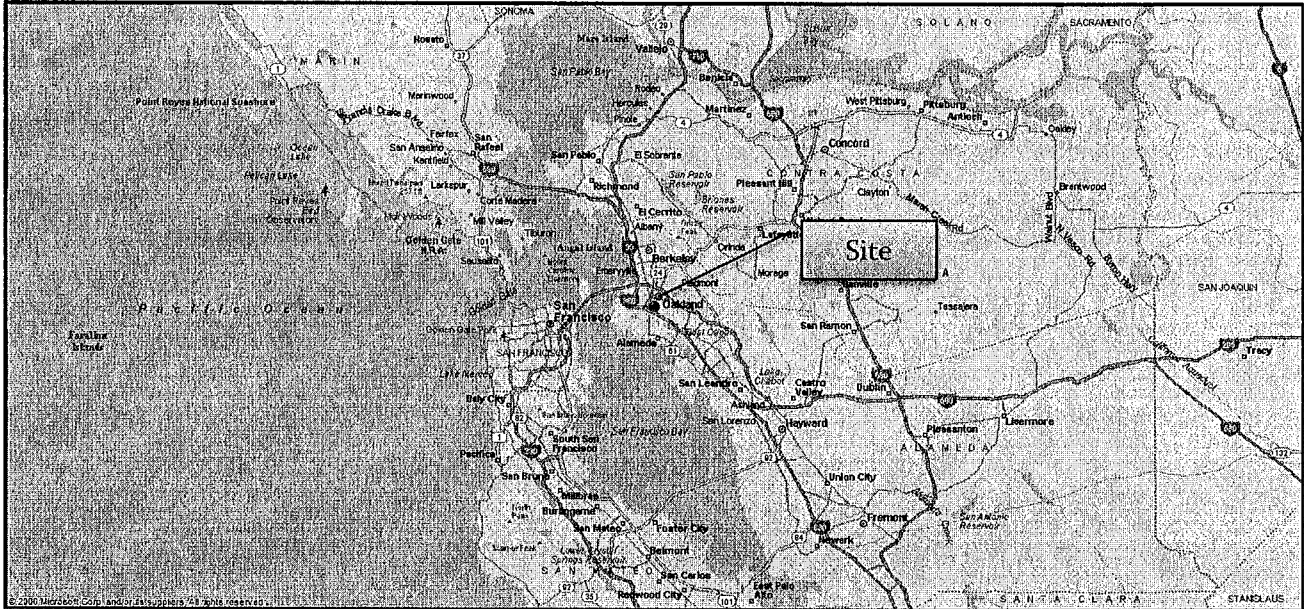
Figure 6 Basement Entry Enlarged Plan & Elevation

See full plan set (attached).

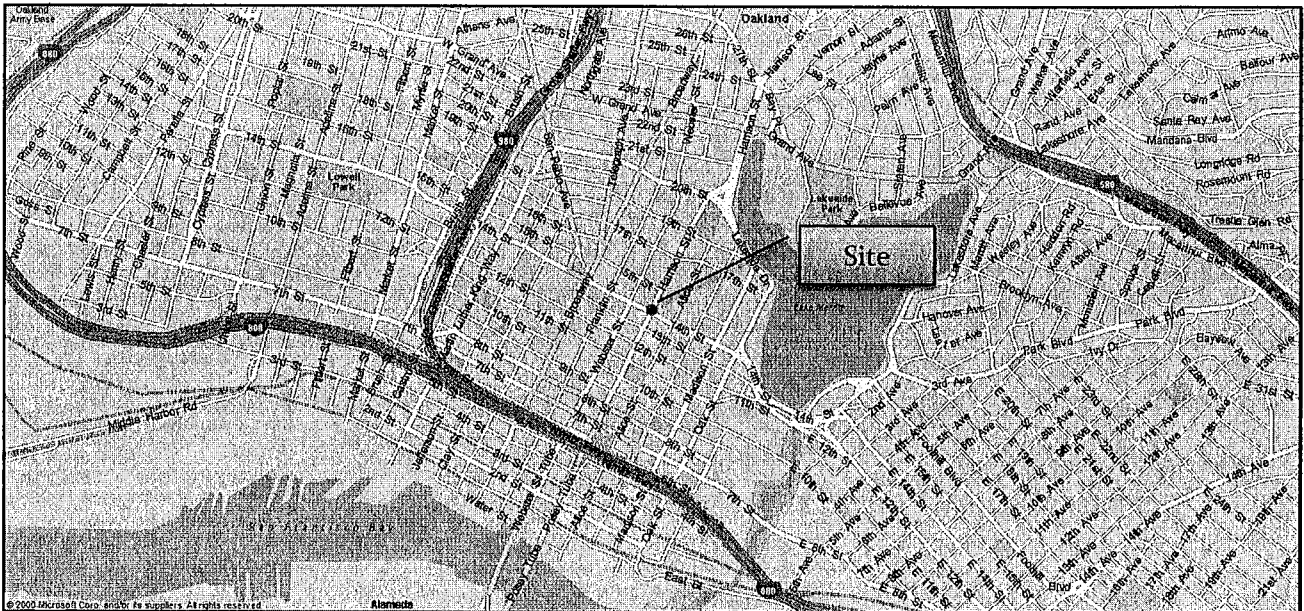
Source: (10)

Harrison Hotel

Project Location



Map 1 Region



Map 2 Detail Existing Conditions



Photo 1 View from 14th Street

Context

The 1914 Hotel Harrison is a seven-story building designed in the Commercial architectural style with elements of Renaissance Revival and Beaus Arts style details. The building is representative of Oakland's early twentieth century downtown business and commercial development. The Hotel Harrison was designed by architects John Watson Olver and Leonard H. D. Thomas, and built by F.A. Muller; the original owner and developer was Roger Coit. John and Leonard are known for their collaborative work on the Harrison Hotel and the Oakland Free Market (Swan) building.

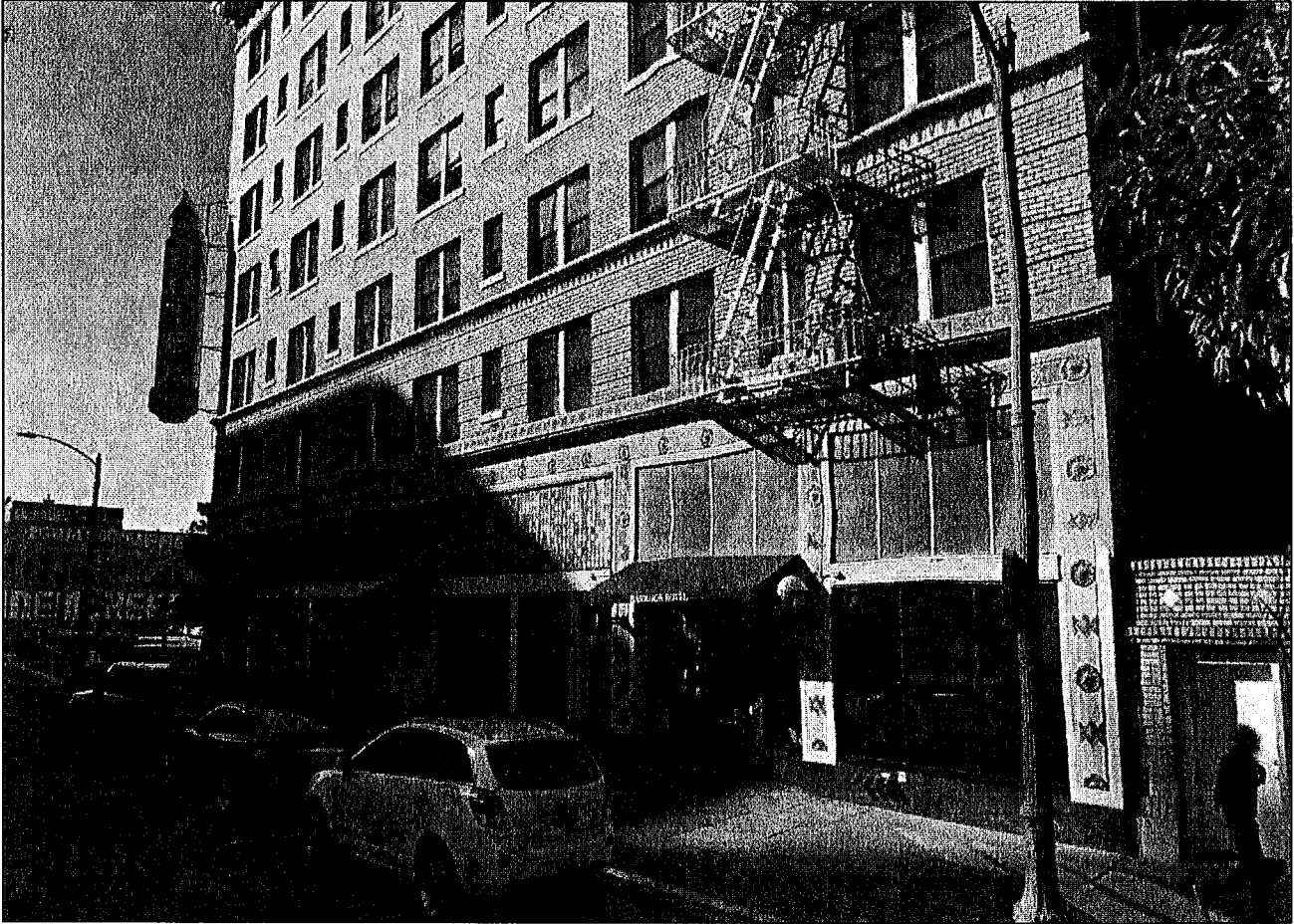


Photo 2 Street View from Harrison Street

During the time of construction, the Hotel Harrison was part of an early twentieth century commercial block development in downtown Oakland that included a group of small scale buildings, such as the adjacent the Harrison Apartments, the Hotel Coit, the Dille Building, the Coit Commercial Block, the Mrs. A.E. White Building, and the Thompson Building. According to an article in Oakland Tribune, dated November 22, 1914, the Hotel Harrison was a project that “Will Bring Tourists” to the City of Oakland. During the 1915 Panama-Pacific International Exposition, the Hotel Harrison was headquarters and host to the educators on National Education Day at the exposition from Florida, Kentucky, North Carolina, South Carolina, Tennessee, and West Virginia. During the 1940s and 1950s the Hotel Harrison and the surrounding commercial block changed very little; however, the Hotel Harrison was modified along the storefront to keep up with the modern times and a change in use from a hotel to an SRO.

Existing Conditions

The building is situated on a 150-foot by 40-foot parcel and currently consists two storefronts, one located on the corner of 14th and Harrison streets and the other along 14th Street near the southwest corner of the building. The main entrance to the former hotel is located along Harrison Street and a secondary entrance into the hotel that is not original. Changes to the interior lobby

Harrison Hotel

appear to have occurred in the 1980s, 1990s, and 2000s and included the removal of the original grand staircase, front desk, and interior mezzanine level. General changes to the interior have included the addition of gray marble wainscot, a half-flight of marble stairs, the relocation of the original elevator, and the addition of ornamental plaster. The interior of SRO units are located off narrow corridors with little to no ornamentation; however, some rooms still consist of original clawfoot bathtubs and bathroom tile.

Area of Potential Effects

As a rehabilitation project, the Area of Potential Effects (APE) includes the subject property and the district in which the subject property is a contributor.

The APE for archeology is the limit of the subject parcel.

Oakland Cultural Heritage Survey (OCHS)/Historical and Architectural Rating System

The Rating System, adopted in the Historic Preservation Element (HPE) of the Oakland General Plan, uses shorthand notes for the relative importance of properties. The system uses letters A to E to rate individual properties and numbers 1 to 3 for district status. Individual properties can have dual ("existing" and "contingency") ratings if they have been remodeled, and if they are in districts they can be contributors, non-contributors, or potential contributors. In general, A and B ratings indicate landmark-quality buildings. The rating system is summarized below.

A: Highest Importance: Outstanding architectural example or extreme historical importance (about 150 properties total).

B: Major Importance: Especially fine architectural example, major historical importance (about 600 total).

C: Secondary Importance: Superior or visually important example, or very early (pre-1906). Cs "warrant limited recognition (about 10,000 total).

D: Minor Importance: Representative example. About 10,000 Ds are PDHPS, either because they have a higher contingency rating ("Dc") or because they are in districts ("D2+").

E: Of no particular interest, * or F: Less than 45 years old or modernized. Some Es, Fs, and *s are also PDHPS because they have higher contingency ratings or are in districts.

Contingency Ratings (lower-case letter, as in "Dc" or "Fb"): potential rating under some condition, such as "if restored" or "when older" or "with more information."

District Status (numbers):

"1": In an Area of Primary Importance (API) or National Register quality district.

"2": In an Area of Secondary Importance (ASI) or district of local interest.

"3": Not in a historic district.

For properties in districts, + indicates contributors, - non-contributors, * potential contributors.

Source: (3)

Historic Districts

Areas of Primary Importance (APIs) are historically or visually cohesive areas or property groups which usually contain a high proportion of individual properties with ratings of "C" or higher and appear eligible for the National Register of Historic Places either as a district or as a historically-related complex. At least two-thirds of the properties in an API must be "contributors" to the API, i.e. they reflect the API's principal historical or architectural themes and have not had their character changed by major alterations. Properties which do not contribute to an API because of alterations, but which could contribute if the alterations are not least partly reversed, are "potential contributors" to the API. Properties which do not reflect the API themes are "noncontributors."

Areas of Secondary Importance (ASIs) are similar to APIs, except: (1) potential contributors to the ASI are counted for purposes of the two-thirds threshold as well as contributors; and (2) ASIs do not appear eligible for the National Register.

The Harrison Hotel is a contributor to the Coit Building Group, an Area of Primary Importance (API). Therefore the project has the potential to affect an historic resource (District) listed on the National Register.



Figure 7 Subject Property in relation to Historic District

Evaluation of the Subject Property

The 1914 Harrison Hotel building, recorded as P-01-003837, is listed in the National Register of Historic Places (NRHP) as a contributor to the Harrison and 15th Street Historic District (P-01-008497), and has a status code of 1D, indicating an individual property listed in the NRHP as a contributor to a district. It is also listed in the California Register of Historical Resource (CRHR) and has an Oakland Cultural Heritage Rating of B+1+: B: Major Importance: Especially fine architectural example, major historical importance; "1", in an Area of Primary Importance; and "+", Contributor to the Coit Building Group District (P-01-003841).

Source: (4)

Archeology/Cultural Resources Records Search

Evans & De Shazo (EDS) conducted a record search and review, and archaeological sensitivity analysis of the Harrison Hotel project area at 1415 Harrison Street in Oakland, Alameda County, California to determine the potential for archaeological resources to be present within the Area of Potential Effect (APE) that could be impacted by the proposed rehabilitation of the Harrison Hotel. The direct APE for archaeology is the parcel that contains the Harrison Hotel, known as Assessor's Parcel Number (APN 008-0625-045).

The record search and review included information on file at the Northwest Information Center (NWIC) of the California Historical Resources Information Systems (CHRIS) in Rohnert Park, California (File #16-1636), a review of historic maps, and a review of geoarchaeological, soils and geologic data for Oakland, Alameda County. The purpose of the NWIC record search was to two-fold; (1) to determine if the Project Area has been previously evaluated for archaeological resources, and (2) to obtain and review information for recorded archaeological resources and previous evaluations on properties located within a quarter-mile of the APE. Historic maps, soils reports, geoarchaeological studies, and geologic maps were also reviewed to assess the potential for buried archaeological resources to be present below the building.

The record search at the NWIC revealed that the APE has been previously evaluated for archaeological resources (S-44827 and S-47804). There have been sixteen (16) other cultural resource studies previously conducted within a 1/4-mile radius and twenty-nine (29) cultural resources have been recorded.

Of the twenty-nine (29) cultural resources recorded within a 1/4-mile of the Project APE, four are archaeological resources and the rest are buildings. The archaeological resources recorded within a 1/4-mile of the APE include three historic-era resources, recorded as P-01-001530, P-01-010531, and P-01-010533, and one prehistoric resource recorded as P-01-010808.

The Project APE is situated on beach and dune sand that often contain one or more buried soils. Merritt sand is both Holocene and Pleistocene in age and at least one buried prehistoric site has been identified in the immediate vicinity (within a 1/4-mile) of the project APE.

Summary

Previous Archaeological Studies of the APE: The project APE has not been previously evaluated for archaeological resources.

Recorded Archaeological Sites: There are three historic-era archaeological resources (P-01-01530, P-01-010531, and P-01-010533) and one prehistoric archaeological resource (P-01-010808, also recorded as P-01-000042/CA-ALA-42) located within a 1/4-mile of the project APE.

Historic Map Research: Indicates that a residential building and associated outbuilding were present within the APE as early as 1889, prior to construction of the Harrison Hotel in 1914.

Archaeological Sensitivity: The potential for historic and prehistoric archaeological resources within the APE is high. This is based on the results of the record search, map research, and soils, geologic and geoarchaeological data.

Source: (4)

Native American Tribes

The project triggers consultation with Native American tribes due to 'significant ground disturbance (digging)' for basement seismic upgrades and foundation work. Therefore, the possibility does exist for the accidental discovery of buried cultural resources. There is one federally-recognized Native American tribe in Alameda County, California Valley Miwok Tribe. A letter and information about the project was sent to the tribe on April 25, 2017. To date a response has not been received. Any response from the Tribe will be forwarded to your office.

On April 25, 2017, the Native American Heritage Commission was contacted regarding any known cultural resources or sacred sites on or near the project site. On April 27, 2017, the Native American Heritage Commission replied that a search of the Sacred Lands File did not indicate any known resources.

Source: (5) (6) (7) (8) (9)

Evaluation of Effects

The Harrison Hotel is an individual property listed in the NRHP as a contributor to a district. An analysis of the project against the Secretary of the Interior Standards for Rehabilitation was conducted by Stacey De Shazo, M.A., Principal Architectural Historian, Evans & De Shazo, LLC in May 2017 (attached). The analysis concluded that the project complies with the Secretary of the Interior's standards and will not result in adverse effects. The report makes this conclusion based on the findings below.

1. The project requires minimal changes to the character-defining features of the building;
2. The historic character will be retained and preserved;
3. The new door will not require the removal of historic materials associated with the Hotel Harrison's period of significance from 1914 - 1929 or that make it a contributor to the Harrison and Fifteenth Streets Historic District;
4. Proposed changes will not create a false sense of historic development, add conjectural features, or architectural elements from other buildings, as the plans call for the addition of a previously non-existing, new primary façade door, to allow basement access;
5. The project will restore the exterior of the building;
6. Proposed changes will not create a false sense of historic development, add conjectural features, or architectural elements from other buildings;
7. All distinctive features, finishes, and construction techniques will be preserved, such as the masonry, original corner storefronts and remaining original store front along the south elevation, the clerestory windows, decorative brick and terracotta, and the decorative cornice, dentil, and fascia detail;
8. The project will preserve, restore, and replace in-kind distinctive features wherever possible;
9. The steel brace frames have been designed to be minimally visible along a small number of windows along the east and south elevations. These spaces where the steel brace frames will be located are within areas that are considered less important spaces, which is directed by the Standards and provides for opportunities to ensure additional structural reinforcement during a seismic rehabilitation;
10. There are no new additions or related new construction planned for the building that will affect its ability to convey significance.

Source: (1)

Recommended Determination

For purposes of Section 106 Review of this undertaking, AEM Consulting recommends that the Certifying Officer for HUD (City of Oakland), concur with the Area of Potential Effects and that the subject property is an historic resource listed on the National Register of Historic Places as a contributor to an Historic District. However, the project will not result in adverse effects.

AEM Consulting recommends that the City of Oakland determine that the undertaking will not result in adverse effects. The reason is, the undertaking complies with the Secretary of the Interior's Standards for Rehabilitation.

The following mitigations are recommended during construction:

CR1. Archaeological and Paleontological Resources – Discovery During Construction¹

Pursuant to CEQA Guidelines section 15064.5(f), in the event that any historic or prehistoric subsurface cultural resources are discovered during ground disturbing activities, all work within 50 feet of the resources shall be halted and the project applicant shall notify the City and consult with a qualified archaeologist or paleontologist, as applicable, to assess the significance of the find. In the case of discovery of paleontological resources, the assessment shall be done in accordance with the Society of Vertebrate Paleontology standards. If any find is determined to be significant, appropriate avoidance measures recommended by the consultant and approved by the City must be followed unless avoidance is determined unnecessary or infeasible by the City. Feasibility of avoidance shall be determined with consideration of factors such as the nature of the find, project design, costs, and other considerations. If avoidance is unnecessary or infeasible, other appropriate measures (e.g., data recovery, excavation) shall be instituted. Work may proceed on other parts of the project site while measures for the cultural resources are implemented.

In the event of data recovery of archaeological resources, the project applicant shall submit an Archaeological Research Design and Treatment Plan (ARDTP) prepared by a qualified archaeologist for review and approval by the City. The ARDTP is required to identify how the proposed data recovery program would preserve the significant information the archaeological resource is expected to contain. The ARDTP shall identify the scientific/historic research questions applicable to the expected resource, the data classes the resource is expected to possess, and how the expected data classes would address the applicable research questions. The ARDTP shall include the analysis and specify the curation and storage methods. Data recovery, in general, shall be limited to the portions of the archaeological resource that could be impacted by the proposed project. Destructive data recovery methods shall not be applied to portions of the archaeological resources if nondestructive methods are practicable. Because the intent of the ARDTP is to save as much of the archaeological resource as possible, including moving the resource, if feasible, preparation and implementation of the ARDTP would reduce the potential adverse impact

¹ *City of Oakland Planning and Zoning Division Conditions of Approval & uniformly applied Development Standards imposed as Standard Conditions of Approval. July 22, 2015.*

to less than significant. The project applicant shall implement the ARDTP at his/her expense.

In the event of excavation of paleontological resources, the project applicant shall submit an excavation plan prepared by a qualified paleontologist to the City for review and approval. All significant cultural materials recovered shall be subject to scientific analysis, professional museum curation, and/or a report prepared by a qualified paleontologist, as appropriate, according to current professional standards and at the expense of the project applicant.

CR2. Human Remains – Discovery During Construction

Requirement: Pursuant to CEQA Guidelines section 15064.5(e)(1), in the event that human skeletal remains are uncovered at the project site during construction activities, all work shall immediately halt and the project applicant shall notify the City and the Alameda County Coroner. If the County Coroner determines that an investigation of the cause of death is required or that the remains are Native American, all work shall cease within 50 feet of the remains until appropriate arrangements are made. In the event that the remains are Native American, the City shall contact the California Native American Heritage Commission (NAHC), pursuant to subdivision (c) of section 7050.5 of the California Health and Safety Code. If the agencies determine that avoidance is not feasible, then an alternative plan shall be prepared with specific steps and timeframe required to resume construction activities. Monitoring, data recovery, determination of significance, and avoidance measures (if applicable) shall be completed expeditiously and at the expense of the project applicant.

Citations/Attachments:

1. **De Shazo, Stacey.** *Secretary of the Interior's Standards Review of the 1914 Harrison Hotel located at 1415 Harrison Street, Oakland, Alameda County, California.* Sebastopol, CA : Evans & De Shazo, LLC, Updated May 22, 2017.
2. **Gelfand Partners Architects.** *Harrison Hotel Rehabilitation, 1415 Harrison Street, Oakland, CA 94612 Plans & Drawings.* San Francisco, CA : s.n., May 2, 2017. Cut Sheets Ao.01a - A5.13.
3. **Duncan, Chris.** *Harrison Hotel - Proposed Basement Entry.* s.l. : Gelfand Partners Architects, May 18, 2017.
4. **City of Oakland.** *Historic Preservation - Historical and Architectural Rating System. Planning & Building.* [Online] [Cited: March 11, 2016.] <http://www2.oaklandnet.com/Government/o/PBN/OurServices/Historic/DOWD009155>.
5. **Evans, Sally.** *Archaeological Record Search and Sensitivity Analysis for the Harrison Hotel Rehabilitation Project, 1415 Harrison Street, Oakland, Alameda County, California 94612 (APN 008-0625-045).* Sebastopol, CA : Evans & De Shazo, LLC, April 25, 2017. NWIC File No. 16-1636.
6. **Miller, Vern.** *Appendix A: When to Consult with Tribes under Section 106, Harrison Hotel, 1415 Harrison Street, Oakland, CA 94612.* Santa Rosa, CA : AEM Consulting, April 24, 2017.
7. **U.S. Department of Housing and Urban Development.** *Tribal Directory Assessment Tool (TDAT) v2.0. Community Planning and Development.* [Online] [Cited: April 24, 2017.] <http://egis.hud.gov/tdat/Tribal.aspx>.

Harrison Hotel

8. **Marvin, Betty.** *Letter to Silvia Burley, California Valley Miwok Tribe in re: Harrison Hotel, 1415 Harrison Street, Oakland, Alameda County, California 94612. s.l. : City of Oakland, April 25, 2017.*

9. **Miller, Vern.** *Letter to Native American Heritage Commission. Santa Rosa, CA : AEM Consulting, April 25, 2017.*

10. **Leinert, Frank.** *Letter to Cinnamon Crake, AEM Consulting in re: Rehabilitation project, Oakland, CA; Alameda County. West Sacramento, CA : Native American Heritage Commission, April 24, 2017.*



HARRISON HOTEL REHABILITATION

1415 Harrison Street
Oakland, CA 94612

SHEET LIST

Architectural	NOTES & GENERAL INFORMATION
AJ.00a	SITE PLAN
AJ.00	BASEMENT SELECTIVE DEMOLITION PLAN
AJ.11	FIRST FLOOR & MEZZANINE SELECTIVE DEMOLITION PLAN
AJ.12	2ND & 3RD FLOOR SELECTIVE DEMOLITION PLANS
AJ.13	TYPICAL FLOOR PLAN (4TH-7TH) SELECTIVE DEMOLITION PLAN
AJ.14	ROOF SELECTIVE DEMOLITION PLAN
AJ.17	BASEMENT FLOOR PLAN
AJ.17	FIRST FLOOR PLAN & MEZZANINE FLOOR PLAN
AJ.18	2ND & 3RD FLOOR PLANS UNIT 201 FLOOR
AJ.18	TYPICAL FLOOR PLAN (4TH-7TH) ALTERNATE UNIT PLANS
AJ.14	ROOF PLAN
AJ.15	EAST ELEVATION
AJ.11	SOUTH & NORTH ELEVATIONS
AJ.12	WEST ELEVATION
AJ.18	BASEMENT RCP
AJ.11	FIRST FLOOR & MEZZANINE RCP
AJ.12	2ND & 3RD FLOOR RCP
AJ.13	TYPICAL FLOOR (4TH-7TH) RCP
AJ.20	BASEMENT ENTRY ENLARGED PLAN & ELEVATION

SCOPE OF WORK

HARRISON Hotel SCOPE NOTES

Existing
14 units per floor (2nd - 7th floors) = 84 units, less 1 that is community kitchen at 6th floor = 83 units. Also, unit 201 is residential services office
2 unit types per floor appear not to have kitchenettes, 8 = 12 units

Proposed Apartments
24 Studio/Private Bathroom 100 - 200 SF
6 Studio/Private Bathroom/Mobility 246 SF
4 Studio/Shared Bathroom/Mobility 142 - 165 SF
32 Studio/Shared Bathroom with 2 Units 146 - 139 SF
60 Studio/Shared Bathroom with 3 Units 150 - 188 SF

Architectural Scope

- Replace apartment kitchenettes.
- Provide kitchenettes at apartments that do not have them
- Replace other cabinetry in apartments
- Replace flooring of apartments (except vinyl sheet, some carpet at LR, CT - primary tile at bath)
- Replace flooring of common areas
- Provide elevator upgrades (see reports for elevator repairs/upgrades - replace main pumping, some cab equipment)
- Provide interior translucent frosted shades at 1st floor storey windows
- PH = Low VOC Carpeting
- PH = Implement Household Recycling Plan
- PH = Provide trash bins in exterior or semi lobby
- PH = Replace apartment window blinds
- PH = Provide minor accessibility upgrades
- Paint interior
- Provide (H) trash chute in existing shaft, (N) trash rooms at residential floors.

Structural Scope

- Structure improvement to reach PHM of 20 (Estimated PHM5UL = 26, PHM5EL = 22)

Electrical Scope

- PH = Lobby and common area T-12 light fixtures. Replace with LED or T-8 lights and occupancy controls
- PH = Smoke Detectors - install where required
- PH = Security camera system - Upgrade and additional cameras
- PH = CO detectors - install where required

Mechanical Scope

- PH = Implement Temperature and Humidity Monitoring
- PH = Provide new exhaust shaft to roof with exhaust fan at roof, below parapet height (not visible from the street)
- PH = Install High Efficiency Cooling Systems
 - PH = Replace non-working lift up system for condensing boiler
 - PH = Provide Outdoor air reset control for HVAC equipment
 - PH = Provide variable speed drives for heating water pumps
- PH = Install High Efficiency Heating Systems
 - PH = Provide space heating boiler with condensing boiler
 - PH = Provide variable speed drives for heating water pumps
- New ventilation for apartment bathrooms
 - PH = Provide exhaust fans and ducts at new ventilation shafts on south and east side units - new shaft to roof
 - PH = Provide exhaust fans at roof for new shafts below parapet height (not visible from the street)
 - New exhaust fan at roof for (H) trash chute in (E) shaft

Plumbing/Sprinkler Scope

- PH = Replace inoperative sprinklers at replaced kitchenettes
- PH = Replace remaining overhead tubs with fiberglass surround and fixtures
- PH = Install Energy Efficient Water Fixtures
- PH = Replace Domestic water boiler with hybrid heat pump model (400 MMB, 80 AFSE)
- PH = Water pressure booster pumps - Premium efficiency replacement and motors
- PH = Domestic water storage tank - Replace with hybrid heat pump model (100 gal each)
- PH = Replace (E) hydronic heating supply/return pipes in (E) shaft

Gelfand Partners ARCHITECTS
 165 Tenth Street Suite 100
 San Francisco, CA 94103
 Tel: 415. 345. 4040
 Fax: 415. 346. 4103
 www.gelfand-partners.com

Project Team

OWNER:	ARCHITECT:
Project: 1415 Harrison Street 1415 Harrison Street Oakland, CA 94612 Tel: 415. 345. 4040 Fax: 415. 346. 4103	165 Tenth Street Suite 100 San Francisco, CA 94103 Tel: 415. 345. 4040 Fax: 415. 346. 4103 www.gelfand-partners.com

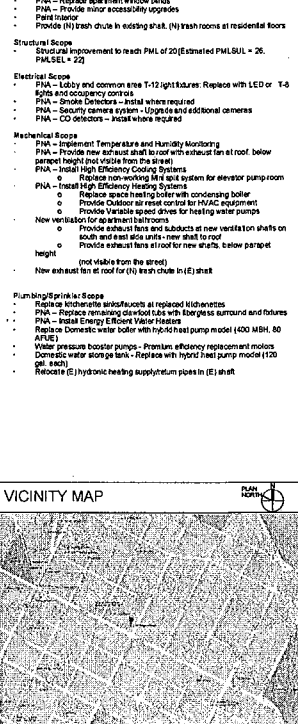
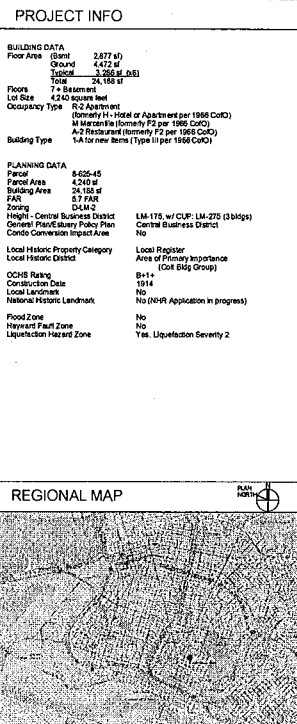
MECHANICAL ENGINEER:
 Engineering & Architecture
 2015 Broadway
 San Francisco, CA 94102
 Tel: 415. 398. 1000

ELECTRICAL ENGINEER:
 Bell-Castell Engineering & Architecture
 2015 Broadway
 San Francisco, CA 94102
 Tel: 415. 398. 1000

DRAWING RECORD

NO.	DATE	BY	CHKD.

ABBREVIATIONS	SYMBOLS	PROJECT INFO
A A1 A2 A3 A4 A5 A6 A7 A8 A9 A10 A11 A12 A13 A14 A15 A16 A17 A18 A19 A20 A21 A22 A23 A24 A25 A26 A27 A28 A29 A30 A31 A32 A33 A34 A35 A36 A37 A38 A39 A40 A41 A42 A43 A44 A45 A46 A47 A48 A49 A50 A51 A52 A53 A54 A55 A56 A57 A58 A59 A60 A61 A62 A63 A64 A65 A66 A67 A68 A69 A70 A71 A72 A73 A74 A75 A76 A77 A78 A79 A80 A81 A82 A83 A84 A85 A86 A87 A88 A89 A90 A91 A92 A93 A94 A95 A96 A97 A98 A99 A100	<p>UNIT</p> <p>ROOM/AREA</p> <p>ELEVATION NUMBER</p> <p>ELEVATION ORIENTATION</p> <p>SECTION</p> <p>SECTION NUMBER</p> <p>SECTION SHEET</p> <p>DETAIL</p> <p>DETAIL NUMBER</p> <p>DETAIL SHEET</p> <p>ELEVATION ELEVATION</p> <p>ELEVATION NUMBER</p> <p>DOOR SCHEDULE</p> <p>REFER TO DOOR SCHEDULE</p> <p>ASTORISK INDICATES PANIC HARDWARE</p> <p>REFER TO SCHEDULE</p> <p>DOOR LETTER</p> <p>ALUMINUM LETTER</p> <p>ALUMINUM SCHEDULE</p> <p>REFER TO WINDOW SCHEDULE</p> <p>WALL TYPE</p> <p>REFER TO WALL TYPE SHEET</p> <p>MULLION/SUBOTYPICAL WALL</p> <p>REFER TO WALL TYPE SHEET, SEE PLAN, SECTION, ELEVATION, ELEVATION FOR LOCATION.</p> <p>CASING TYPE</p> <p>REFER TO CASING SCHEDULE</p> <p>WORK POINT</p> <p>FOR CONTROL ON DATA POINT</p> <p>MISLEAD</p> <p>REFER TO SHEET</p> <p>PROJECT NUMBER</p> <p>REFER TO SHEET SPECIFICATION DIVISION</p> <p>SECTION LETTER</p> <p>REFER TO ACCESSORY SCHEDULE</p> <p>ELEVATION LETTER</p> <p>REFER TO ELEVATION SPECIFICATION DIVISION</p> <p>FIELD HEIGHT</p> <p>INTERSECTION</p> <p>ON POINT INDICATES THE INTERSECTION OF THE CENTER LINE OF THE STUDY OF EACH PLAN ASSEMBLY</p>	<p>BUILDING DATA</p> <p>Floor Area (Gross) 2,877 sf Ground 4,472 sf Total 7,349 sf (Net) Lot Size 24,185 sf</p> <p>Floors 7 1/2 basements Occupancy Type R-2 Apartment (Formerly H- Hotel or Apartment per 1986 Code) All Maximum (Formerly F-2 per 1986 Code) A-2 Restaurant (Formerly F-2 per 1986 Code) A-1 for new bars (Type II per 1986 Code)</p> <p>Building Type Local Register Area of Primary Importance (Cot Bug Group) B-1+ 1914 Construction Date Local Landmarks National Historic Landmark No (NHR Application in progress)</p> <p>PLANNING DATA</p> <p>Parcel 8,625-45 Parcel Area 4,200 sf Building Area 24,185 sf FAR 5.7 FAR Zoning DLM-2 Height - Central Business District (Corner) Part/Barney Policy Plan Condo Conversion Impact Area No</p> <p>LOCAL HISTORIC PROPERTY CATEGORY Local Historic District No Construction Date 1914 Local Landmarks No (NHR Application in progress)</p> <p>Flood Zone Hazardous Waste Zone No Liquefaction Hazard Zone Yes, Liquefaction Severity 2</p>



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Gelfand Partners ARCHITECTS

HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

1618
 Sheet

NOTES & GENERAL INFORMATION

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Project Team

OWNER:
 Pioneer/Conrad
 200 Grand
 San Francisco, CA 94102
 Tel: 415 346 4000
 Fax: 415 346 4002

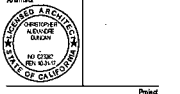
ARCHITECT:
 Gelfand Partners
 165 Tenth Street Suite 100
 San Francisco, CA 94103
 Tel: 415 346 4040
 Fax: 415 346 4103

Key Plan

Drawing Record

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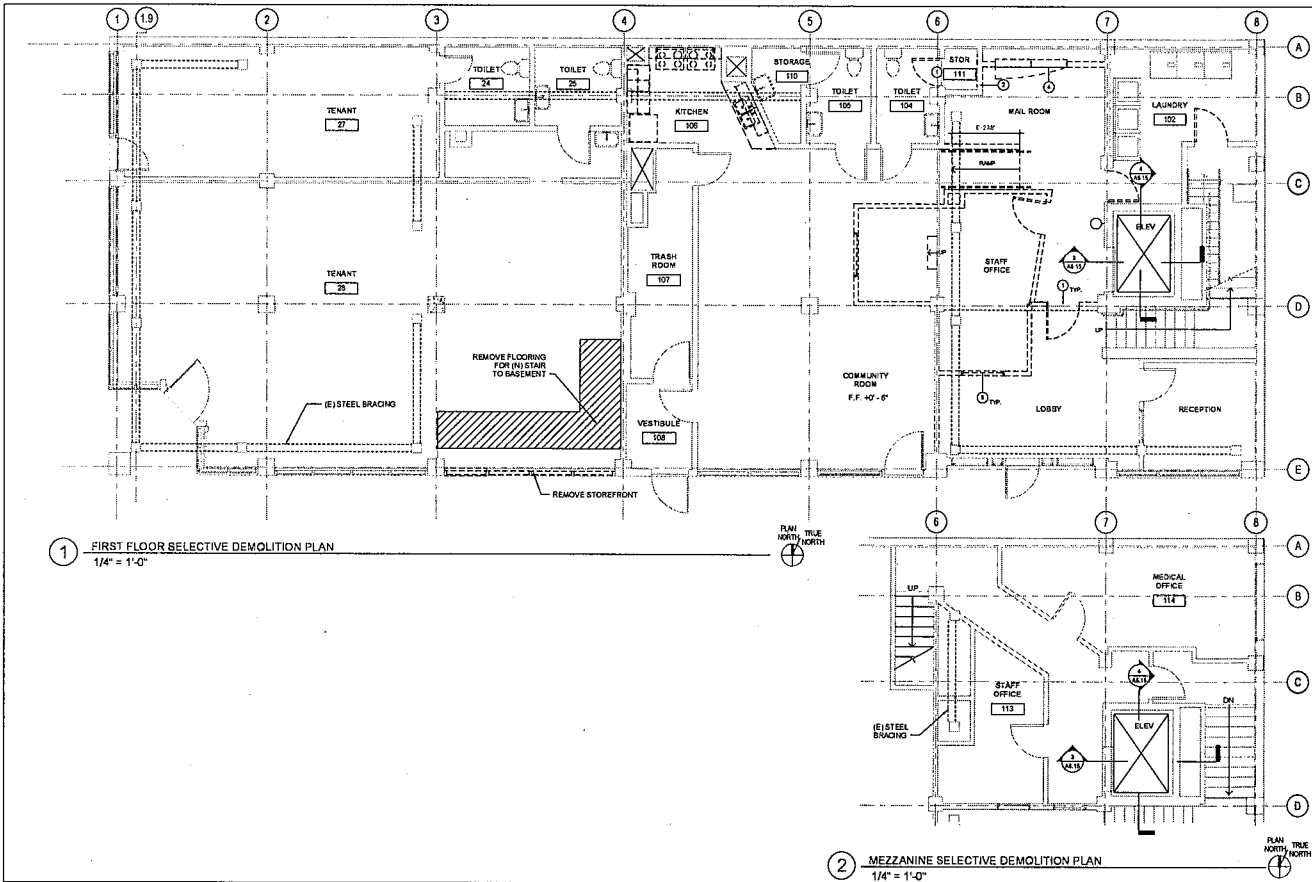


Project
HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

1618
 Sheet

FIRST FLOOR & MEZZANINE SELECTIVE DEMOLITION PLAN
A1.11

01/20/11 JK



1 FIRST FLOOR SELECTIVE DEMOLITION PLAN
 1/4" = 1'-0"

2 MEZZANINE SELECTIVE DEMOLITION PLAN
 1/4" = 1'-0"

- SHEET NOTES**
- PRESERVE (E) STRUCTURE TO REMAIN - PROVIDE SHORING & BRACING AS REQUIRED
 - PRESERVE (E) UTILITIES TO REMAIN - INCLUDING ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, FIRE PROTECTION & LOW VOLTAGE INFRASTRUCTURE & DEVICES
 - PRESERVE (E) WALLS & DOORS TO REMAIN - PROTECT FINISHES TO REMAIN
 - PROVIDE (N) FLOORING AT APARTMENTS
 - PROVIDE WINDOW BLINDS AT ALL WINDOWS

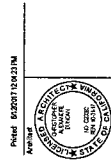
- KEYNOTES**
- REMOVE (E) DOOR AND FRAME
 - REMOVE (E) WALL
 - REMOVE PORTION OF WALL FOR WIDER DOOR
 - REMOVE (E) MAILBOXES
 - REMOVE (E) RAMP AND HANDRAILS
 - REMOVE (E) WINDOW

- LEGEND**
- EXISTING WALL TO BE PRESERVED
 - REMOVE (E) WALL
 - REMOVE (E) DOOR & FRAME
 - REMOVE (E) FLOORING, CEILING FINISH & PARTIAL OR VESTIBULE DEMO



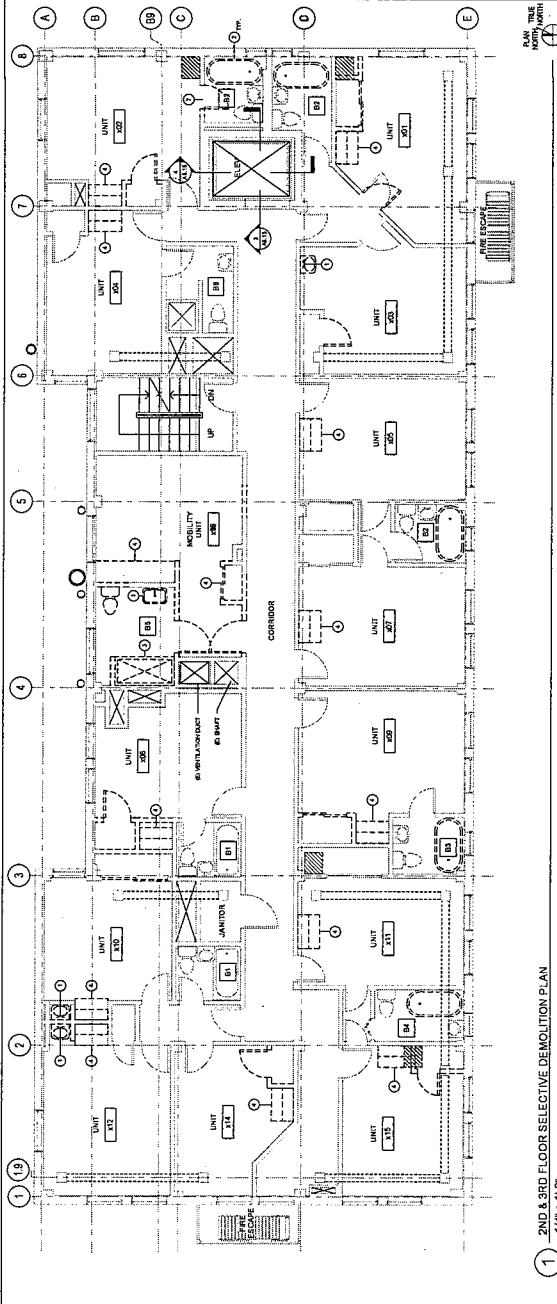
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 SCALE: [REDACTED]

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Project
HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

2ND & 3RD FLOOR
 SELECTIVE DEMOLITION
 PLANS
A1.12



① 2ND & 3RD FLOOR SELECTIVE DEMOLITION PLAN
 1/4" = 1'-0"

SHEET NOTES

1. PRESERVE E/ STRUCTURE TO REMAIN.
 2. PROVIDE SIGNING & BRACING AS REQUIRED.
 3. REMOVE ALL EXISTING FINISHES INCLUDING ELECTRICAL, PLUMBING, & LOW VOLTAGE INFRASTRUCTURE & UTILITIES.
 4. PRESERVE E/ WALLS & DOORS TO REMAIN.
 - PROTECT FINISHES TO REMAIN.

KEYNOTES

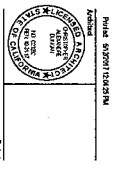
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2. REMOVE E/ CLAWFOOT BATHUB
3. REMOVE E/ SHOWER
4. REMOVE E/ CABINETS AND COUNTERTOP
5. REMOVE E/ DOOR AND FRAME
6. REMOVE E/ WALL
7. REMOVE PORTION OF WALL FOR WIDER DOOR

LEGEND

- REMOVAL BY REFERENCED
- ▨ REMOVE E/ WALL
- ⌋ REMOVE E/ DOOR FRAME
- ▩ REMOVE E/ FLOORING OR SLABING - FINISHES TO REMAIN

Drawn: S. Bland
 Checked: S. Bland
 Date: 12/15/2020

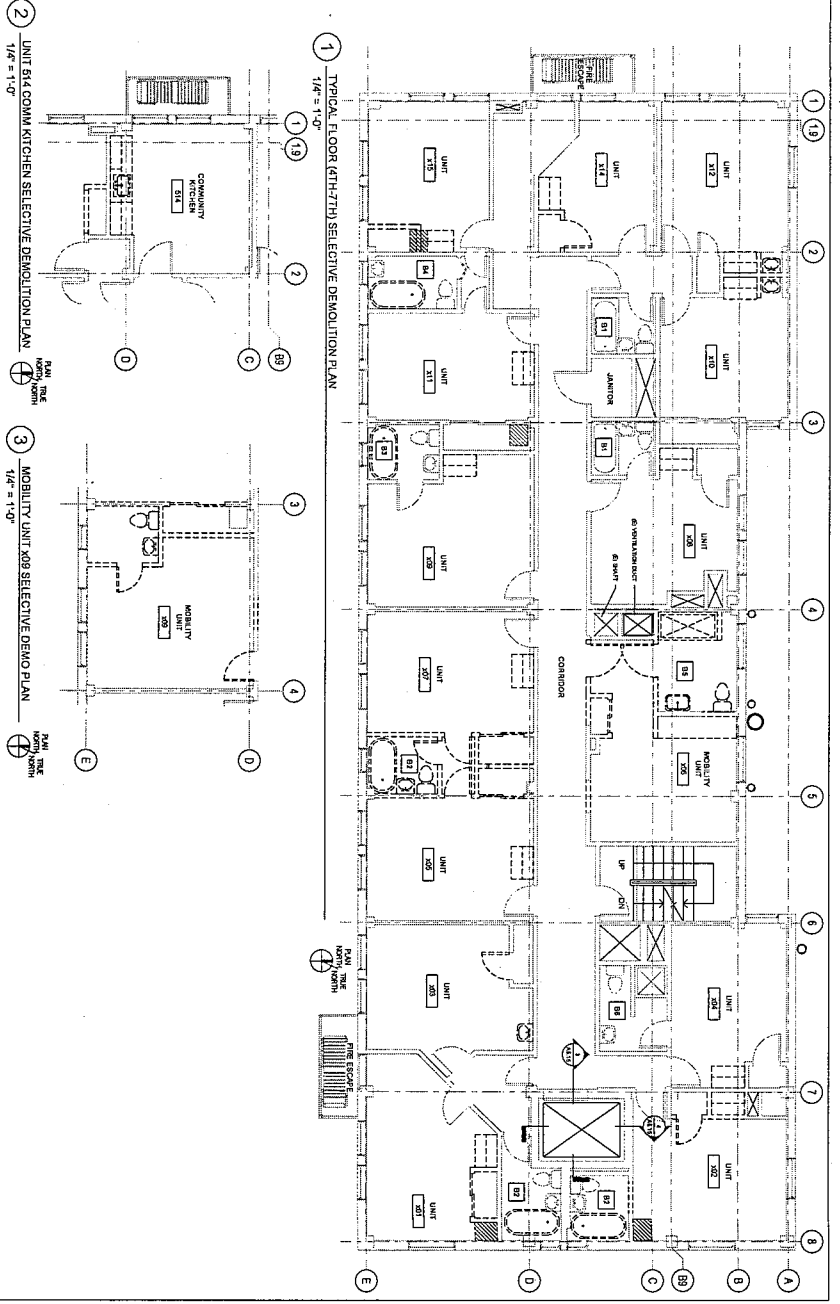
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Project:
HARRISON HOTEL,
 1415 Harrison Street
 Oakland, CA 94612

Scale:
 TYPICAL FLOOR
 (4TH-7TH) SELECTIVE
 DEMOLITION PLAN
A1.13

DATE PLOTTED: 12/15/2020 10:59:18 AM



① TYPICAL FLOOR (4TH-7TH) SELECTIVE DEMOLITION PLAN
 1/4" = 1'-0"

② UNIT 614 COMM KITCHEN SELECTIVE DEMOLITION PLAN
 1/4" = 1'-0"

③ MOBILITY UNIT X09 SELECTIVE DEMO PLAN
 1/4" = 1'-0"

SHEET NOTES

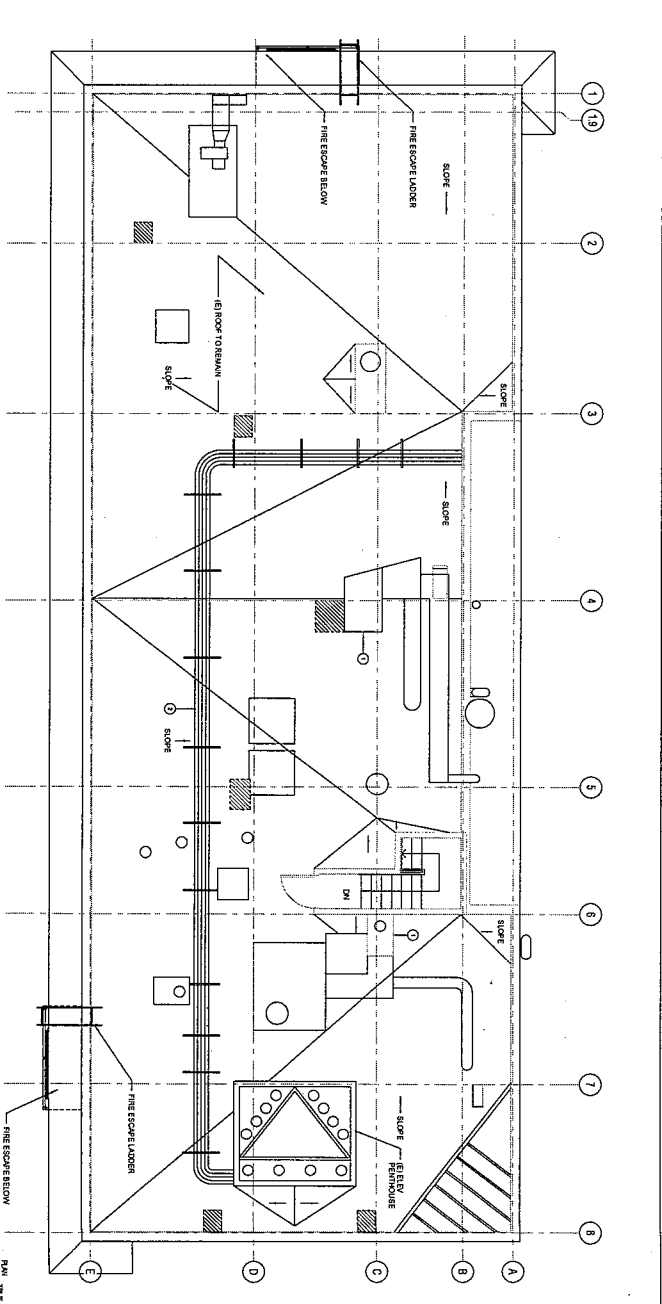
1. PRESERVE ALL STRUCTURE TO REMAIN. PROVIDE SHORING & BRACING AS REQUIRED.
2. PRESERVE EXISTING CEILING REMAIN. REMOVE EXISTING GYPSUM BOARD, FIRE PROTECTIVE BOARD, CONCRETE PARTITIONING & SERVICES.
3. PRESERVE EXISTING FLOOR TO REMAIN. REMOVE EXISTING FLOOR TO REMAIN.

KEYNOTES

1. REMOVE EXISTING WALL.
2. REMOVE EXISTING PARTITIONING.
3. REMOVE EXISTING CEILING.
4. REMOVE EXISTING CEILING AND CONCRETE FLOOR.
5. REMOVE EXISTING FLOOR AND FLOOR.
6. REMOVE EXISTING WALL.
7. REMOVE PORTION OF WALL FOR WIDER DOOR.

LEGEND

- [Symbol] EXISTING WALL (THIN WALL)
- [Symbol] REMOVED WALL
- [Symbol] REMOVED FLOOR AND CONCRETE FLOOR
- [Symbol] REMOVED EXISTING GYPSUM BOARD
- [Symbol] REMOVED EXISTING CEILING AND CONCRETE FLOOR



1 ROOF SELECTIVE DEMOLITION PLAN
1/4" = 1'-0"

SHEET NOTES

- 1 PRESERVE EXISTING ROOF TO REMAIN
- 2 PRESERVE EXISTING ROOF TO BE DEMOLISHED
- 3 PRESERVE EXISTING LIGHTING FIXTURES
- 4 PRESERVE EXISTING INFRASTRUCTURE DEVICES
- 5 PRESERVE EXISTING WALLS & CORNERS TO REMAIN
- 6 PRESERVE EXISTING PARTITIONS TO REMAIN
- 7 REMOVE EXISTING ROOF TO REMAIN
- 8 REMOVE EXISTING ROOF TO BE DEMOLISHED

KEYNOTES

1. EXISTING ROOF TO REMAIN
2. EXISTING CORNERS TO REMAIN

LEGEND

- EXISTING WALL TO BE DEMOLISHED
- ROOF TO REMAIN
- ROOF TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED
- EXISTING WALL TO BE DEMOLISHED

ARCHITECT
Gelfand Partners
 14575m Street, Suite 200
 San Francisco, CA 94143
 Tel: 415.398.4100
 Fax: 415.398.4100
 www.gelfandpartners.com

PROJECT TEAM

OWNER:	ARCHITECT:
City of San Francisco	Gelfand Partners
14575m Street, Suite 200	14575m Street, Suite 200
San Francisco, CA 94143	San Francisco, CA 94143
Tel: 415.398.4100	Fax: 415.398.4100
www.cityofsf.org	www.gelfandpartners.com

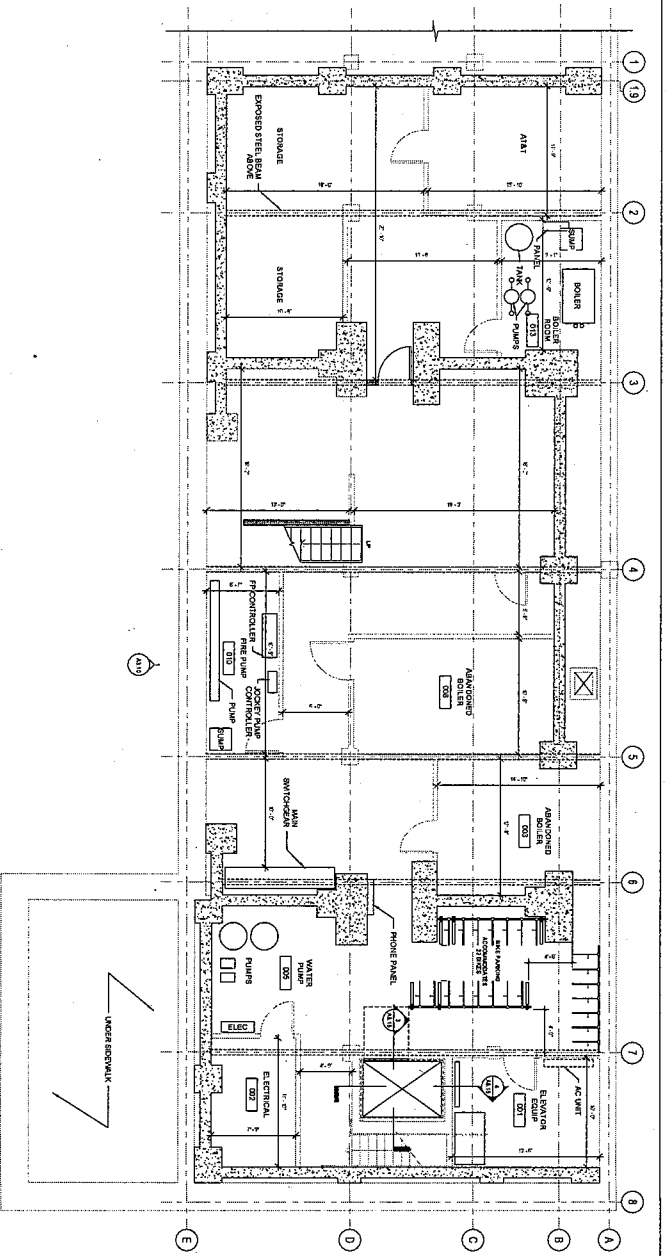
DATE	DESCRIPTION	BY	CHK

Scale: 1/4" = 1'-0"

David A. Brown
 Mechanical
 No. 10000
 State of California

HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

Roof Selective Demolition Plan
 A1.14



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

SHEET NOTES

1. PRESERVE EXISTING STRUCTURE TO REMAIN.
2. PROVIDE SHORING & BRACING AS REQUIRED.
3. PRESERVE EXISTING UTILITIES TO REMAIN.
4. PROVIDE MECHANICAL, ELECTRICAL & PLUMBING PROTECTION FOR EXPOSED STRUCTURE SERVICES.
5. PROVIDE PROTECTIVE BRACING FOR EXPOSED STRUCTURE TO REMAIN.

4. PROVIDE INFLOORING AT APARTMENTS
5. PROVIDE WINDOW BLINDS AT ALL WINDOWS

KEYNOTES

LEGEND

- STRUCTURAL STEEL REINFORCEMENT
- EXTERIOR CONCRETE WALL
- INTERIOR CONCRETE WALL
- ROOM FINISH IN NEW WALL
- FLOOR FINISH TO BE RETAINED
- FLOOR FINISH TO BE REMOVED
- LEAD TO BE REMOVED



NO.	REVISION	DATE

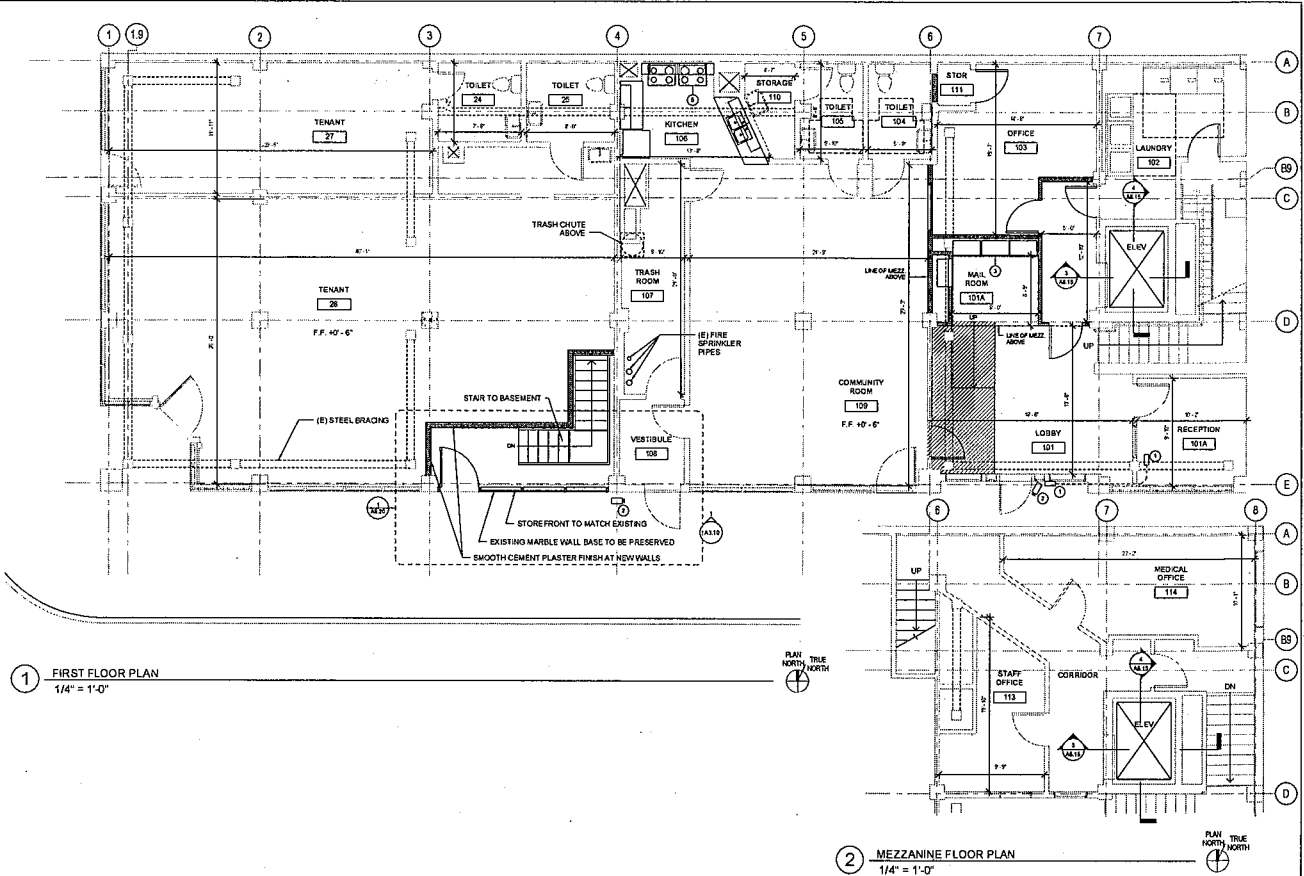
PROJECT NO. 02208112X2181
 HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612



BASEMENT FLOOR PLAN
A2.10

Gelfand Partners
 ARCHITECTS
 455 Third Street Suite 100
 San Francisco, CA 94103
 Tel: 415.345.4400
 Fax: 415.345.4403
 www.gelfandpartners.com

PROJECT NO. 02208112X2181
 HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612
 Tel: 415.345.4400
 Fax: 415.345.4403
 www.gelfandpartners.com



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

2 MEZZANINE FLOOR PLAN
 1/4" = 1'-0"

Key Plan

Room Number	Description
101	RECEPTION
102	OFFICE
103	OFFICE
104	OFFICE
105	OFFICE
106	OFFICE
107	TRASH ROOM
108	COMMUNITY ROOM
109	STAIR TO BASEMENT
110	KITCHEN
111	STOR.
112	LAUNDRY
113	STAFF OFFICE
114	MED. CAL. OFFICE
115	RECEPTION

Project: 6/23/07 12:04:29 PM
 Author: [Signature]
 Checked: [Signature]
 State of California Seal

Project: HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

SHEET NOTES

1. PRESERVE (E) STRUCTURE TO REMAIN - PROVIDE SHORING & BRACING AS REQUIRED
2. PRESERVE (E) UTILITIES TO REMAIN, INCLUDING ELECTRICAL, LIGHTING, PLUMBING, MECHANICAL, FIRE PROTECTION & LOW VOLTAGE INFRASTRUCTURE & DEVICES
3. PRESERVE (E) WALLS & DOORS TO REMAIN - PROTECT FINISHES TO REMAIN
4. PROVIDE (N) FLOORING AT COMMON AREAS

KEYNOTES

1. (N) INTERCOM (DOORCING)
2. ADD SECURITY CAMERA
3. (N) TENANT MAILBOXES
4. (N) SCREEN WITH ENTRY DOOR
5. (N) RANGE WITH FRONT-MOUNTED CONTROLS

LEGEND

- [Symbol] EXISTING WALL TO BE PRESERVED
- [Symbol] NEW WALL
- [Symbol] DOOR & FRAME IN NEW WALL
- [Symbol] NEW DOOR, EXISTING FRAME & WALL TO BE PRESERVED
- [Symbol] NEW RAMP & LANDING
- [Symbol] EXISTING DOOR TO BE PRESERVED

1918
 Sheet
FIRST FLOOR PLAN & MEZZANINE FLOOR PLAN
A2.11



Item	Quantity	Unit	Value
CONCRETE			
STEEL			
MASONRY			
MECHANICAL			
ELECTRICAL			
PLUMBING			
PAINT			
GLASS			
FINISHES			
CONTINGENT			
TOTAL			

DATE: 07/20/11 12:00 PM



Project
HARRISON HOTEL
1415 Harrison Street
Oakland, CA 94612

Sheet
TYPICAL FLOOR PLAN
(4TH-7TH), ALTERNATE
UNIT PLANS
A2.13

1 TYPICAL FLOOR PLAN (4TH - 7TH)
1/4" = 1'-0"

2 UNIT 514 COMMUNITY KITCHEN
1/4" = 1'-0"

SHEET NOTES

- 1. PRESERVE EXISTING STRUCTURE TO REMAIN - PROVIDE SPACING & BRACING AS REQUIRED
- 2. PROVIDE ELECTRICAL, MECHANICAL, & PLUMBING WORK TO REMAIN - UNLESS OTHERWISE INDICATED
- 3. PRESERVE EXISTING WALLS & DOORS TO REMAIN - PROTECT FINISHES TO REMAIN
- 4. PROVIDE FINISHING AT APARTMENTS
- 5. PROVIDE WINDOW BLINDS AT ALL WINDOWS

KEYNOTES

- 1. PROVIDE VICIBETITE, INCLUDING APPLIANCES
- 2. PROVIDE FURRED WALL FOR FLEDG
- 3. PROVIDE 2-HOUR SHAWT WALL AT NEW SHAWT - TYPICAL FLOORS AND THROUGH-TH
- 4. (R) CLOSET WITH HANGING DOORS
- 5. PROVIDE (N) TRASH CHUTE IN (E) SHAWT
- 6. PROVIDE (N) FIBERGLASS BATH TUB & SURROUND

LEGEND

- EXISTING WALL TO BE PRESERVED
- NEW WALL
- DOOR FRAME IN EXISTING WALL
- NEW DOOR FRAME IN EXISTING WALL TO BE PRESERVED
- NEW DOOR FRAME TO BE PRESERVED
- NEW DOOR FRAME TO BE PRESERVED



PROJECT NAME:
HARRISON HOTEL
1415 HARRISON STREET
OAKLAND, CA 94612

ARCHITECT:
GELFAND PARTNERS
1575 BROADWAY
SUITE 1000
SAN FRANCISCO, CA 94103
TEL: 415.345.4000
FAX: 415.345.4100
WWW: GELFANDPARTNERS.COM

ENGINEER:
SUNSHINE ENGINEERING
1415 HARRISON STREET
OAKLAND, CA 94612
TEL: 415.345.4000
FAX: 415.345.4100
WWW: GELFANDPARTNERS.COM

DATE: 02/07/12 09:30 AM

SCALE: 1/4" = 1'-0"

PROJECT: HARRISON HOTEL
1415 HARRISON STREET
OAKLAND, CA 94612

DATE: 02/07/12 09:30 AM

SCALE: 1/4" = 1'-0"

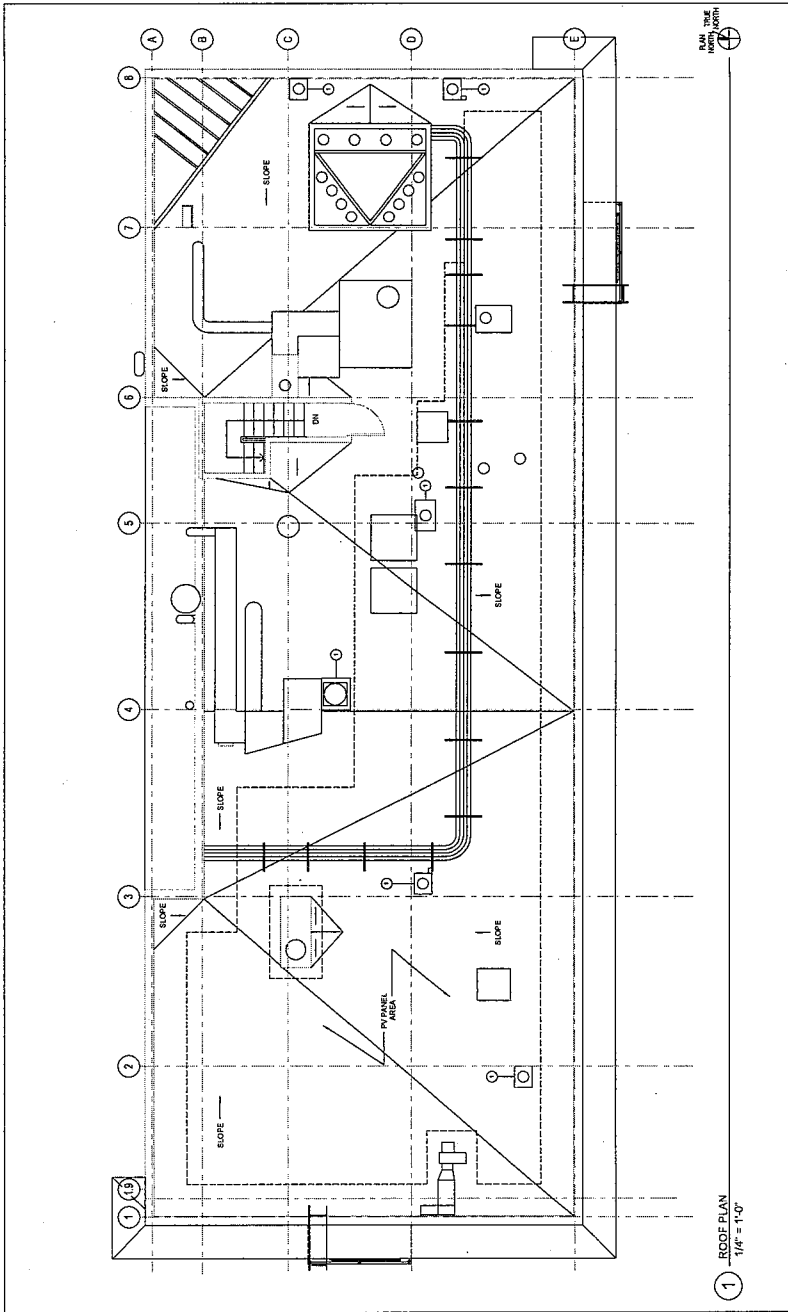
PROJECT: HARRISON HOTEL
1415 HARRISON STREET
OAKLAND, CA 94612



Page:
HARRISON HOTEL
1415 Harrison Street
Oakland, CA 94612

Sheet:
ROOF PLAN

A2.14



1 ROOF PLAN
1/4" = 1'-0"

LEGEND

- EXTERIOR WALL
- INTERIOR WALL
- DOOR FRAME
- WINDOW FRAME
- STRUCTURAL ELEMENT

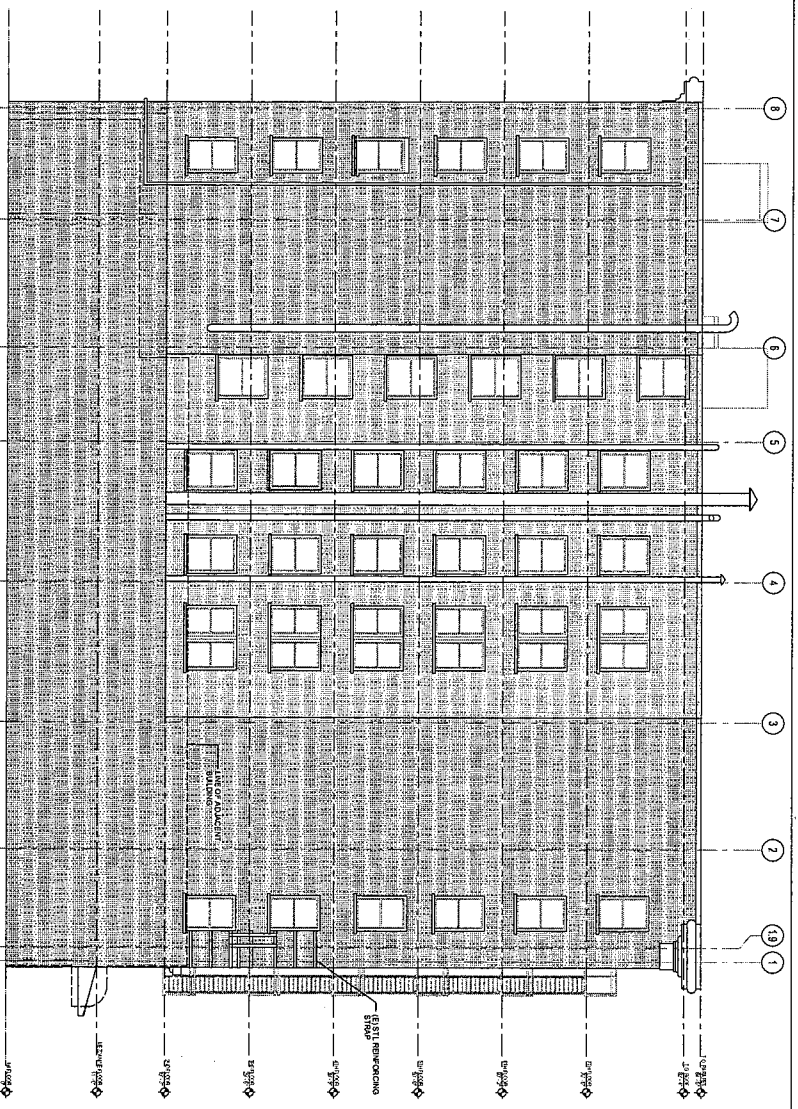
KEYNOTES

- 1. IN ROOF VENT AT (N) BART-5ND

SHEET NOTES

- 1. PRESERVE STRUCTURE TO REMAIN.
- 2. PRESERVE UTILITIES TO REMAIN.
- 3. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 4. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 5. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 6. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 7. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 8. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 9. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 10. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 11. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 12. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 13. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 14. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 15. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 16. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 17. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 18. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 19. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.
- 20. PRESERVE MECHANICAL FIRE PROTECTION & CONCRETE FINISHES TO REMAIN.

DATE: 02/07/12 09:30 AM



1 WEST ELEVATION
3/16" = 1'-0"

SHEET NOTES

KEYNOTES

LEGEND

Architect
Gairland Partners
 ARCHITECTS
 1657 W. SHAW BLVD. 500
 SUITE 1000 SAN FRANCISCO, CA 94103
 TEL: 415.342.4100 FAX: 415.342.4103
 WWW: GairlandPartners.com

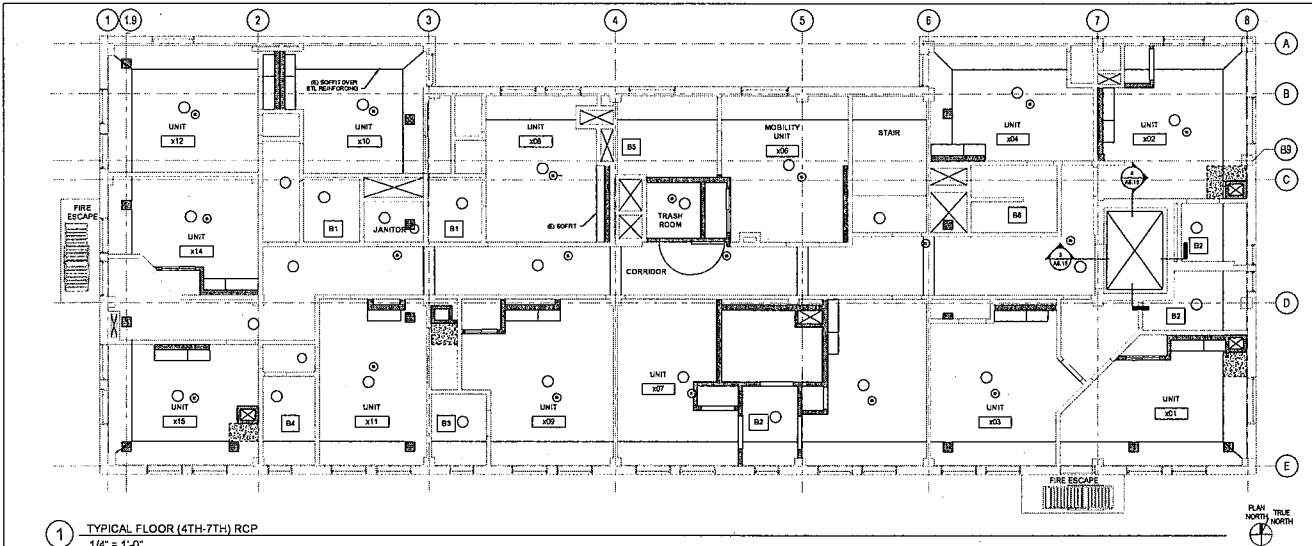
Contract
 Harrison Hotel
 1415 Harrison Street
 Oakland, CA 94612
 Project No. 07-001
 Drawing No. 2007-001
 Date: 07/20/07
 Scale: AS SHOWN
 Project Manager: [Name]
 Designer: [Name]
 Checker: [Name]
 Date: 07/20/07

NO.	DATE	DESCRIPTION
1	07/20/07	ISSUED FOR PERMIT
2	07/20/07	ISSUED FOR PERMIT
3	07/20/07	ISSUED FOR PERMIT
4	07/20/07	ISSUED FOR PERMIT
5	07/20/07	ISSUED FOR PERMIT
6	07/20/07	ISSUED FOR PERMIT
7	07/20/07	ISSUED FOR PERMIT
8	07/20/07	ISSUED FOR PERMIT
9	07/20/07	ISSUED FOR PERMIT
10	07/20/07	ISSUED FOR PERMIT
11	07/20/07	ISSUED FOR PERMIT
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17	07/20/07	ISSUED FOR PERMIT
18	07/20/07	ISSUED FOR PERMIT
19	07/20/07	ISSUED FOR PERMIT
20	07/20/07	ISSUED FOR PERMIT

Project: Harrison Hotel
 Permit: 060800018
 Scale: AS SHOWN
 Date: 07/20/07

Project
HARRISON HOTEL
 1415 Harrison Street
 Oakland, CA 94612

Project
 WEST ELEVATION
 1/8" = 1'-0"
A3.12
 07/20/07



1 TYPICAL FLOOR (4TH-7TH) RCP
1/4" = 1'-0"

Architect
Gelfand Partners
ARCHITECTS
165 Tenth Street Suite 100
San Francisco, CA 94103
Tel: 415 348 4040
Fax: 415 348 4103
www.gelfandpartners.com

Project Team
OWNER: Pacific Gas & Electric
2200 Broadway
San Francisco, CA 94133
Tel: 415 774 4444
Fax: 415 774 3333
ARCHITECT: Gelfand Partners
165 Tenth Street Suite 100
San Francisco, CA 94103
Tel: 415 348 4040
Fax: 415 348 4103
MECHANICAL/PLUMBING: Engineers 201 LLC
201 Broadway
San Francisco, CA 94102
Tel: 415 224 1400
ELECTRICAL: S&B Consulting
2200 Broadway, Suite 202
San Francisco, CA 94133
Tel: 415 774 3333

Key Plan

Drawing Record

Revision	By	Date
1	MM/RS/STP	10/20/07
2	MM/RS/STP	10/20/07
3	MM/RS/STP	10/20/07
4	MM/RS/STP	10/20/07
5	MM/RS/STP	10/20/07
6	MM/RS/STP	10/20/07
7	MM/RS/STP	10/20/07
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10	MM/RS/STP	10/20/07
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19	MM/RS/STP	10/20/07
20	MM/RS/STP	10/20/07

Period: 01/27/07 12:05:59 PM

Architect & Engineer Seal
Gelfand Partners
165 Tenth Street Suite 100
San Francisco, CA 94103
Tel: 415 348 4040
Fax: 415 348 4103

SHEET NOTES

- PRESERVE (E) STRUCTURE TO REMAIN - PROVIDE SHORING & BRACING AS REQUIRED
- PRESERVE (E) UTILITIES TO REMAIN - INCLUDING ELECTRICAL LIGHTING, PLUMBING, MECHANICAL, FIRE PROTECTION & LOW VOLTAGE INFRASTRUCTURE & DEVICES
- PRESERVE (E) WALLS & DOORS TO REMAIN - PROTECT FINISHES TO REMAIN
- PROVIDE (N) FLOORING AT APARTMENTS
- PROVIDE WINDOW BLINDS AT ALL WINDOWS

KEYNOTES

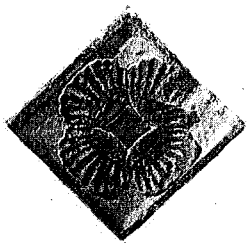
- REPLACE (E) SMOKE DETECTOR WITH HARDWIRED SMOKE DETECTOR
- REPLACE (E) HIGH-EFFICIENCY FIXTURE IN PLACE

LEGEND

- EXISTING WALL TO BE PRESERVED
- WALL
- DOOR FRAME IN NEW WALL
- NEW DOOR - EXISTING FRAME & HALL TO BE PRESERVED
- EXISTING DOOR TO BE PRESERVED
- CEILING PATCH OFF RD CLO & DRAFT

Project
HARRISON HOTEL
1415 Harrison Street
Oakland, CA 94612

1519
Sheet
TYPICAL FLOOR (4TH-7TH) RCP
A5.13



EVANS & DE SHAZO
ARCHAEOLOGY & HISTORIC PRESERVATION

**SECRETARY OF INTERIOR'S STANDARDS
REVIEW OF THE 1914 HARRISON HOTEL
LOCATED AT 1415 HARRISON STREET,
OAKLAND, ALAMEDA COUNTY,
CALIFORNIA**

SUBMITTED TO:

RCD

SUBMITTED BY:

Stacey De Shazo, M.A.
Principal Architectural Historian
stacey@evans-deshazo.com

Updated June 13, 2017

Evans & De Shazo
6876 Sebastopol Avenue
Sebastopol, CA 95472
707-812-7400

www.evans-deshazo.com



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INTRODUCTION

Evans & De Shazo, Inc (EDS) was contracted by RCD to provide a Secretary of Interior's Standards for Rehabilitation (Standards) review of the 1914 Hotel Harrison located at 1415 Harrison Street, Oakland, Alameda County, California within Assessor's Parcel Number (APN) 008-325-045. The potential project consists of a rehabilitation of Hotel Harrison for low-income housing and is subject to review under Section 106 of the National Historic Preservation Act (NHPA) and the City of Oakland Historic Preservation Element of the General Plan. The Hotel Harrison is listed in the National Register of Historic Places (NRHP) and the California Register of Historical Resource (CRHR) as a contributor to the Harrison and Fifteenth Street Historic District, and has an Oakland Cultural Heritage Rating of B+1+: "B" meaning, "major importance: especially fine architectural example, major historical importance" and "1" meaning, in an Area of Primary Importance; and "+" meaning that the building is a contributor to the locally listed Coit Building Group district.

EDS Principal Architectural Historian, Stacey De Shazo, M.A. in Historic Preservation, who exceeds the Secretary of Interior's professional qualification standards in Architectural History and History, completed the following Standards review. Draft project plans were submitted to EDS by Gelfand Partners Architects and a proposed Scope of Work (SOW) was also submitted by Resources for Community Development (RCD Housing), which were utilized for this Standards review. The proposed Project SOW includes details regarding the proposed changes to the building that are addressed within the Standards analysis section of this report.

PROJECT DESCRIPTION

RCD is proposing to rehabilitate the 1914 Hotel Harrison building located at 1415 Harrison Street, Oakland, Alameda County. The Hotel Harrison consists of seven-floors that includes two, first story commercial spaces, and 81 single room occupancy (SRO) rental units located on the upper six floors. The proposed project entails rehabilitating of the 1914 building low-income housing units, with the storefronts remaining as commercial spaces. The proposed SOW consists of seismic upgrades that includes additional steel brace frames (stories 1-3 already consists of have framing) that will be visible from the street view along the south and west elevations, the addition of a new exterior primary façade door that will allow access to the basement that will match existing doors in size and materials along the primary facade, and exterior lighting that will be period appropriate. Additional exterior restoration includes cleaning and repair work and the restoration of the "Hotel Harrison" blade sign (Table 1). The proposed interior SOW consists the rehabilitation of the lobby of the hotel that includes the relocation of the property manager's office, the rehabilitation of the 81-units which includes the removal and replacement of kitchenettes and the addition of new kitchenettes to units that currently do not have them. Additional work within the interior includes electrical, plumbing, flooring, lighting, and painting work as needed to support the unit rehabilitation work.

Details regarding the SOW are located within Table 1 and are addressed within the Standards analysis section of this report.



Table 1. SOW details, based on current preliminary designs submitted to EDS by Gelfand Partners Architects.

SCOPE OF WORK				
Exterior	Structural	Electrical	Interior	Mechanical Scope and Plumbing/Sprinkler
<ul style="list-style-type: none"> • Addition of new storefront windows to match the existing storefronts • Restoration of a section of clerestory along the primary façade • updated exterior lighting as needed • Basement egress to exterior along east elevation (primary façade) • Cleaning, maintenance, and repair work as needed • Restoration of the "Hotel Harrison" blade sign 	<ul style="list-style-type: none"> • Construction of mini-piles installed in the basement area up to a depth of 35 feet (piles are 8 inches in diameter) • Reinforcement of existing steel bracing on floors one through three • Install seismic bracing and/or concrete reinforcement on upper floor. 	<ul style="list-style-type: none"> • Install Lobby and common area T-12 light fixtures: Replace with LED or T-8 lights and occupancy controls • Install smoke detectors • Install security camera system. throughout • Install Carbon Monoxide detectors 	<ul style="list-style-type: none"> • Replace apartment kitchenettes • Provide kitchenettes at apartments that do not have them • Replace other cabinetry in apartments • Replace flooring at apartments (existing = vinyl sheet, some carpet and original penny tile within the bathrooms) • Replace flooring at common areas • Provide elevator upgrades • Replace ram, pump/piping, some cab equipment • Replace non-historic apartment window blinds • Provide minor accessibility upgrades to unit interiors • Paint Interior • Provide trash chute in existing shaft, trash rooms at residential floors 	<ul style="list-style-type: none"> • Implement temperature and humidity monitoring. • Install duct Bathroom exhaust fans to exterior west elevation, provide new shaft to roof, replace with Energy Star exhaust fans. • Install energy-efficient cooking systems. • Install energy-efficient ventilation for apartment bathrooms • Install new exhaust fan at roof for trash chute in shaft. • Replace kitchenette sinks/faucets at replaced kitchenettes • Replace remaining



SCOPE OF WORK				
Exterior	Structural	Electrical	Interior	Mechanical Scope and Plumbing/Sprinkler
				clawfoot tubs with fiberglass surround and fixtures <ul style="list-style-type: none">• Install energy efficient water heaters in the basement.• Replace water boiler with hybrid heat pump model• Relocate hydronic heating supply/return pipes

REGULATORY COMPLIANCE

NATIONAL REGISTER LISTED AND ELIGIBLE PROPERTIES

The Secretary of Interior guidelines for Historic Preservation treats National Register-listed and eligible buildings in one of four ways: preservation, restoration, rehabilitation, or reconstruction. The Hotel Harrison is proposed as a rehabilitation project and so it must comply with the Standards.

The Secretary of Interior Standards for Rehabilitation

The Standards (Department of Interior regulations, 36 CFR 67) defines "Rehabilitation" as "the process of returning a property to a state of utility, through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its historic, architectural, and cultural values." Generally, a project that follows the *Secretary of the Interiors Standards for Rehabilitation* is considered to have mitigated adverse impacts on the historical resource to a less-than-significant level.

The Standards pertain to historic buildings of all materials, construction types, sizes, and occupancy, and encompass the exterior and the interior, related landscape features and the building's site and



environment, as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility. The Standards state:

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

LOCAL REGULATIONS

Oakland consists of historic buildings and neighborhoods that are protected by the City of Oakland Historic Preservation Element within the General Plan, which is detailed in the following subsection.



City of Oakland Historic Preservation Element

In 1994, the City of Oakland adopted a Historic Preservation Element as part of its General Plan. The Element is based on two broad "Goals": to "use historic preservation to foster economic vitality and quality of life," and to "prevent unnecessary destruction of properties of special historical, cultural, and aesthetic value." The Element spells out these goals through policies and actions that govern how the City will treat "Designated Historic Properties" (DHPs: landmarks, districts, and Heritage Properties) and "Potential Designated Historic Properties" (PDHPs).

The City has adopted these policies because it believes historic preservation offers many important benefits, including:

- Urban revitalization
- Employment opportunities
- Cost-effective affordable housing
- Economic development opportunities
- Community identity and image
- Educational, cultural, and artistic values

Areas of Primary Importance (APIs) are historically or visually cohesive areas or property groups which usually contain a high proportion of individual properties with ratings of "C" or higher, and appears eligible for the NRHP either as a district or as a historically-related complex. At least two-thirds of the properties in an API must be "contributors" to the API (i.e. they reflect the API's principal historical or architectural themes and have not had their character changed by major alterations). Properties which do not contribute to an API because of alterations, but which could contribute if the alterations are at least partly reversed, are "potential contributors" to the API. Properties which do not reflect the API themes are "noncontributors."

Areas of Secondary Importance (ASIs) are like APIs, except: (1) potential contributors to the ASI are counted for purposes of the two-thirds threshold as well as contributors; and (2) ASIs do not appear eligible for the National Register.

The Hotel Harrison is located with an API.

METHODS

To ensure compliance with local ordinances and the Standards, EDS utilized a records search and review at the Northwest Information Center (NWIC) of the California Historical Resources Information Systems (CHRIS) (File #16-1636), as well as the Oakland Heritage Alliance Resources, City of Oakland Government Resources, California Historical Society, Online Archive of California, and various other online sources. Betty Marvin, Historic Preservation Planner for the City of Oakland, was also contacted via email to discuss the history of the building. EDS also conducted a field survey to assess the current condition of the Hotel Harrison and the surrounding Harrison and 15th Street Historic District. The field survey was conducted to identify character-defining features and materials of the building and to evaluate the current condition of the building to provide recommendations for the Standards review.



HISTORIC BACKGROUND

The following section provides a basic history of the Hotel Harrison, but is not intended to be a complete historic context statement or to provide complete documentation that would otherwise be included in a Historic Resource Evaluation.

HISTORY OF HOTEL HARRISON

The 1914 Hotel Harrison is a seven-story building designed in the Commercial architectural style with elements of Renaissance Revival and Beaus Arts style details. The building is representative of Oakland's early twentieth century downtown business and commercial development. The Hotel Harrison was designed by architects John Watson Olver and Leonard H. D. Thomas, and built by F.A. Muller; the original owner and developer was Roger Coit. John and Leonard are known for their collaborative work on the Harrison Hotel and the Oakland Free Market (Swan) building. According to the 1910 United States (U.S.) Federal Census, John was born in 1879 in Bristol, England and immigrated to the U.S. in 1905. Less than three years after the Hotel Harrison was constructed, John volunteered for service with the Canadian Over-seas Expeditionary Force during World War I (WWI). After his service in WWI ended, it appears that John returned to the Oakland area and continued work as an architect in Alameda County. Leonard was born in Otfort Vient, England in 1881 and immigrated to the U.S. with his parents and siblings in 1885. In 1915, Cartographer George Thomas (Leonard's younger brother), who wanted a better and easier way to map cities and other larger geographic areas, along with his brother's Gilbert Thomas and Leonard Thomas, started the Thomas Brothers Maps company. George, Gilbert, and Leonard first created their unique mapping system for the City of Oakland using a page and grid technique, which evolved into the Thomas Guide.

During the time of construction, the Hotel Harrison was part of an early twentieth century commercial block development in downtown Oakland that included a group of small scale buildings, such as the adjacent the Harrison Apartments, the Hotel Coit, the Dille Building, the Coit Commercial Block, the Mrs. A.E. White Building, and the Thompson Building. According to an article in Oakland Tribune, dated November 22, 1914, the Hotel Harrison was a project that "Will Bring Tourists" to the City of Oakland. During the 1915 Panama-Pacific International Exposition, the Hotel Harrison was headquarters and host to the educators on National Education Day at the exposition from Florida, Kentucky, North Carolina, South Carolina, Tennessee, and West Virginia. During the 1940s and 1950s the Hotel Harrison and the surrounding commercial block changed very little; however, the Hotel Harrison was modified along the storefront to keep up with the modern times and a change in use from a hotel to an SRO (Figure 2, Figure 3, and Figure 4).



Harrison Hotel, 14th and Harrison Street, Oakland, Calif.

OAKLAND, CALIFORNIA



Figure 1. Harrison Hotel postcard, ca. 1940
(Courtesy of the Oakland Heritage Alliance Resources).

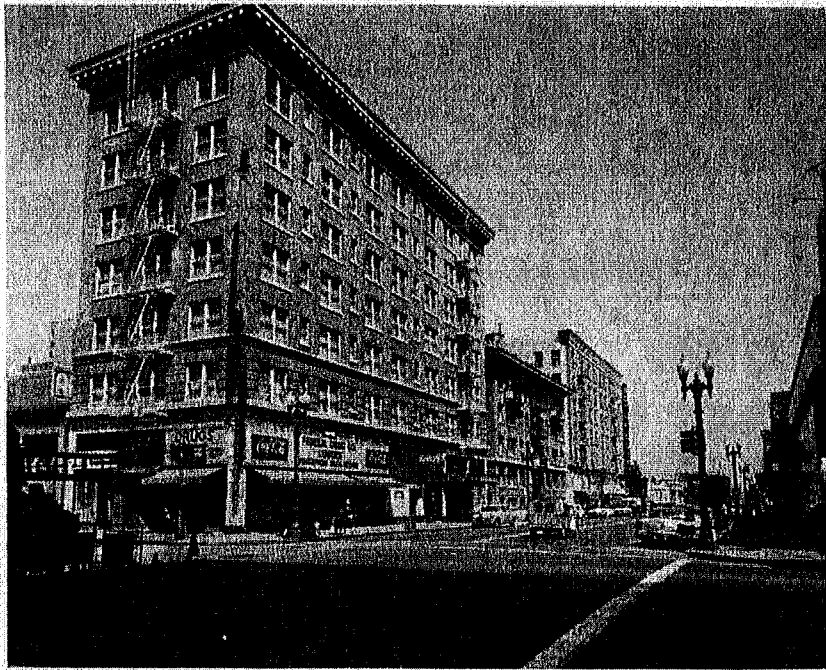


Figure 2. Photo showing the Hotel Harrison in 1958 (Courtesy of the Oakland Public Library).

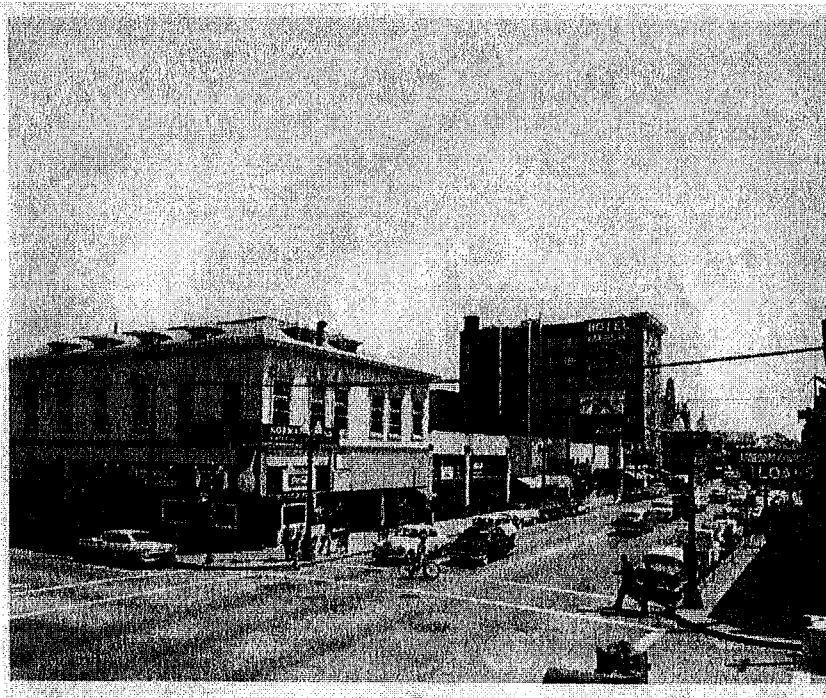


Figure 3. Photo showing the Hotel Harrison in 1958, along Webster and 14th streets
(Courtesy of the Oakland Public Library).



CURRENT CONDITION ASSESSMENT

On April 27, 2017, Stacey De Shazo, M.A. in Historic Preservation, conducted a current condition assessment and Standards review of the Hotel Harrison. A current condition assessment is a review of a property to help form an understanding of how the building is constructed, used, and maintained. The methods used to assess the current condition include survey and documentation of the condition of materials, elements, and spaces. The following current condition assessment begins with an overview of the Hotel Harrison and is followed by a review of character-defining features along each elevation and within the interior.

CURRENT CONDITION OVERVIEW

1914 Hotel Harrison

The 1914 Hotel Harrison is a seven-story, storefront Commercial style building with elements of early Renaissance Revival and Beaus Arts details, which is representative of Oakland's early twentieth century downtown business and commercial development. The building is situated on a 150-foot by 40-foot parcel and currently consists two storefronts, one located on the corner of 14th and Harrison streets and the other along 14th Street near the southwest corner of the building. The main entrance to the former hotel is located along Harrison Street and at a secondary entrance into the hotel that is not original. The exterior walls are constructed of tan pressed brick laid out in a Common Bond (aka American Bond) pattern with terra cotta trim. The roof consists of a wide overhang, a decorative cornice with dentil, and a decorative frieze designed in a herringbone brick pattern that stretches the length of the east and south elevations. The first story base of the building consists of mezzanine storefronts that are outlined with a band of white ornamental terracotta with a repeating pattern of lines and circles. The first floor consists of a low kneewall (aka splash panel) of black-green marble, and large expanses of plate glass windows that are enclosed in metal frames. There are original clerestory prism glass windows along the primary facade; however, some of the glass is not original. Also, the original clerestory along the south facade has been removed and replaced with metal awning windows. The corner storefront entrance is canted around a corner pier. The Hotel Harrison storefronts have been altered throughout the years, and photographic evidence shows that the original storefronts were in place until at least 1958, as the storefront styles changed and were updated to provide a modern look. Because of changes that occurred to the storefronts in the 1950s, and more recent changes in the 1980s and the 1990s; some of the original storefront details, including the ornamental marquee, are no longer present. There are two fire escapes on the building, one along Harrison Street, and one along 14th that are prominent features of the Hotel Harrison. Along the second floor through the seven floor, each "bay" consists of paired single-hung wood windows and punched wood windows. The wood windows are not original to the building, but were replaced during rehabilitation work in 2005. There is an original blade-and-neon HOTEL sign that is affixed diagonally from the southeast corner of the building that dates to 1929. Additional, elements along the west elevation includes the painted "Hotel Harrison" sign along the seventh story, and rough laid brick along the west elevation. The interior lobby of the hotel is accessed within two northern "bays" of the primary facade. Changes to the interior lobby appear to have occurred in the 1980s, 1990s, and 2000s and included the removal of the original grand staircase, front desk, and interior mezzanine level. General changes to the interior have included the addition of gray



marble wainscot, a half-flight of marble stairs, the relocation of the original elevator, and the addition of ornamental plaster. The interior of SRO units are located off narrow corridors with little to no ornamentation; however, some rooms still consist of original clawfoot bathtubs and bathroom tile.

East Elevation (Primary Façade)

The east elevation, located along Harrison Street, consists of a first story base that consists of the primary entrance to the SRO housing units located within the former hotel, as well as corner storefront (Figure 5). To assist with the understanding of the current condition of the first story of the east elevation as it relates to the proposed Project, Table 2 is provided that includes important character-defining features, current condition, and recommendations in accordance with the Standards. Additionally, below Table 2, are photographs associated with the character-defining features that have been identified. There are no proposed changes that would affect the exterior of the remaining six stories (two through seven); therefore, they are not included in the following table.

Table 2. SOW details, based on current preliminary designs submitted to EDS by Gelfand Partners Architects.

Character-defining features	Current Condition	Current Condition Status	Recommended Treatment
Marble kneewalls (aka splash panels) (Figure 6)	There are original marble kneewalls along the east elevation; however, it appears that some areas have been replaced.	Good	Preserve or Replace in-kind in accordance with the Standards.
Prism glass clerestory windows with “sawtooth” prism tiles arranged in a grid pattern (Figure 7)	The original prism glass clerestory windows are present along the east elevation; however, there is an original storefront section at the northeast corner of the building that consists of replacement fixed windows.	Good to fair, but needs restoration and maintenance.	Preserve, restore and replace in-kind in accordance with the Standards.
Hotel Harrison Blade and Neon sign (Figure 7)	The sign appears to have been added in 1920s, but falls within the period of significance.	The sign is fair to good condition.	Preserve and Restore in accordance with the Standards.
Art Deco style lights that frame the entry to the former grand entrance of the Hotel Menlo. (Figure 7)	It is unclear with these lights were added to the original entrance to the hotel. They may have been added after the marquee was removed in the 1990s.	Fair to good condition.	Not original. Needs further recommendations from the City of Oakland.



Character-defining features	Current Condition	Current Condition Status	Recommended Treatment
A portion of the corner storefront, storefront windows and storefront doors (Figure 8)	The east elevation consists of "modern", replacement, storefront windows and doors. Along the hotel and converted store front sections. However, the corner storefront appears to consist of the original doors.	The original store front windows and doors have been replaced with "modern" doors and windows. In addition, the original storefront opening adjacent and north of the main entrance to the hotel has been significantly altered.	The window are not original, but have been replaced in-kind in accordance with the Standards. If the current replacement windows need replacing they should be replaced in-kind.
Brick and Terracotta details (Figure 9)	The brick and terracotta work are important character-defining features of the building. They include Common Bond and herringbone pattern brick design below the roof cornice. There is also a band of white ornamental terracotta with a repeating pattern of lines and circles along the course belt that transitions the first and second stories.	Brick – good condition. There are some terracotta areas behind the sheet metal that have been painted or have a film. Terracotta –fair to good condition. Some areas have been painted and some are chipped and need repair.	Preserve and Restore in accordance with the Standards.
Decorative cornice, dentil, and frieze (Figure 9)	There is a decorative cornice, dentil, and frieze, with a herringbone pattern details that reminiscent of Renaissance Revival architecture.	Good condition.	Preserve and restore in accordance with the Standards.
Fire escape (Figure 9)	There is an original iron fire escape, with rounded iron railing and stairs along the east elevation.	Good condition.	Preserve and restore in accordance with the Standards.



Figure 4. Photo showing the east and south elevations, facing north/northwest.



Figure 5. Photo showing the marble kneewall and terracotta.



Figure 6. Photo showing the modified storefronts, clerestory, blade sign, and art deco style lights.

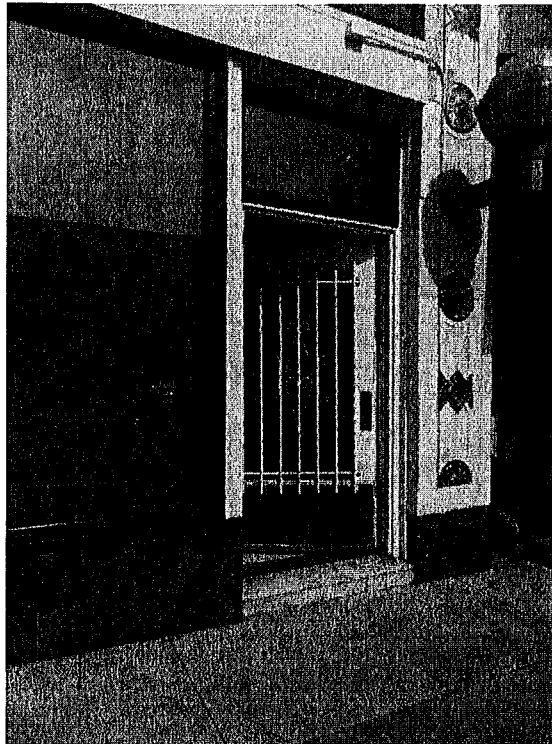


Figure 7. Photo showing the modified storefront entry.

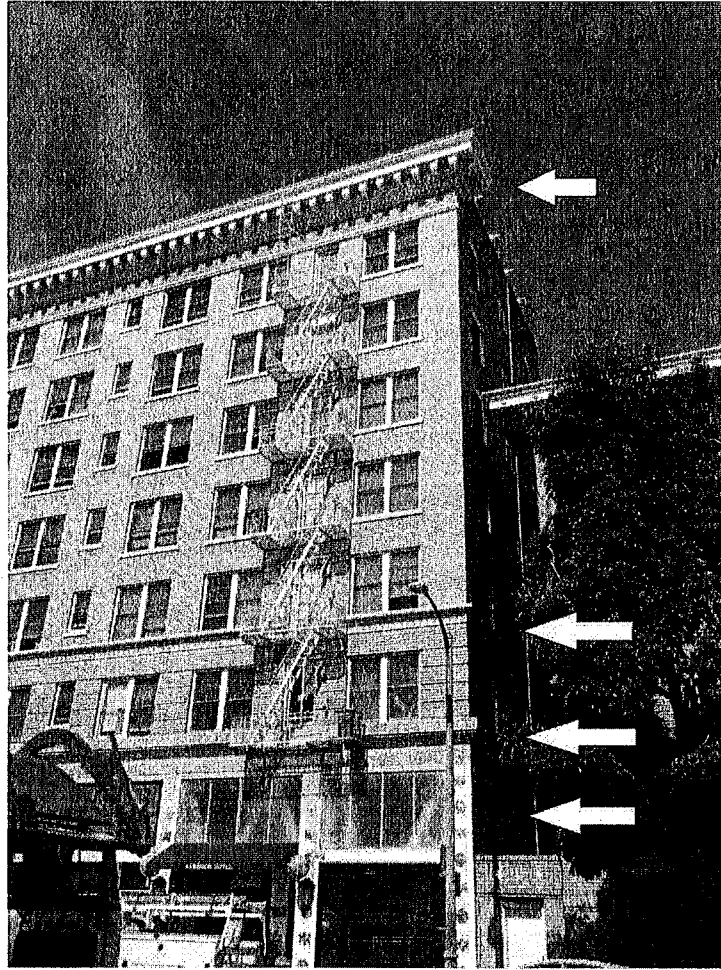


Figure 8. Photo showing decorative terracotta details and detailed cornice.

South Elevation (14th Street Façade)

The east elevation, located along 14th Street, consists of a narrow portion of the first story with one store front entry and a portion of the corner storefront. Table 3 below, highlights character-defining features, current condition, and recommendations in accordance with the Standards. Additionally, below Table 3 are photographs associated with the identified character-defining features. There are no proposed changes that would affect the remaining six stories (two through seven); therefore, they are not included in the following table.

Table 3. South Elevation, 14th Street Facade

Character-defining features	Current Status	Current Condition	Recommended Treatment
Marble kneewalls (aka splash panels) (Figure 10)	There are original marble kneewalls along the east elevation; however, it	Good	Preserve or Replace in-kind in accordance



Character-defining features	Current Status	Current Condition	Recommended Treatment
	appears that some areas have been replaced.		with the Standards.
A portion of the corner storefront, and modified storefront Windows and Doors (Figure 11)	The south elevation consists of the original corner storefront, and a modified storefront with "modern" windows and doors. The original corner storefront consists an original recessed entry, original hexagon porcelain floor tile, and the original wood double doors.	The original store front windows and doors have been replaced with "modern" doors and windows. In addition, the original storefront opening adjacent and north of the main entrance to the hotel has been significantly altered.	The windows are not original, but have been replaced in-kind in accordance with the Standards. If the current replacement windows need replacing they should be replaced in-kind.
Brick and Terracotta details (Figure 12)	The brick and terracotta work are important character-defining features of the building. They include Common Bond and herringbone pattern brick design below the roof cornice. There is also a band of white ornamental terracotta with a repeating pattern of lines and circles along the course belt that transitions the first and second stories.	Brick – good condition. There are some terracotta areas behind the sheet metal that have been painted or have a film. Terracotta –fair to good condition. Some areas have been painted and some are chipped and need repair.	Preserve and Restore in accordance with the Standards.
Decorative cornice, dentil, and frieze (Figure 13)	There is a decorative cornice, dentil, and frieze, with a herringbone pattern details that reminiscent of Renaissance Revival architecture.	Good condition.	Preserve and restore in accordance with the Standards.
Fire escape (Figure 13)	There is an original iron fire escape with rounded iron railing and stairs along the east elevation.	Good condition.	Preserve and restore in accordance with the Standards.

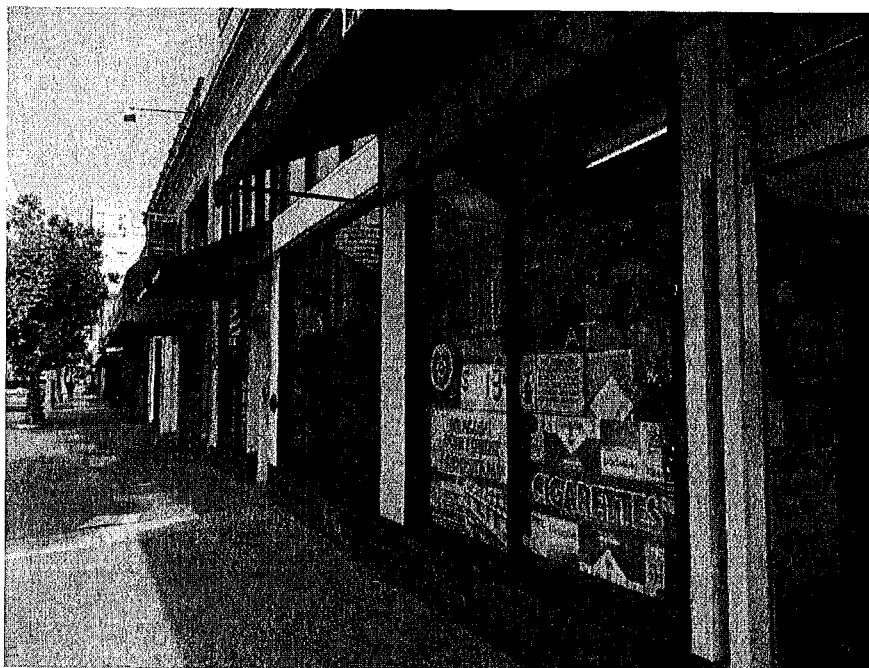


Figure 9. Photo showing the south elevation storefronts, facing north/northwest.

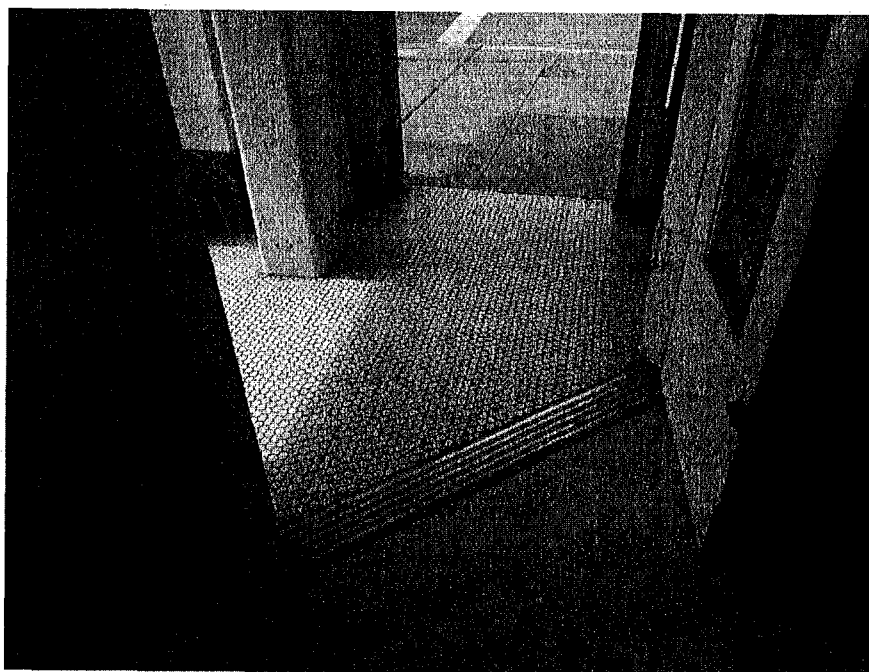


Figure 10. Photo showing the original corner storefront entry, porcelain tiles, doors.



Figure 11. Photo showing brick and terracotta details.

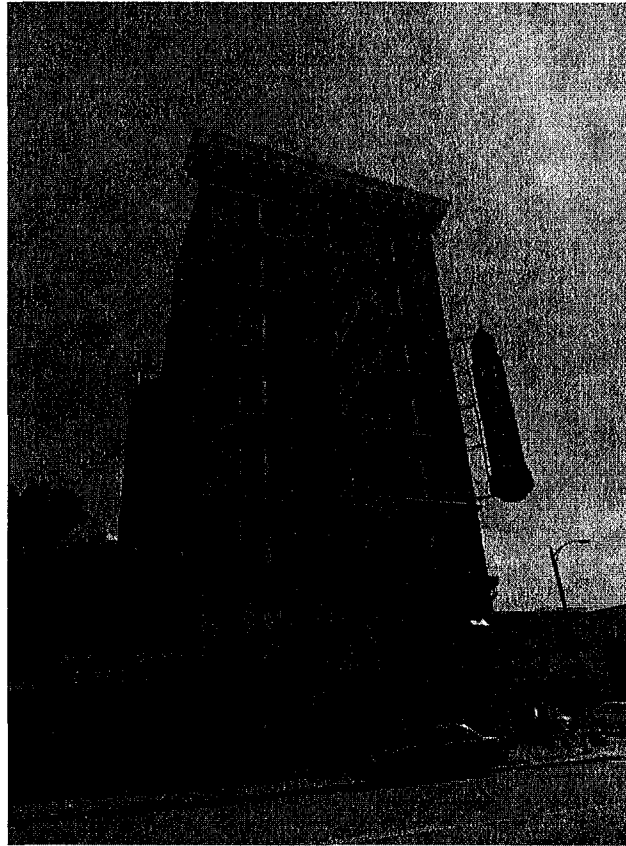


Figure 12. Photo showing the south elevation, facing northeast.



West Elevation

The west elevation is accessible from the street view along 14th Street. This is the “working” side of the building and there are limited character-defining features listed in Table 4

Table 4. West Elevation, visible along 14th Street.

Character-Defining features	Current Condition	Current Condition Status	Recommended Treatment
Brick masonry including color, texture and tooling (Figure 13)	The rough brick laid out in Common Bond pattern.	Good – based on street view visibility.	Preserve and Restore in accordance with the Standards.
Painted Hotel Harrison sign (Figure 13)	There is a painted “Hotel Harrison” sign along the seventh story that is a character-defining feature.	Good condition	Preserve and restore in accordance with the Standards.

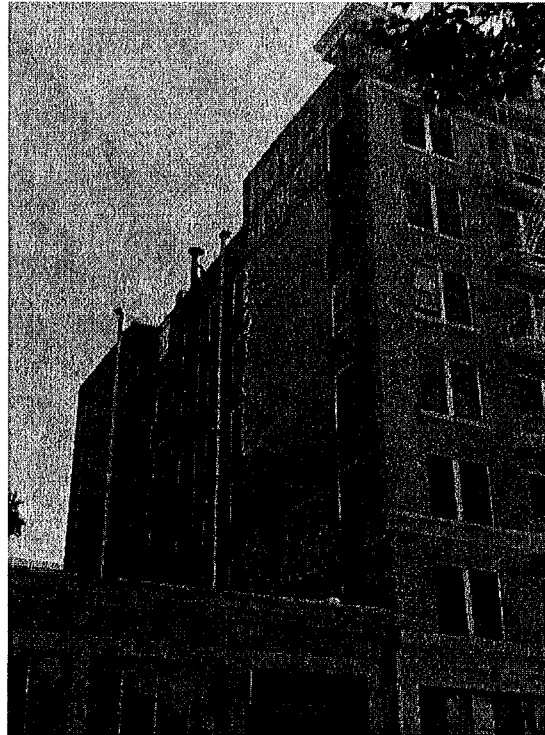


Figure 13. Photo showing the rough brick walls and “Hotel Harrison” sign.



North Elevation

The north elevation faces the exterior wall of the Harrison Apartments and was not accessible. What could be viewed from Harrison Street did not reveal any character-defining features.

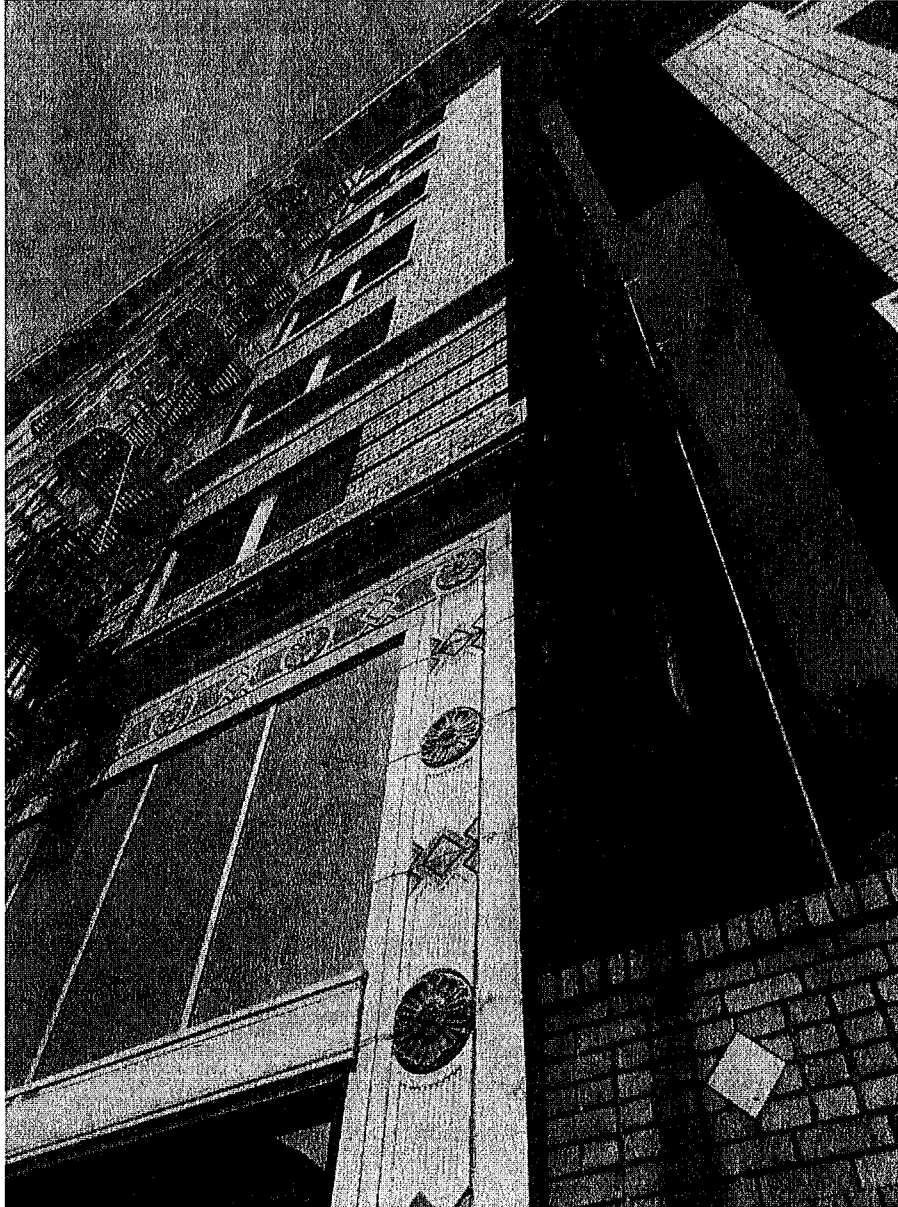


Figure 14. Photo showing the north elevation, adjacent to the Harrison Apartments.

Interior

The interior first floor lobby of the building is not original to the building and has been modified several times, most recently in 1995. There is possible evidence of some original plaster details; however, it is unclear if this is associated with the original lobby design from 1914. The units consist of rooms that



have been altered over-time; however, their general layout remains intact. Details regarding what remains of character-defining features include layout, porcelain tile bathroom floors, and clawfoot tubs. Although, the tubs are a part of the former hotel history, the Standards does not apply to the preservation of the clawfoot tubs in this case.

SECRETARY OF INTERIOR STANDARDS FOR REHABILITATION ANALYSIS

The Secretary of the Interior is responsible for establishing professional standards and providing advice on the preservation and protection of all cultural resources listed in or eligible for listing in the NRHP.

The following section addresses the project within the context of the Secretary of Interior Standards for the Treatment of Historic Properties, adopted by the City of Oakland. The Standards are presented in bold black and EDS' analysis is presented in blue.

- 1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.**

EDS Analysis: The building will be utilized as a low-incoming house that requires minimal changes to the character-defining features of the building that are identified within this report.

Evaluation: The Proposed Project complies with Standard 1.

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.**

EDS Analysis: The proposed Project plans for the Hotel Harrison are subject to review under Section 106, which will require compliance with the Standards for this project. Based on the potential Project that is still in the preliminary stage of development, it appears that the historic character will be retained and preserved. In addition, the new door along the primary facade will *not* require the removal of historic materials associated with the Hotel Harrison's period of significance from 1914 – 1929 or will not alter its status as a contributor to the Harrison and Fifteenth Streets Historic District.

Evaluation: Based on the preliminary design, the proposed Project does appear to comply with Standard 2.

- 3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.**

EDS Analysis: The Hotel Harrison proposed rehabilitation Project seeks to restore the exterior of the building. Proposed changes will not create a false sense of historic development, add conjectural features, or architectural elements from other buildings. The proposed plan calls for the addition of a previously non-existing, new primary façade door, which will allow access to the basement, which will alleviate the need to access the basement through the main entrance lobby to the "hotel". EDS contacted SHPO to *discuss* the Standards and the addition of the door as well as the details proposed regarding the entry (see Figure 16 below). Based on the discussion, it is concluded that the addition of the new door and the entry to match the existing



storefront window and doors, new materials along the kneewall, and removal of a portion of the original clerestory along the east and south elevations. Changes have also occurred to the hotel lobby and the original storefront layout, and the number of storefronts has been reduced over the years. However, these changes occurred after the Hotel Harrison's period of significance from 1914 – 1929 and do not contribute to the historic significance of the Hotel as a contributor to the Harrison and Fifteenth Streets Historic District.

Evaluation: The Proposed Project complies with Standard 4.

5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.

EDS Analysis: All distinctive features, finishes, and construction techniques will be preserved, such as the masonry, original corner storefronts and remaining original store front along the south elevation, the clerestory windows, decorative brick and terracotta, and the decorative cornice, dentil, and fascia detail.

Evaluation: The Proposed Project complies with Standard 5.

6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials.

EDS Analysis: The Hotel Harrison rehabilitation Project seeks to preserve, restore, and replace in-kind distinctive features wherever possible.

Evaluation: The Proposed Project complies with Standard 6.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.

EDS Analysis: The Hotel Harrison will be cleaned in the gentlest means possible.

Evaluation: The Proposed Project complies with Standard 7.

8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.

EDS Analysis: An Archaeological Record Search and Sensitivity Analysis was conducted for Hotel Harrison by EDS Archaeologist, Sally Evans, M.A., RPA. The study revealed a high potential for historic and prehistoric archaeological resources to be located within the project area. A Treatment Plan following the Secretary of Interior Standards and Guidelines for Archaeology was recommended that includes pre-construction subsurface exploratory borings under the Hotel Harrison building to look for evidence of archaeological resources that could be eligible for the NRHP, and procedures to follow if significant archaeological resources are identified.

Evaluation: For the purposes of this Standards review, the proposed project complies with Standard 8.



9. ***New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.***

EDS Analysis: The proposed rehabilitation Project of the Hotel Harrison consists of seismic upgrades that includes steel brace frames that will be visible from the street view along the south and west elevations, as well as the addition of a new exterior primary façade door to allow access to the basement match the existing storefronts, and new exterior lighting. The Standards allows for changes that do not destroy historic materials that characterize a property and that support the retrofit of historic buildings to ensure their preservation. However, since the steel brace frames will be visible from the street view (similar to those already along floors 1-3), the visual impact must be assessed, as the Standards considers this change as well. As such, the steel brace frames have been designed to be minimally visible along a small number of windows along the east and south elevations. These spaces where the steel brace frames will be located are within areas that are considered less important spaces, which is directed by the Standards and provides for opportunities to ensure additional structural reinforcement during a seismic rehabilitation without having a significant adverse impact to the overall historic character. Similar local properties on the NRHP that underwent a steel brace seismic rehabilitation include the California Hotel in Oakland.

The proposed new primary façade entry door, which will lead to the basement, appears to comply with the Standards as the door is being located within a section of the building that has been previously modified, and no historic materials will be removed as a result of this modification.

Evaluation: For the purposes of this Standards review, the proposed project complies with Standard 9.

10. ***New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.***

EDS Analysis: There are no new additions or related new construction planned for the building that will affect its ability to convey significance.

Evaluation: The Proposed Project complies with Standard 10.

CONCLUSIONS AND RECOMMENDATIONS

The 1914 Hotel Harrison is a very good example of early twentieth century Commercial architectural style with design elements that include Renaissance Revival and Beaux Arts details. The building includes many prominent character-defining features that have been identified and detailed in this Standards review. In addition, the Standards review identified previous changes to the storefronts, removal of original clerestory windows, significant changes to the interior lobby, and the removal of the marques. It is also important to note that the storefront is typically the most prominent feature of any commercial



building, as it functions to advertise the business, and in many cases, allows pedestrians to view the interior of the businesses and shops prior to entering; therefore, modifications to the storefronts should be a priority.

The Standards review revealed that the current preliminary proposed Project design appears to comply with the Standards, which includes the addition of a new primary façade entry door that will provide direct access to the basement instead of through the main lobby.

The following details are also provided for consideration as the Project design evolves.

Four important preservation principles should be kept in mind when undertaking seismic retrofit projects:

- Historic features and materials, both structural and nonstructural, should be preserved and retained, not as museum artifacts, but to continue to fulfill their historic function to the greatest extent possible, and not be replaced wholesale in the process of seismic strengthening.
- If historic features and materials are damaged beyond repair, or must be removed during the retrofit, they should be replaced in kind or with compatible substitute materials. If they must be removed during the retrofit, they should be removed carefully and thoroughly documented to ensure they can be properly re-installed in their original location.
- New seismic retrofit systems should work in concert with the inherent strengths of the historic structural system, and, whether hidden or exposed, should respect the character and integrity of the historic building, be visually unobtrusive and compatible in design, and be selected and designed with due consideration to limiting the damage to historic features and materials during installation.
- Seismic work should be reversible whenever feasible to allow its removal for future installation of improved systems as well as repair of historic features and materials. Just as important as the assessment of the material and structural condition of a building is the careful identification of the interior and exterior features and components that help define its historic character. Establishing a protection and preservation plan that identifies significant interior spaces, features, and finishes is essential. Significant architectural elements include domes and atriums and important or highly-decorative features such as staircases, ornate ceilings, mosaics, murals (noting none of these features exist on the current building), and other historic treatments.

The placement of additional structural reinforcements should be carefully considered to avoid or appreciably minimize any impact on the building's significant or primary exterior and interior spaces. New structural elements should be located within interstitial or utilitarian spaces whenever possible. Alterations within secondary spaces are preferable to alterations of primary spaces, but care should be taken to preserve historic materials and character to the greatest extent feasible in these areas as well.



Appendix A

Preliminary Rehabilitation Plans

Appendix A

When To Consult With Tribes Under Section 106

Section 106 requires consultation with federally-recognized Indian tribes when a project may affect a historic property of religious and cultural significance to the tribe. Historic properties of religious and cultural significance include: archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places, traditional cultural landscapes, plant and animal communities, and buildings and structures with significant tribal association. The types of activities that may affect historic properties of religious and cultural significance include: ground disturbance (digging), new construction in undeveloped natural areas, introduction of incongruent visual, audible, or atmospheric changes, work on a building with significant tribal association, and transfer, lease or sale of properties of the types listed above.

If a project includes any of the types of activities below, invite tribes to consult:

- significant ground disturbance (digging)**
Examples: new sewer lines, utility lines (above and below ground), foundations, footings, grading, access roads
- new construction in undeveloped natural areas**
Examples: industrial-scale energy facilities, transmission lines, pipelines, or new recreational facilities, in undeveloped natural areas like mountaintops, canyons, islands, forests, native grasslands, etc., and housing, commercial, and industrial facilities in such areas
- incongruent visual changes**
Examples: construction of a focal point that is out of character with the surrounding natural area, impairment of the vista or viewshed from an observation point in the natural landscape, or impairment of the recognized historic scenic qualities of an area
- incongruent audible changes**
Examples: increase in noise levels above an acceptable standard in areas known for their quiet, contemplative experience
- incongruent atmospheric changes**
Examples: introduction of lights that create skyglow in an area with a dark night sky
- work on a building with significant tribal association**
Examples: rehabilitation, demolition or removal of a surviving ancient tribal structure or village, or a building or structure that there is reason to believe was the location of a significant tribal event, home of an important person, or that served as a tribal school or community hall
- transfer, lease or sale of a historic property of religious and cultural significance**
Example: transfer, lease or sale of properties that contain archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, plant and animal communities, or buildings and structures with significant tribal association
- None of the above apply**

Harrison Hotel
1415 Harrison Street, Oakland, CA 94612

Vern Miller, AEM Consulting

April 24, 2017

Project

Reviewed By

Date



Community Planning and Development

Tribal Directory Assessment Information



Contact Information for Tribes with Interests in Alameda County, California



1

Tribal Name	County Name
California Valley Miwok Tribe, California	Alameda

This tribe's contact information:

Contact Name	Title	Mailing Address	Work Phone	Fax Number	Cell Phone	Email Address	URL
Silvia Burley	Chairperson	4620 Shippee Lane Stockton, CA 95212-9231	(209) 931-4567	(209) 931-4333		office@cvmt.net	http://www.californiavalleymiwoktribe-nsn.gov

1

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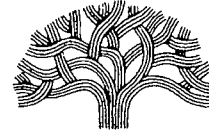
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U.S. Department of Housing and Urban Development
 451 7th Street S.W., Washington, DC 20410
 Telephone: (202) 708-1112 TTY: (202) 708-1455
[Find the address of the HUD office near you](#)

CITY OF OAKLAND



250 FRANK H. OGAWA PLAZA, SUITE 3315 • OAKLAND, CALIFORNIA 94612-2032

Department of Planning and Building
Bureau of Planning, Historic Preservation Division

(510) 238-3941
FAX 510) 238-6538
TDD (510) 839-6451

April 25, 2017

Chairperson Silvia Burley
California Valley Miwok Tribe
4620 Shippee Lane
Stockton, CA 95212-9231

Re: Harrison Hotel, 1415 Harrison Street, Oakland, Alameda County, California 94612
HUD Moving to Work funds – Oakland Housing Authority

Dear Chairperson Burley,

The City of Oakland is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Under regulation 24 CFR 58.4, the City has assumed HUD's environmental review responsibilities for the project, including tribal consultation related to historic properties, on behalf of HUD and the Oakland Housing Authority. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, and buildings and structures with significant tribal association.

The City will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days? If you have any initial concerns with impacts of the project on religious or cultural properties, can you please note them in your response?

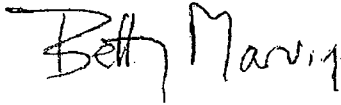
Enclosed are maps showing the project area. Resources for Community Development proposes to rehabilitate the Harrison Hotel, an 81 unit residential Single Room Occupancy (SRO) building with two ground floor commercial spaces located at 1415 Harrison Street in Oakland, Alameda County, California 94612. The building is seven stories high on a 0.10-acre site (APN 008-0625-045). The project seeks to rehabilitate the hotel to add seismic upgrades and add kitchenettes to each unit. Approximately 50% of the units were previously renovated and the remaining units will be upgraded with new energy efficient features, new flooring, paint, and cabinets. Units will have upgraded plumbing and electrical where needed. The exterior will be cleaned and repaired, with new lighting and restoration of the exterior blade sign. The building foundation will require mini-piles (eight inches in diameter) for structural reinforcing,

driven up to 35 feet deep. Therefore the possibility exists of unearthing previously undiscovered cultural resources.

More information on the Section 106 review process is available at http://www.comcon.org/sites/default/files/historic_preservation/. HUD's process for tribal consultation under Section 106 is described in a Notice available at http://portal.hud.gov/hudportal/HUD?src=/program_offices/comm_planning/environment/atec.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation? Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Sincerely,

A handwritten signature in black ink that reads "Betty Marvin". The signature is written in a cursive, slightly slanted style.

Betty Marvin
Historic Preservation Planner
(510) 238-6879
bmarvin@oaklandnet.com

enclosures



April 25, 2017

Native American Heritage Commission
1550 Harbor Blvd., Suite 100
West Sacramento, CA 95691

VIA EMAIL: NAHC@nahc.ca.gov

Dear NAHC:

Our firm is conducting a cultural resources evaluation for a rehabilitation project in Oakland, Alameda County, California. We are seeking information from the Native American Heritage Commission regarding possible sacred lands and other cultural sites within the project area. We would also like to obtain a list of individuals whom it would be appropriate to contact regarding this project.

County: Alameda County
USGS Map: OAKLAND WEST 7.5' Quadrangle
Township: T - 1 S
Range: R - 4 W
Section: 35

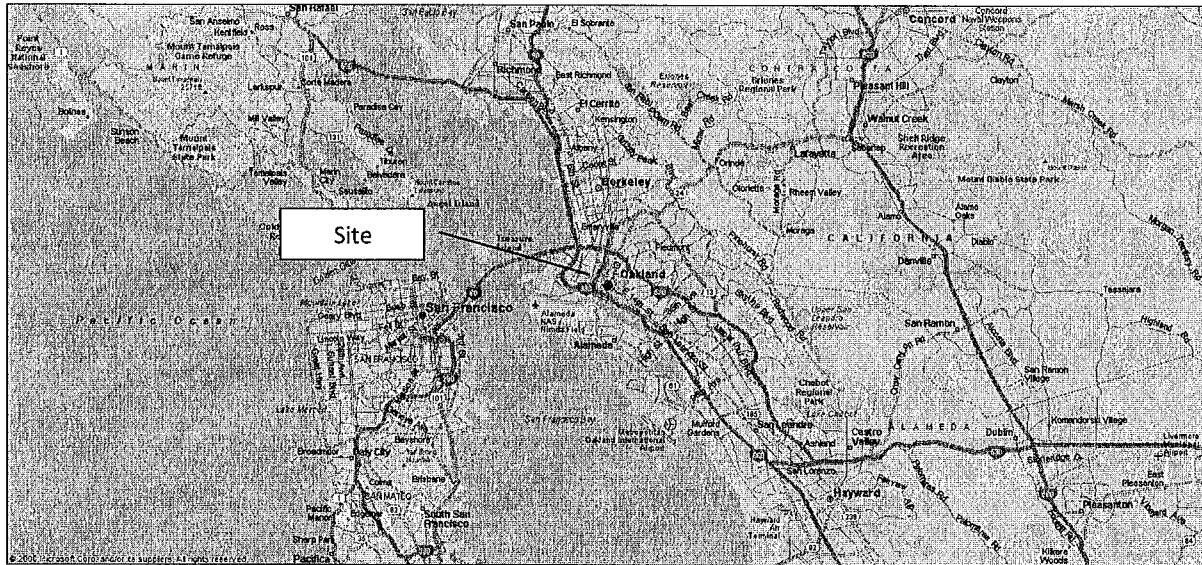
The project is proposed for federal funding, in part, with U.S. HUD program funds, as administered by the City of Oakland. Resources for Community Development proposes to rehabilitate the Harrison Hotel located at 1415 Harrison Street, Oakland, California 94612 (APN 008-0625-045). The building was constructed in 1914 and will require seismic upgrades including mini-pile driving (8 inch diameter piles) to a depth of up to 35 feet (35') in the basement area. We are contacting your office to determine if the project could affect any known or potential buried resources.

Please contact me by phone (707) 523-3710, our new FAX number (707) 595-5098, or email ccrake@aemconsulting.net if you have any questions or need additional information. Thank you for your time and attention to this matter.

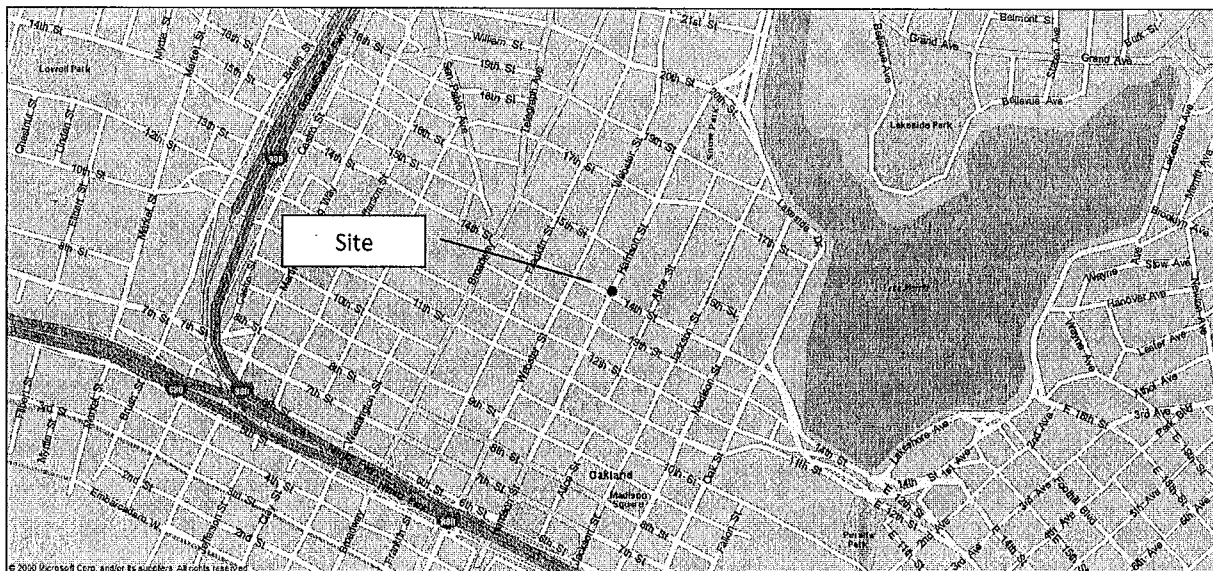
Sincerely,

Cinnamon Crake, Associate

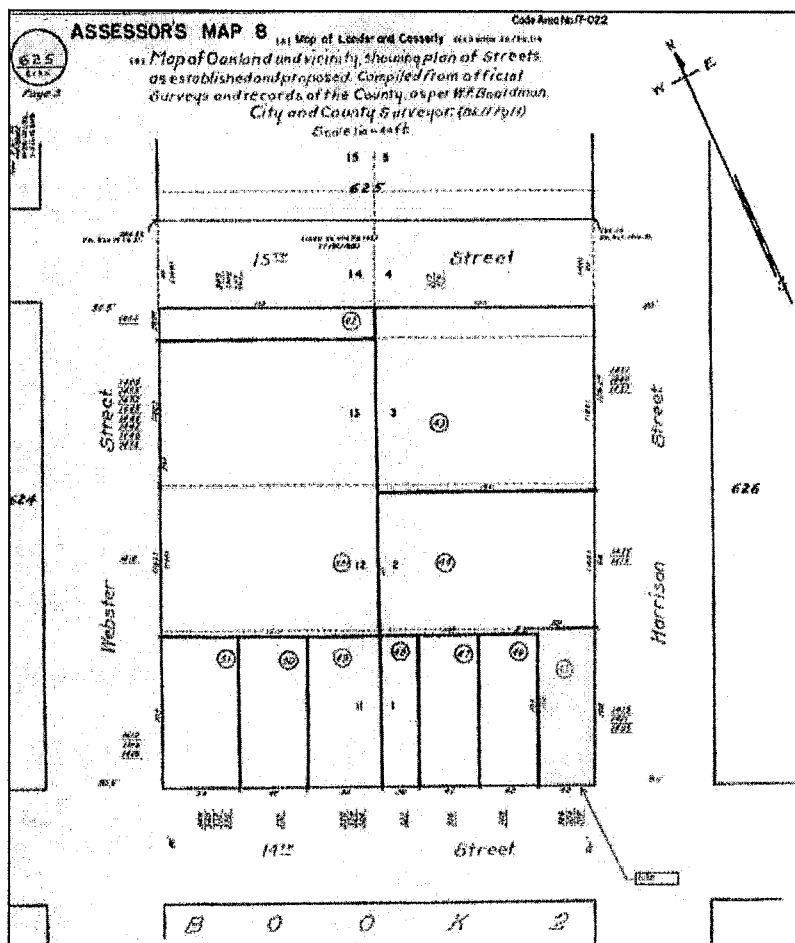
AEM Consulting



Map 1 Region



Map 2 Detail



Map 3 Assessor Parcel Map

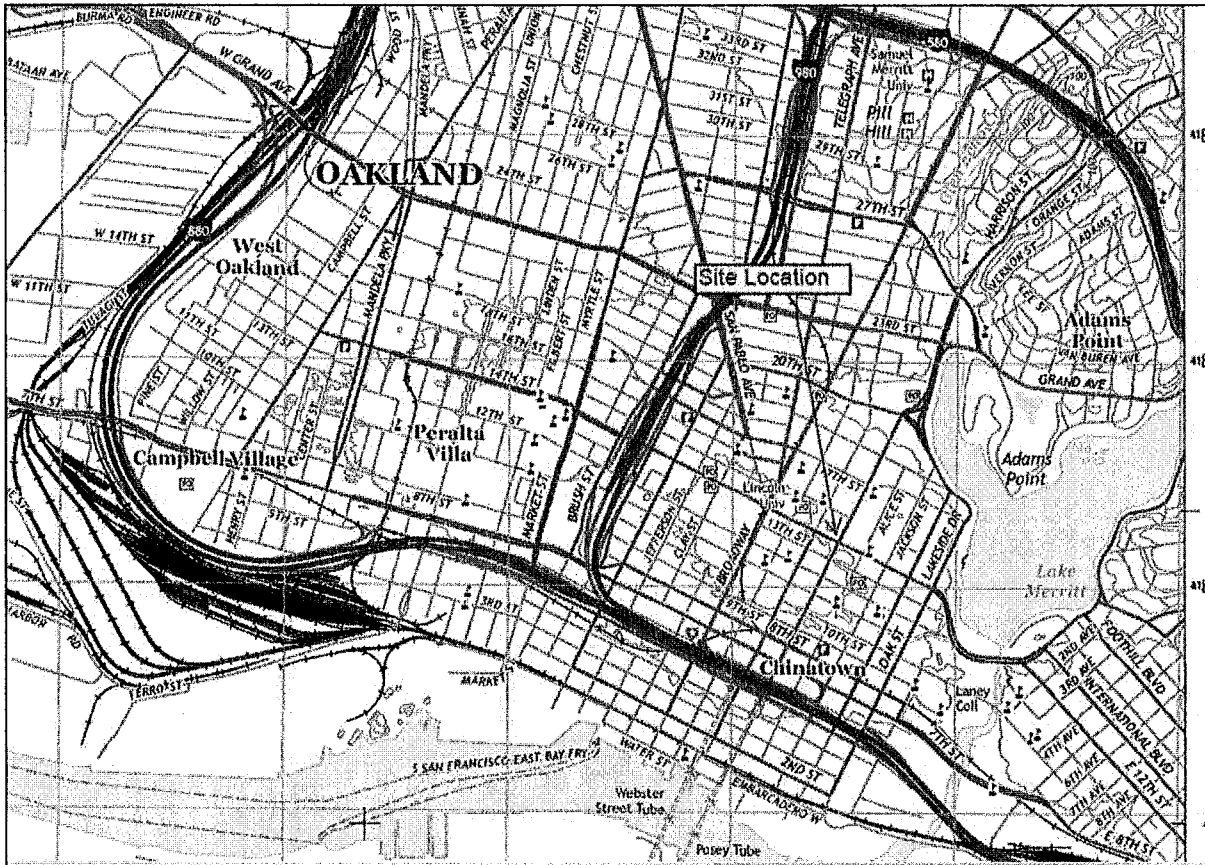
Latitude/Longitude 37.8034°N, 122.2675°W (37°, 48', 12.2" N; 122°, 16', 3.0" W)
 The legal description is: California, Mt. Diablo Meridian T1S,R4W,sec35
 UTM zone 10 (X,Y) 564484 , 4184252

The elevation is 0 m (0 ft)
 The gradient is: 0.0 percent
 There is no aspect direction.
 The local roughness is: 0.3 or slight
 The location as decimal degrees (X,Y;Z) = -122.2675, 37.8034; 0 m

The state and county are California: Alameda County 6001
 The HUC is San Francisco Bay 18050004; Place point in HUC
 The Omernik ecoregion is Southern and Central California Plains and Hills (less typical) 6
 The 1:100,000 map (if available); Switch to TerraServer
 Zoom on that location with radius = 2 km ; 5 km ; 10 km ; 20 km ; 30 km ; custom.

Figure 1 Additional Location Information

Harrison Hotel
1415 Harrison Street, Oakland, Alameda County, California 94612



Map 4 U.S.G.S. Topographic Map – Oakland WEST 7.5" Series

NATIVE AMERICAN HERITAGE COMMISSION

Environmental and Cultural Department
1550 Harbor Blvd., ROOM 100
West SACRAMENTO, CA 95691
(916) 373-3710
Fax (916) 373-5471



April 27, 2017

Cinnamon Crake
AEM Consulting

Email to: ccrake@aemconsulting.net

RE: Rehabilitation Project, Oakland, CA; Alameda County

Dear Ms. Crake,

A record search of the Native American Heritage Commission (NAHC) Sacred Lands File (SLF) was completed for the information you have submitted for the above referenced project. The results were negative. However, the absence of specific site information in the SLF does not preclude the presence of cultural resources in any project area. Other sources for cultural resources should also be contacted for information regarding known and/or recorded sites.

Enclosed is a list of Native Americans tribes who may have knowledge of cultural resources in the project area. I suggest you contact all of those indicated, if they cannot supply information, they might recommend others with specific knowledge. By contacting all those listed, your organization will be better able to respond to claims of failure to consult with the appropriate tribe. If a response has not been received within two weeks of notification, the Commission requests that you follow-up with a telephone call to ensure that the project information has been received.

If you receive notification of change of addresses and phone numbers from any of these tribes, please notify me. With your assistance we are able to assure that our lists contain current information. If you have any questions or need additional information, please contact me at frank.lienert@nahc.ca.gov.

Sincerely,

A handwritten signature in black ink, appearing to read "Frank Lienert", written over a horizontal line.

Frank Lienert
Associate Governmental Program Analyst

**Native American Heritage Commission
Native American Contacts
4/27/2017**

Coastanoan Rumsen Carmel Tribe
Tony Cerda, Chairperson
244 E. 1st Street Ohlone/Costanoan
Pomona , CA 91766
rumsen@aol.com
(909) 524-8041 Cell
(909) 629-6081

Indian Canyon Mutsun Band of Costanoan
Ann Marie Sayers, Chairperson
P.O. Box 28 Ohlone/Costanoan
Hollister , CA 95024
ams@indiancanyon.org
(831) 637-4238

Amah Mutsun Tribal Band of Mission San Juan Bautista
Irene Zwielerlein, Chairperson
789 Canada Road Ohlone/Costanoan
Woodside , CA 94062
amahmutsuntribal@gmail.com
(650) 851-7489 Cell
(650) 851-7747 Office
(650) 332-1526 Fax

North Valley Yokuts Tribe
Katherine Erolinda Perez, Chairperson
P.O. Box 717 Ohlone/Costanoan
Linden , CA 95236 Northern Valley Yokuts
canutes@verizon.net Bay Miwok
(209) 887-3415

Muwekma Ohlone Indian Tribe of the SF Bay Area
Rosemary Cambra, Chairperson
P.O. Box 360791 Ohlone / Costanoan
Milpitas , CA 95036
muwekma@muwekma.org
(408) 314-1898
(510) 581-5194

The Ohlone Indian Tribe
Andrew Galvan
P.O. Box 3152 Ohlone/Costanoan
Fremont , CA 94539 Bay Miwok
chochenyo@AOL.com Plains Miwok
(510) 882-0527 Cell Patwin

(510) 687-9393 Fax

This list is current only as of the date of this document and is based on the information available to the Commission on the date it was produced.

Distribution of this list does not relieve any person of statutory responsibility as defined in Section 7050.5 of the Health and Safety Code, Section 5097.94 of the Public Resource Section 5097.98 of the Public Resources Code

This list is only applicable for contacting local Native Americans with regard to cultural resources assessments for the updated contact list for Rehabilitation Project, Oakland, CA; Alameda County



April 25, 2017

Cinnamon Crake
AEM Consulting
310 Pacific Heights Drive
Santa Rosa, CA 95403

RE: Archaeological Record Search and Sensitivity Analysis for the Harrison Hotel Rehabilitation Project, 1415 Harrison Street, Oakland, Alameda County, California, 94612 (APN 008-0625-045).

Dear Ms. Crake,

EDS Principal Archaeologist, Sally Evans, M.A. conducted a record search and review and archaeological sensitivity analysis for the proposed Harrison Hotel rehabilitation project at 1415 Harrison Street in Oakland, Alameda County, California to determine the potential for archaeological resources to be affected by the proposed project. The purpose of the rehabilitation project is to convert the building from its current use as a Single Room Occupancy (SRO) that consists of four (4) ground floor commercial spaces and 81 upper floors unit, into low-income housing (Project). The proposed Project is subject to review under Section 106 of the National Historic Preservation Act (NHPA) of 1966 and its implementing regulations 36 CFR Part 800, and the City of Oakland historic preservation ordinances. The Area of Potential Effect (APE) for archaeology is the area that will be directly impacted by the proposed Project, which includes the 0.10-acre parcel that contains the 1914 Harrison Hotel building, known as Assessor's Parcel Number (APN) 008-0625-045 (Figure 1).

The 1914 Harrison Hotel building, recorded as P-01-003837, is listed in the National Register of Historic Places (NRHP) as a contributor to the Harrison and 15th Street Historic District (P-01-008497), and has a status code of 1D, indicating an individual property listed in the NRHP as a contributor to a district. It is also listed in the California Register of Historical Resource (CRHR) and has an Oakland Cultural Heritage Rating of B+1+: B: Major Importance: Especially fine architectural example, major historical importance; "1", in an Area of Primary Importance; and "+", Contributor to the Coit Building Group District (P-01-003841).

A Secretary of Interior's Standards for Rehabilitation (Standards) review is currently being conducted by EDS Principal Architectural Historian Stacey De Shazo, M.A. to ensure that the proposed Project alterations to the 1914 Harrison Hotel building comply with the Standards. The proposed Project for the 1914 Harrison Hotel rehabilitation includes seismic upgrades to the upper four floors (floors 4-7) that require mini-piles to be installed in the basement area up to a depth of 35 feet. The piles are 8 inches in diameter. To identify the potential for archaeological resources to be affected by installation of the mini-piles, EDS Principal Archaeologist Sally Evans conducted a record search and review, and an archaeological sensitivity analysis to determine if the proposed Project has the potential to affect significant archaeological resources. Ms. Evans is a Registered Professional Archaeologist (RPA #29300590) and meets the Secretary of Interior's qualification standards in Archaeology and History. The findings of the archaeological record search and sensitivity analysis are presented below.



Record Search and Review

The record search and review included information on file at the Northwest Information Center (NWIC) of the California Historical Resources Information Systems (CHRIS) in Rohnert Park, California (File #16-1636; Attachment 1), a review of historic maps, and a review of geoarchaeological, soils and geologic data for Oakland, Alameda County. The purpose of the NWIC record search was to two-fold; (1) to determine if the Project Area has been previously evaluated for archaeological resources, and (2) to obtain and review information for recorded archaeological resources and previous evaluations on properties located within a 1/4-mile of the APE. Historic maps, soils reports, geoarchaeological studies, and geologic maps were also reviewed to assess the potential for buried archaeological resources to be present below the building.

Results

The record search at the NWIC revealed that the APE has been previously evaluated for archaeological resources (S-44827 and S-47804). Study S-44827 (Kay 2012) includes a Cultural Resource Study as part of proposed installation of telecommunication structure on the Harrison Hotel building. The study included a record search, an evaluation of project-specific impacts to the Harrison Hotel building, but did not include an archaeological field survey. Study S-47804 (Losee 2016) includes a Cultural Resource Investigation conducted as part of a project that proposed an AT&T antennae and cellular equipment on the Harrison Hotel building. The study was conducted in accordance with the Nationwide Programmatic Agreement for the Collocation of Wireless Antennas (NPA), Section 106 of the NHPA, and the National Environmental Policy Act (NEPA). The study included a record search, an evaluation of project-specific impacts to the Harrison Hotel building, but did not include an archaeological field survey.

There have been sixteen (16) other cultural resource studies previously conducted within a 1/4-mile radius and twenty-nine (29) cultural resources have been recorded. The previous cultural resource studies are listed in Table 1 below.

Table 1: Cultural Resource Studies within a 1/4-mile of Project APE

NWIC #	Year	Title	Author(s)
9537	1987	Historic Property Survey Report for a Parcel at 1220 Harrison Street Between 12th and 13th Streets, City of Oakland, Alameda County, California	Donna M. Garaventa, Rebecca L. Anastasio Colin I. Busby Melody E. Tannam
11154	1989	Prehistoric Cultural Resource Evaluation for the Proposed Caltrans Headquarters Building in the City of Oakland, County of Alameda	Archaeological Resource Management
16863	1994	Archaeological Resources Investigation for the Oakland Administration Building Project, Oakland, California	Jan M. Hupman David Chaves
18536	1996	Archaeological Services, City Administration Building - Project L74021 Final Monitoring Report	Basin Research Associates
19714	1996	UCB President's Office Development	
23778	2000	Archaeological Resources Investigations for the EBMUD East Bayshore Recycled Water Project, Alameda County, California.	David Chavez Jan Hupman



NWIC #	Year	Title	Author(s)
24550	2001	Nextel Communications Evaluation of a Proposed Cellular Facility (Nextel Site Number CA-2403B-Alice/14th) in Oakland, California (letter report)	Lora Billat
24996	2001	Historic Property Survey and Historic Architectural Survey Report, the 14th Street & Broadway Transit Center Streetscape Improvements Project	Betty Marvin Gail Lombardi
28610	2003	Archaeological Survey and Records Search for the NSR MCI 1624 Franklin Street Fiber Optic Tie-In Project, Oakland, Alameda County (1303-01) (letter report)	Michelle St. Clair
32029	2006	Record Search Results and Site Visit for Cingular Wireless Project #12951: 276 11 th Street, Oakland, CA	Carolyn Losee
38249	2010	Historic Property Survey Report, the Alameda County Transit District's East Bay Bust Rapid Transit Project in Berkeley, Oakland, and San Leandro	Suzanne Baker
39656	2012	Cultural Resources Record Search and Site Visit Results for Sprint Nextel Candidate FN03XC008-C (Hein) 315 15 th Street, Oakland, Alameda County, California (letter report)	Carrie D. Wills Kathleen A. Crawford
39723	2012	Direct APE Historic Architectural Assessment for Spring Nextel Candidate FN03XC008-C (Hein), 315 15 th Street, Oakland, Alameda County, California (letter report)	Wayne H. Bonner Kathleen A. Crawford
40615	2012	Cultural Resources Records Search and Site Visit Results for T-Mobile West, LLC, Candidate BA02001A (PL001 Downtown Oakland), 1714 Franklin Street, Oakland, Alameda County, California (letter report)	Cher L. Peterson Kathleen A. Crawford
44827	2012	Submission Packet, FCC Form 621, for proposed Collocation Project, 1415 Harrison Street, Oakland, Alameda County, CA, 14 th Street & Harrison Street / CC4233, EBI Project Number: 61126449.	Kathryn Emmitt Kay
46409	2015	Historic Property Survey Report for the Lakeside Green Project, Oakland, Alameda County, California.	Robert S. Ramirez
46409a	2015	Historic Resource Evaluation Report for the lakeside Green Project, Oakland, Alameda County, California.	James Steely Hannah Haas
46409b	2015	Archaeological Survey Report for the Lakeside Green Streets Project, Oakland, Alameda County, California.	Robert S. Ramirez Hannah Haas
47274	2015	FCC Form 621, Collocation Submission Packet: Verizon Wireless Lake Merritt West-Alice Facility, 1501 & 1475 Alice Street, City of Oakland, County of Alameda, California.	Roderic McLean Mary Armstrong-Fiberg
47804	2016	Cultural Resources Investigation for AT&T Mobility CCL04233 "14 th Street & Harrison Street" 1415 Harrison Street, Oakland, Alameda County, California 94612.	Carolyn Losee



Of the twenty-nine (29) cultural resources recorded within a ¼-mile of the Project APE, four are archaeological resources and the rest are buildings. The archaeological resources recorded within a 1/4-mile of the APE include three historic-era resources, recorded as P-01-001530, P-01-010531, and P-01-010533, and one prehistoric resource recorded as P-01-010808 (also recorded as P-01-000042/CA-ALA-42). The archaeological resources recorded within a ¼-mile of the Project APE are described below.

- P-01-010530 consists of railroad ties and ballast located 11 inches and 25 inches below the current road surface of Webster Street between 10th and 12th streets. The ties and ballast are remnants of the former Southern Pacific narrow gauge railroad line that ran north-south along Webster Street (Way 2000a). The site is located approximately 400 feet southwest of the Project APE.
- P-01-010531 consists of additional features of an old trolley or railroad system that include portions of a railroad bed and ties encountered approximately 8 inches below the road surface during ground disturbing activities for a fiber-optic line installation project (Way and O'Rourke 2001). The archaeological remains were found on 11th Street near Broadway, approximately 0.25 miles to the west/southwest of the Project APE.
- P-01-010533 consists of a single infrastructural feature related to a subterranean saltwater fire suppression system installed ca. 1910 and abandoned in ca. 1930. The feature is comprised of a series of pipes on which five valves have been fitted that served as a manifold for controlling flow along the system (Way 2000b). The resource is located at the intersection of 12th and Franklin streets, approximately 935 feet west/southwest of the Project APE.
- P-01-010808 is a prehistoric site that was recorded based on articles found in the *San Francisco Chronicle*, dated July 1, 1928 and the *Oakland Tribune*, dated May 23, 1967 (Schwartz 2006). The 1928 *San Francisco Chronicle* newspaper article reported that a human burial was found during excavation for an elevator shaft in the basement of the Easton Building at 13th Street and Broadway. The burial was found approximately one foot beneath the concrete floor of the building. In 1967, a 50-pound bowl mortar approximately 20 inches by 18 inches in size was found during excavation of the 12th Street Bay Area Rapid Transit (BART) station. The mortar bowl was found between 13th and 14th Streets at a depth of approximately nine feet below the street surface. The NWIC assigned the same site number to the two finds due to their proximity; however, the location where the burial was found was previously recorded as P-01-000042 (CA-ALA-42). It is suspected that a more extensive archaeological site deposit may exist beneath Broadway between at least 13th and 14th Streets (Baker 2010). This site is located approximately 850 west/northwest of the Project APE.

Map Research

Historic maps were also reviewed to determine the potential for historic archaeological resources to be located within the APE. The following maps were reviewed, with a brief description of the results:

- 1857 Map of San Antonio Creek and Oakland, California prepared under the direction of A.D. Bache Superintendent of the Survey of the Coast of the United States: The Project APE is difficult to decipher on this map; however, it appears that the Project APE was vacant and forested, possibly with oak trees (Figure 2).



-
- 1889 Sanborn Fire Insurance map: Depicts a house (marked as a dwelling) and one outbuilding located within the Project APE (Figure 3).
 - 1912 Sanborn Fire Insurance map: Depicts a house (marked as a dwelling) and one outbuilding located within the Project APE, as well as a high-pressure fire main located along 14th Street (Figure 4).
 - 1912 Map of Oakland and vicinity published by the Realty Union, compiled from optical and other data by T. J. Allan; T. R. Morcom, draughtsman: Although buildings within blocks are not depicted, this map shows the vast network of trolley and railroad systems that traversed the streets of Oakland, including the San Francisco-Oakland terminal railways located along 12th and 13th streets and the former Southern Pacific narrow gauge railroad line that traveled north-south along Webster Street.
 - 1951 Sanborn Fire Insurance map: Depicts the seven-story 1914 Harrison Hotel is depicted as being present.

Geoarchaeological, Soils and Geologic Data

According to the United States Department of Agriculture Natural Resources Conservation Service Web Soil Survey (<http://websoilsurvey.sc.egov.usda.gov/App/WebSoilSurvey.aspx>), the soil within the Project APE consists of Urban land - Baywood complex that resides on beach ridges and is characterized by loamy sand to a depth of 60 inches. According to the U.S. Geologic Survey map of the 7.5-minute Oakland West quadrangle, the Project APE is situated on top of Merritt sand (Holocene and Pleistocene age), which is a landform consisting of fine-grained, very well sorted, well-drained eolian deposits located in western Alameda County. Previously thought to be only of Pleistocene age, the Merritt sand is intermixed with Holocene bay mud and presumably similar depositional environments associated with long-term sea-level fluctuations (Graymer 2000).

Meyer and Rosenthal's (2007) geoarchaeological study of nine Bay Area counties that included Alameda County provides a general overview of the relationship between buried archaeological sites and landscape changes that have occurred over the last 13,000 years to provide information on the location and types of landforms that are likely to contain buried archaeological resources (Meyer and Rosenthal 2007:1). According to Meyer and Rosenthal, most Pleistocene-age¹ landforms have little or no potential to contain buried archaeological resources because they formed prior to occupation of the area by humans; however, most Holocene-age² landforms have the potential for buried sites because they formed when people occupied the region (Meyer and Rosenthal 2007:15). The Project APE is situated on beach and dune sand that often contain one or more buried soils; however, while the extent of sand dune deposits in the Bay Area is well documented, their age and formation processes is not fully understood. According to Meyer and Rosenthal (2007:25), many dunes were "reorganized" by changes in climate, vegetation cover, and/or wind direction during the Late Holocene. As such, the region's sand dunes tend to contain buried sites that are Late Holocene in age or older (i.e., >1000 years). Merritt sand is both Holocene and Pleistocene in age and at least one buried prehistoric site has been identified in the immediate vicinity (within a 1/4-mile) of the Project APE. Furthermore, cut and fill areas that were

¹ 1.8 million years to 11,800 Before the Present (BP).

² Post 11,800 BP.



formed during the historic or modern period (i.e., <150 years) due to ongoing urban development may have destroyed, re-deposited or buried many archaeological sites through artificial cutting and filling (Meyer and Rosenthal 2007:25).

Summary

Previous Archaeological Studies of the APE: The Project APE has not been previously evaluated for archaeological resources.

Recorded Archaeological Sites: There are three historic-era archaeological resources (P-01-01530, P-01-010531, and P-01-010533) and one prehistoric archaeological resource (P-01-010808, also recorded as P-01-000042/CA-ALA-42) located within a 1/4-mile of the Project APE.

Historic Map Research: Indicates that a residential building and associated outbuilding were present within the APE as early as 1889, prior to construction of the Harrison Hotel in 1914.

Archaeological Sensitivity: The potential for historic and prehistoric archaeological resources within the APE is high. This is based on the results of the record search, map research, and soils, geologic and geoarchaeological data as presented above.

Recommendations

The following recommendations are provided to address the archaeological sensitivity of the Project APE. These recommendations are provided pursuant to Section 106 of the NHPA regulations concerning the identification of historic properties (36 CFR 800.4).

1. It is recommended that a Memorandum of Agreement (MOA) be developed and supported by a Treatment Plan that includes pre-construction subsurface exploratory borings under the building in the location of the proposed mini-piles installed in the basement area and other excavations to look for evidence of archaeological resources that could be eligible for the NRHP, and procedures to follow if significant cultural resources (i.e. historic properties) are identified.
2. Project supervisors, contractors, and equipment operators should be familiarized with the types of artifacts that could be encountered during earth-disturbing activities and procedures to follow if subsurface cultural resources are unearthed during construction. To accomplish this, a professional archaeologist should conduct a preconstruction meeting prior to commencement of ground-disturbing activities to familiarize the team with the potential to encounter prehistoric artifacts or historic-era archaeological deposits, the types of archaeological material that could be encountered within the Project APE, and procedures to follow if archaeological deposits and/or artifacts are observed during construction.

Historic-era resources potentially include all by-products of human land use greater than 50 years of age, including alignments of stone or brick, foundation elements from previous structures, minor earthworks, brick features, surface scatters of farming or domestic type material, and subsurface deposits of domestic type material (glass, ceramic, etc.). Railroad lines or other railroad related features would also be considered potentially significant cultural resources (historic properties). Artifacts that are typically found associated with prehistoric sites in the area include humanly modified stone, shell, bone or other materials such as charcoal, ash and burned rock that can be indicative of food procurement or processing activities. Prehistoric domestic features include hearths, fire pits, house floor depressions and mortuary features consisting of human skeletal remains.



If human remains are encountered within the Project APE during construction, all work must stop in the immediate vicinity of the discovered remains and the County Coroner must be notified immediately. If the remains are suspected to be those of a prehistoric Native American, then the Native American Heritage Commission (NAHC) must be contacted by the Coroner so that a "Most Likely Descendant" (MLD) can be designated to provide further recommendations regarding treatment of the remains. An archaeologist should also be retained to evaluate the historical significance of the discovery, assess the potential for additional remains to be present, record the discovery on DPR 523 forms, and to provide further recommendations for treatment of the site according to Secretary of Interior Standards and Guidelines for Archaeology and Historic Preservation.

Sincerely,

Sally Evans, M.A., RPA
Principal Archaeologist
sally@evans-deshazo.com

Evans & De Shazo, LLC
6876 Sebastopol Avenue
Sebastopol, CA 95472
(707) 812-7400
www.evans-deshazo.com



REFERENCES CITED

Baker, Suzanne

- 2010 Historic Property Survey Report, The Alameda County Transit District's East Bay Bus Rapid Transit Project in Berkeley, Oakland, and San Leandro. Report on file at the Northwest Information Center, Rohnert Park, California under S-38249.

Graymer, R.W.

- 2000 Geologic map and map database of the Oakland metropolitan area, Alameda, Contra Costa, and San Francisco Counties, California. U.S. Department of Interior, U.S. Geological Survey. Electronic document, https://store.usgs.gov/yimages/PDFX/113221_comp.pdf, accessed November 11, 2016.

Meyer, Jack and Jeffery Rosenthal

- 2007 Geoarchaeological Overview of the Nine Bay Area Counties in Caltrans District 4. On file at the Northwest Information Center, Rohnert Park, California under S-33600.

Schwartz, Richard

- 2006 Archaeological Site Record for P-01-010808. On file at the Northwest Information Center, Rohnert Park, California.

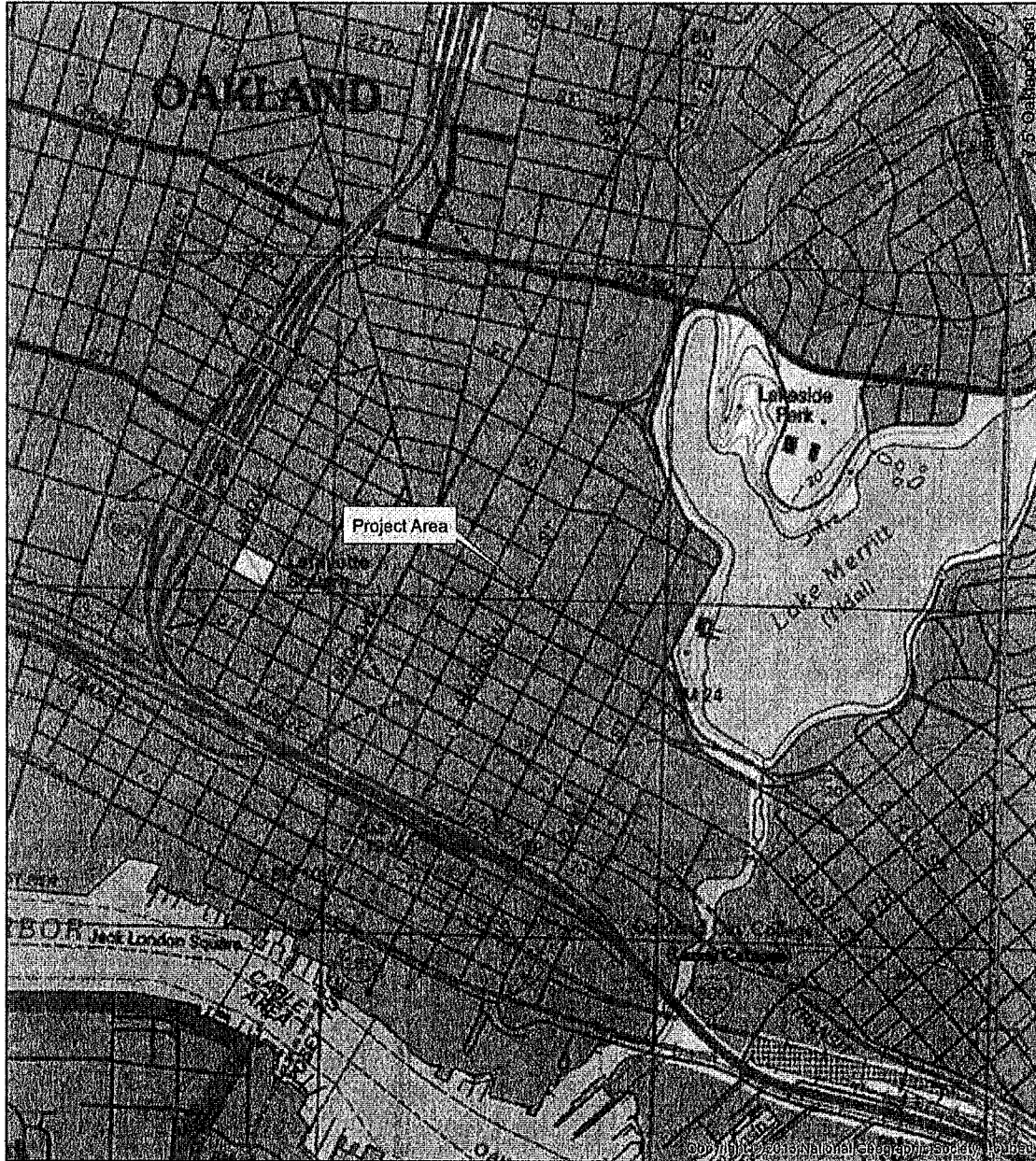
Way, K. Ross

- 2000a Primary record for P-01-010530. On file at the Northwest Information Center, Rohnert Park, California.

- 2000b Primary record for P-01-010533. On file at the Northwest Information Center, Rohnert Park, California.

Way, K. Ross, and Christine K. O'Rourke

- 2001 Primary record for P-01-010531. On file at the Northwest Information Center, Rohnert Park, California.



Alameda County

0 0.25 0.5 Miles



1:15,000



Project Location Map 1415 Harrison Street Oakland, Alameda County, CA APN 008-0625-045		Legend  Project Area
 EVANS & DE SHAZO, LLC ARCHAEOLOGY & HISTORIC PRESERVATION	USGS 7.5' Quadangles: Oakland West, Calif (1993) T 1 South / R 4 West / Section 35 Map Projection: NAD 83 UTM Zone 10N	

Figure 1: Project APE.



EVANS & DE SHAZO, LLC
ARCHAEOLOGY & HISTORIC PRESERVATION

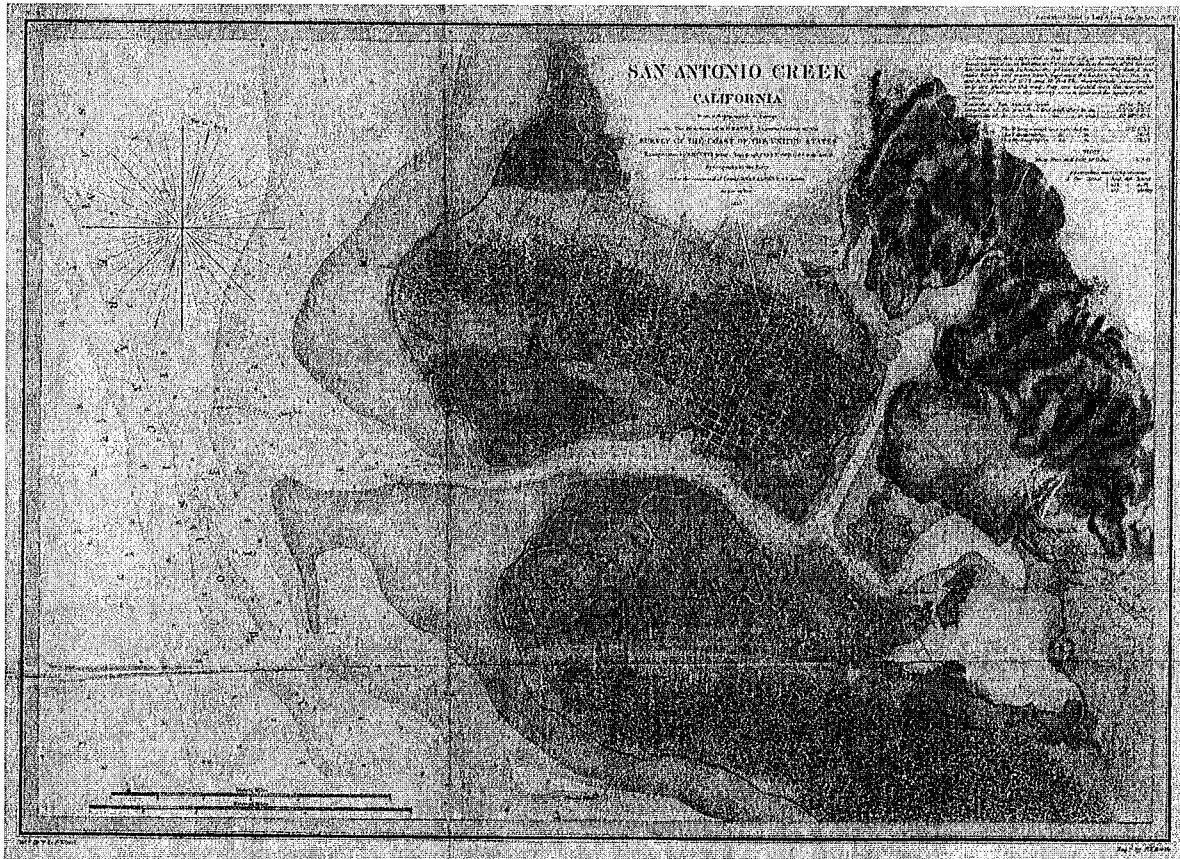


Figure 2: 1857 Map of San Antonio Creek and Oakland, California prepared under the direction of A.D. Bache Superintendent of the Survey of the Coast of the United States.

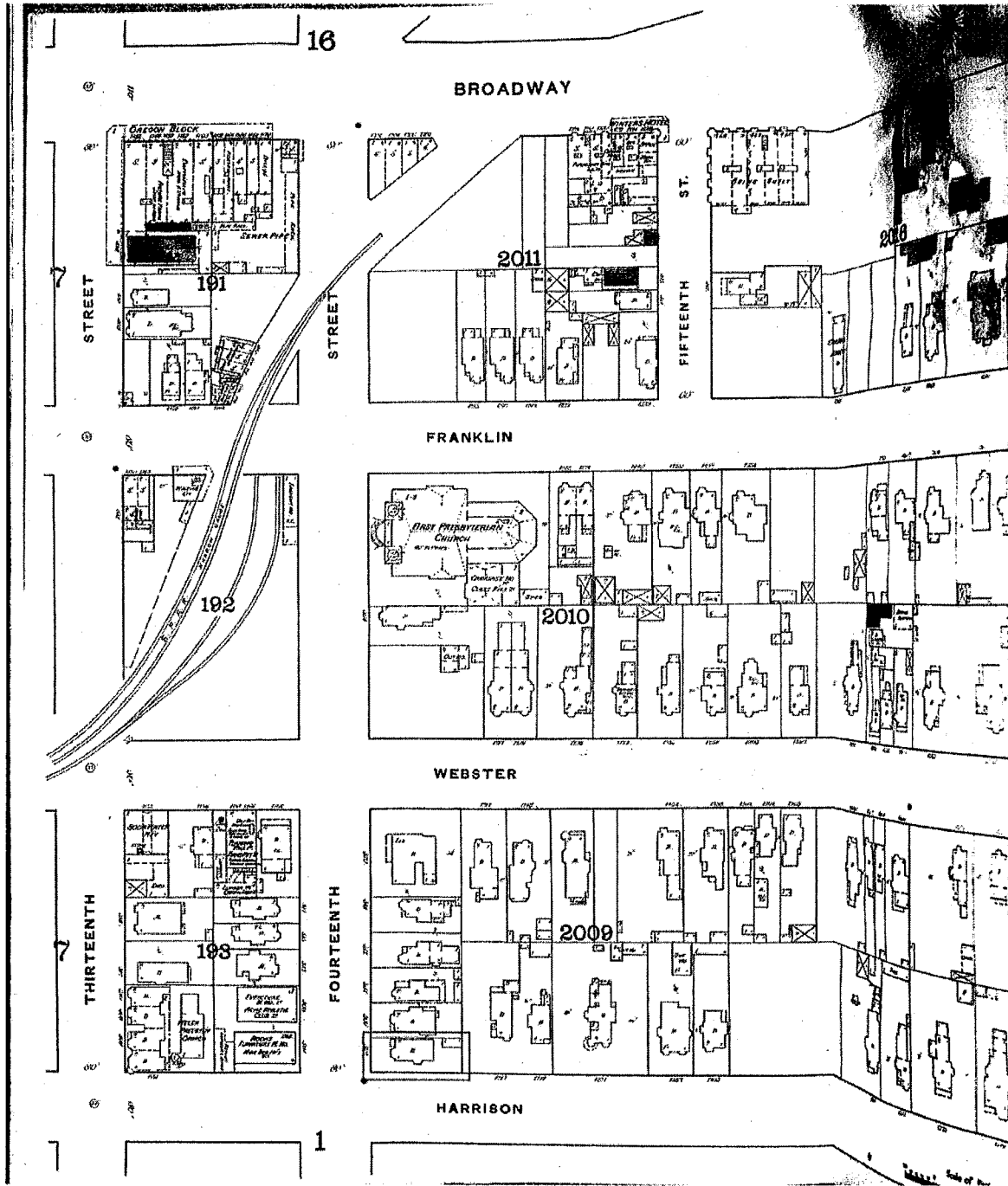


Figure 3: 1889 Sanborn Fire Insurance map showing location of Project APE in red.



MAP OF CONGESTED DISTRICT
OF
OAKLAND, CAL.
-1812-
SANBORN MAP CO
Scale 200ft to an inch

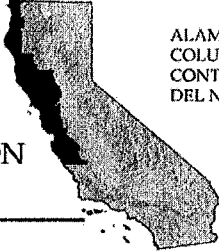
- KEY
- Fire Proof Construction
 - Brick or Stone Construction
 - Frame Construction
 - Equipped with A/C Sprinklers
 - Fire Department Alarms
 - Figures in Buildings denote story heights
 - Figures in Streets denote widths



Figure 4: 1911 Sanborn Fire Insurance map showing location of Project APE in red.

ATTACHMENT 1

CALIFORNIA
HISTORICAL
RESOURCES
INFORMATION
SYSTEM



ALAMEDA HUMBOLDT SAN FRANCISCO
COLUSA LAKE SAN MATEO
CONTRA COSTA MARIN SANTA CLATA
DEL NORTE MENDOCINO SANTA CRUZ
MONTEREY SOLANO
NAPA SONOMA
SAN BENITO YOLO

Northwest Information Center
Sonoma State University
150 Professional Center Drive, Suite E
Rohnert Park, California 94928-3609
Tel: 707.588.8455
nwic@sonoma.edu
http://www.sonoma.edu/nwic

NWIC Billing Worksheet

IC File Number: 16-1636

Client Name: Sally Evans Phone: (707) 484-9628
Affiliation: Evans & De Shazo, LLC Email: sally@evans-deshazo.com

Proj Name/Number: 1415 Harrison St, Oakland

Date Request Rec'd: 4/18/2017 Date of Response: 4/18/2017

Check In:	12:34:00 PM	Check Out:	2:14:00 PM	Check In:		Check Out:	
In-person Time:		Hour(s):	1.67		\$		200.00
Staff Time:		Hour(s):			\$		0.00
Shape Files:		Number:			\$		0.00
Custom Map Features:		Number:			\$		0.00
Digital Database Record:		Number of Row(s):			\$		0.00
Quads:		Number:			\$		0.00
Address-mapped Flat Fee:					\$		0.00
Hard Copy (Xerox/Computer) Pages:		Page(s):	6		\$		0.90
Labor Charge:		Hour(s):	1		\$		40.00
PDF Pages:		Page(s):	500		\$		75.00
PDF Flat Fee:					\$		25.00
Other:	CHRIS Data Request				\$		0.00
				Subtotal	\$		340.90

Multi-Day Start: Multi-Day End: \$ 0.00

Rapid response surcharge of 50% of total cost: \$ 0.00

Emergency Response surcharge of 100% of total cost: \$ 0.00


Total: \$ 340.90

Information Center Staff:
Sonoma State University Customer ID: 0001002365
Sonoma State University Invoice No.:
CHRIS Access and Use Agreement No.: 325

This is not an invoice. Sonoma State University will send separate invoice.

Harrison Hotel – Attachment B

- Public Outreach Efforts



Resident Meeting

Thursday

August 31

12:00 noon

in the community room

RCD and an architect will be here to talk about plans to renovate Harrison next year. Come hear about the plans and share feedback.

Pizza and Soda will be served

Harrison Meeting

August 31, 2017

Name	Unit #	Phone	Email
MELBA DOUGLAS	704	—	—
Tyrone Williams	710		
Carolyn Mathis	504	r	
Anna Lewis	501		
Sabrina Fuentes	703		
Andre Richard	307		
Debra Ford	209		
Olivia Qualls	709		
Ms. Essie Smith	608	313-758-8223	Essie.Smith54@gmail.com
Maurice Bama	415		
Jessie Clay	406	None	—
Cathy Murray	402	510 560 8886	
Lawrence Brooks	606		
WU	207		
Wylene Burrell	305	510	

Harrison Meeting

August 31, 2017

Name	Unit #	Phone	Email
Rickey Curtis	301	510 763-6326	_____
Dan Thomas	312	510 290-6984	_____
Ms. Essie Smith	608	313-758-8213	EssieSmith54@gmail.com
Debra Ford	209		
Olivia Qualls	709		
LISA Mayo	407	510- 692 ⁶⁹²⁵⁴⁴⁷ -5447	LISAMAYO2636@gmail.com
LATANYA McDANIEL	212		
Mark REED	302	(510) 878-8908	_____
Maurice Boyle	415	(570) 424-9091	
Barbara Long	612	510 355-2004	
TED ARTMAN	611	510 858-5595	
JIM FEIN	607	510 326 1853	
Alice Burks	404	-	-
Fulcher Lorenza	303	N/A	N/A
Shelly Bass	705	444-3568	

Harrison Residents Meeting
Meeting Agenda

Thursday August 31, 2017 | 12:00 to 1:30 pm

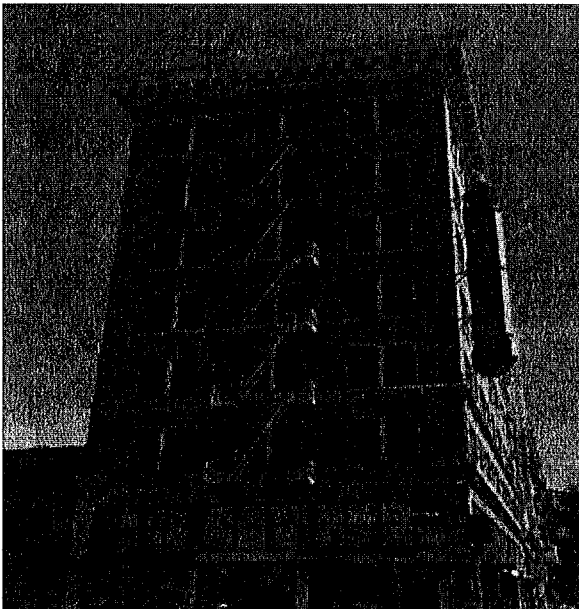
1. Presentation by RCD on upcoming renovation
 - A. Purpose of the meeting – proposed renovation
 - B. Introduction to RCD (for residents who aren't aware RCD is owner)
 - C. Renovation schedule
 - D. Renovation scope of work
 - E. Relocation impacts
 - F. Changes to rent, house rules, property management, etc.
2. Questions and answers with RCD, JSCo, and architects
3. Mingle – meet and greet, enjoy pizza and soda

Dear Harrison Hotel residents,

Resources for Community Development (RCD) is excited to be planning a moderate renovation of your home, Harrison Hotel. Thank you for attending this meeting to learn more and provide feedback about the renovation plans. We look forward to continue the conversation about what the building needs and how the renovation will move forward. We appreciate your patience as we work through project design and determine the best strategy for the future of the building.

Sincerely,

Jessica Sheldon
Associate Director of Housing Development
Resources for Community Development



Renovation Team

Developer: Resources for Community Development
www.rcdhousing.org

Property Manager: The John Stewart Company
<https://jsco.net>

Architects: Gelfand Partners Architects
<http://www.gelfand-partners.com/>

Contractor: Fine Line Construction <http://www.finelineconstruction.com/>



Creating & Preserving Affordable Housing

Who is Resources for Community Development (RCD)?

RCD is a non-profit organization. We have owned Harrison Hotel for over 20 years, along with over 50 other apartment buildings in the East Bay. Our mission is to create and preserve affordable housing for people with the fewest options, to build community and enrich lives. RCD started as a Berkeley-based organization over 30 years ago, and now provides affordable housing to more than 4,000 people in Alameda, Contra Costa, and Solano Counties, including a dozen properties in Oakland. RCD works closely with the City of Oakland, public agencies, and other non-profits to fund and operate affordable housing.

Is RCD going to sell the Harrison?

No, RCD will continue to be the owner of Harrison Hotel. Our approach is to own all of our buildings for the long-term, to make sure they continue to operate well and serve the community long into the future.

What are the renovation plans?

RCD, our architects, and our contractor are planning for a moderate renovation of Harrison Hotel. The work will focus on code-required upgrades, such as new seismic retrofits and new accessible (ADA) units. The second priority is to address on-going problems with building systems, such as plumbing and elevator repairs. If budget allows, the scope will include additional upgrades, based on input from residents and staff.

When will the renovation start?

These plans are in very early stages. Major construction won't start until mid-2018 at the earliest, and may get delayed further depending on funding and other factors outside of RCD's control.

Do I need to move?

No one will have to move permanently. All current residents of the Harrison should continue living here and paying rent as usual. You may need to move temporarily during construction, and we will meet with you individually to arrange for temporary alternate housing if needed.

Will my rent change?

Your rent will not be impacted by the renovation. You will continue to pay rent as usual, and it will be adjusted periodically as it usually is. You should talk to the property manager if you have any questions about your rent.

How do I learn more?

We encourage you to attend and provide feedback at community meetings. If you have additional comments, you can contact:

Zohreh Khodabandelu
Assistant Project Manager
(510) 841 - 4410 x345
ZKhodabandelu@rcdhousing.org



Meeting Subject: Harrison Residents Meeting

Project: Harrison Hotel

Project No: 1618.00

Meeting Date: 08/31/2017 12:00 PM

Location: Harrison Hotel - Community Room

Those Present: Jessica Sheldon (JS) RCD
 Tammy Silas (TS) JSCo
 Chris White (CW) LifeLong
 James Coles (JC) RCD representative/ Housing Tools
 Residents (R) RCD obtained sign-in sheet
 Chris Duncan (CD) Gelfand Partners Architects (GPA)
 Denise Morilla Lyons (DL) GPA

New Items	Action By	ITEM
1.1 Intro	RCD	<p>JS - Background of project. Roles: RCD, project owner, versus management issues that can be directed to Tammy Silas. RCD background and projects in Bay Area. Renovation plans are still in early phase and that is why residents are being asked input at this point. Harrison is an old building that needs to be brought up closer to current code. Construction will likely begin June of 2018.</p> <p>Code issues: Seismic upgrades for structural safety; existing braces, beams, columns to be replaced in place with better material. More accessible units will be added. Elevator will be repaired. Plumbing may be addressed. Quality of life issues: ventilation and spaces that are overly hot will be remediated. If budget allows, kitchenettes in units will be added.</p>
1.2 Open Comments	fyi	<p>JS: invited residents to give their input.</p>
Elevator		<p>R: Serious problems recently with elevator: sometimes out of order 2x day. R: lives on the 7th Fl - this issue affects her health and quality of life. Less freedom to be able to go places because uncertainty if elevator will be functioning. Can elevator repair be put as priority? JS: Elevator is in scope as a priority, but structural takes precedence because City requires that work first. RCD will work with management to get interim fix.</p> <p>R: Elevator repairman seems incompetent, always out at site fixing it and problems recur.</p> <p>R: What about getting a new elevator?</p> <p>R: There is no wheelchair exiting means in an emergency. There should be a second way to get down if the elevator breaks down.</p> <p>R: the need for elevator upgrades is so immediate, who can residents press for this to be a priority? Who is in charge of decision?</p> <p>TS: explained that elevator is running constantly (24/7). Two air conditioners have been added so that machinery does not overheat. Limited hours could be tried so that the elevator to prevent overheating. TS suggested off hours: 1am - 7am daily. Some residents were not happy with the elevator being shut down at all. After discussion and options, TS reiterated that the optimum number of off hours should be 6. Residents present agreed on recommended 1am - 7am schedule.</p> <p>R: suggested that voting be sent to all units. Management noted that about 1/3 of the residents were present at this meeting and moved forward with the proposed schedule.</p> <p>New schedule will be in place for a trial two weeks to see if it works for all.</p> <p>TS: elevator will come back into operation, regardless of hour of day, in the event of a medical emergency.</p>

Ventilation		R: Can ceiling fans be added in units? Or even free-standing fans?
Laundry Facilities		R: Washers and dryers need to be more heavy duty than current. Residents overload machines, do not leave doors open after use (to prevent microbial growth). There is lack of ventilation in room and bad odor. R: W/D not accessible when elevator is out of order.
Dishwashing		R: Washing personal dishes is difficult with only two facilities (1 st Fl kitchen and 5 th Fl Community Kitchen). What can be done? JS: asked if residents would like a kitchen sink added at each floor. Residents liked that idea. R: Community Kitchen in 514 needs a garbage can. TS: noted that a new garbage disposal have been added to that sink. R: noted that residents should not be using the bathrooms for dishwashing, that it is unsanitary to bring food stuff into bathrooms.
Sign-In/Security		R: Having to go downstairs each time residents need to sign in guests is really inconvenient when the elevator is out of order. Regular guests still have to sign in each time and re-sign when they leave and return, even momentarily. JS: directed residents to work with JSCo regarding sign-in procedure – this is a management issue. R: Intercom system in some rooms is not working. Need to be fixed (mentioned several times).
Structural Impact		R: Where will beams be? JS: in the same location as they are now. Directed residents to look at plans brought by GPA.
Plumbing/Bathrooms		JS inquired about plumbing leaks. R: in shower, curtain does not fully close because of an obstructing beam; water splashes. R: Will clawfoot tubs stay? Be refinished? JS: not known yet. Residents were split on whether they like the clawfoot tubs or not. R: A couple of residents reported poor water pressure. Residents on the 7 th Fl, particularly, mentioned that water pressure was inadequate. TS: suggested that new showerheads could be installed. CW from LifeLong said residents have complained that exchanging fixtures for new ones has not solved this problem in the past. R: Units 211 and 212 have water back up in tubs from the drains. TS: plumbing lines need to be snaked or changed. R: inquired about whether ADA units would have grab bars. JS: replied that renovations will include grab bars in accessible bathrooms.
1.3 Relocation	RCD	JS: Building will have same number of units as now: 81. Rent will remain the same during and after the renovation. There will be temporary relocation, and RCD will handle all the logistics, cost, and coordination. Renovation will be phased so that some units that are already renovated can be used to house residents. If possible, the relocation will happen within the building. If off-site relocation is necessary, it will be somewhere nearby. This will be figured out as construction start gets closer: plan to be revisited around March 2018. R: asked if belongings could just be stacked to one side of unit for renovation work. JS: responded that that has been done in some cases, depending on extent of work. R: Will RCD pay residents rent during renovation? JS: No. Rent amount will remain the same as residents are paying now; in the event that the temporary housing rent is more expensive than the resident's current rent, RCD will pay the difference.



1.4 Letter of Support

JS: RCD is still applying for funding and asked residents to sign a prepared letter of support for the project.

1.5 Wrap-up Misc. Comments

R: Unit 402 does not have a phone line.

R: What type of kitchenettes is RCD planning? JS: sink and cooktop, if budget allows.

End of Meeting Notes

These notes will be considered substantially correct and complete unless otherwise notified in writing within five working days of receipt.

5. Tenant Outreach Plan and Tenant Meeting

RCD has solicited resident feedback about the need for renovation at Harrison for years. Residents frequently provide comments to the property manager and resident services staff about building needs, and staff pass that information to the development and asset management team at RCD. It is through this chain of communication that RCD initially identified the Harrison as one of our existing properties most in need of a substantial renovation.

RCD's first formal tenant meeting with residents, in advance of the upcoming renovation, was held in August 2017. RCD intentionally timed this meeting to happen at a point in the development process where the architect and contractor had established a baseline scope of work and pricing – to understand what items likely could or couldn't be included in the budget – but early enough in the process to revise plans as needed to reflect resident feedback. The meeting was held on the last Thursday of the month at lunch time, the standard time for the building's monthly community meeting. It was advertised by posting flyers in building, and lunch was provided. About 40 residents attended (a very strong turnout of 50%).

Residents were very engaged in the presentation. The presentation was led by RCD housing development staff and the project architect. The presentation focused on the proposed scope of work for the renovation, but also reviewed RCD's history with the building and RCD's relationship to the John Stewart Company (the property manager). The renovation conversation highlighted the items that would be required by the City or project funders, such as structural and accessibility upgrades. RCD then opened the conversation up to resident feedback on building needs. Questions and comments focused on: (1) elevator repairs; (2) cooking facilities; and (3) plumbing issues. See the attached meeting minutes for detailed feedback. RCD also engaged in an extensive discussion of possible temporary relocation, describing the different possibilities (on-site vs. off-site relocation), assuring residents that their rent would not change and no one would be permanently displaced, and describing the work of the consultant who will manage every step of the process.

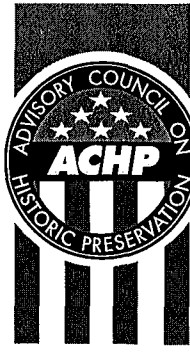
RCD distributed a newsletter at the meeting, and to residents who could not attend, again describing the renovation plans and schedule. See enclosed copy.

Resident Meeting

August 2017

See enclosed:

Meeting Invitation
Sign In Sheet
Meeting Agenda
Meeting Notes
Informational Newsletter



Preserving America's Heritage

December 1, 2017

Mr. Darin Ranelletti
Deputy Director
Bureau of Planning
City of Oakland
Dalziel Building
250 Frank H. Ogawa Plaza, Suite 2114
Oakland, CA 94612-2032

Ref: *Proposed Rehabilitation of the Harrison Hotel at 1415 Harrison Street
Oakland, California*

Dear Mr. Ranelletti:

The Advisory Council on Historic Preservation (ACHP) has received your notification and supporting documentation regarding the adverse effects of the referenced undertaking on a property or properties listed or eligible for listing in the National Register of Historic Places. Based upon the information you provided, we have concluded that Appendix A, *Criteria for Council Involvement in Reviewing Individual Section 106 Cases*, of our regulations, "Protection of Historic Properties" (36 CFR Part 800), does not apply to this undertaking. Accordingly, we do not believe that our participation in the consultation to resolve adverse effects is needed. However, if we receive a request for participation from the State Historic Preservation Officer (SHPO), Tribal Historic Preservation Officer, affected Indian tribe, a consulting party, or other party, we may reconsider this decision. Additionally, should circumstances change, and you determine that our participation is needed to conclude the consultation process, please notify us.

Pursuant to 36 CFR §800.6(b)(1)(iv), you will need to file the final Programmatic Agreement (PA), developed in consultation with the California State Historic Preservation Officer (SHPO) and any other consulting parties, and related documentation with the ACHP at the conclusion of the consultation process. The filing of the PA and supporting documentation with the ACHP is required in order to complete the requirements of Section 106 of the National Historic Preservation Act.

Thank you for providing us with your notification of adverse effect. If you have any questions or require further assistance, please contact Ms. Jaime Loichinger at (202) 517-0219 or at jloichinger@achp.gov.

Sincerely,

LaShavio Johnson
Historic Preservation Technician
Office of Federal Agency Programs

Attachment C

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PROGRAMMATIC AGREEMENT

**BETWEEN THE CITY OF OAKLAND &
THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER
REGARDING THE REHABILITATION OF
THE HARRISON HOTEL LOCATED AT 1415 HARRISON STREET
OAKLAND, CALIFORNIA**

WHEREAS, Resources for Community Development (RCD) a California non-profit corporation (Developer), proposes rehabilitate the Harrison Hotel at 1415 Harrison Street, Oakland, California, and operates the property as affordable housing for 81 Single Room Occupancy (SRO) units with two ground floor commercial spaces (Project); and

WHEREAS, the City of Oakland (City) has determined that the rehabilitation of the Harrison Hotel, is an Undertaking as defined in Section 800.16(y) of 36 CFR Part 800 (National Historic Preservation Act (NHPA) and;

WHEREAS, the City, designated to fulfill the requirements of Section 106 of NHPA with respect to the Undertaking, has determined that the rehabilitation of the Harrison Hotel will have an effect on a property listed on the National Register of Historic Places (NHRP) as the first named contributor to the Harrison and 15th Street Historic District and is therefore an historic property; and

WHEREAS, the City has consulted with the California State Historic Preservation Officer (SHPO) pursuant to 36 CFR Part 800, the regulations implementing Section 106 of the NHPA (U.S.C. 470f), as amended; and

WHEREAS, the City, through the Consolidated Appropriations Act of 2016, as amended, Public Law 114-113; for the release of Moving To Work funds (MTW funds), will be the Agency Official for the Undertaking; and

WHEREAS, the Oakland Housing Authority (OHA) has conditionally awarded Moving To Work funds to the Developer, and has also been invited to concur in this Agreement; and

WHEREAS, Developer has participated in the consultation and has been invited to concur in this Agreement; and

WHEREAS, the City is a Certified Local Government pursuant to Section 101(c)(1) of the NHPA; and

WHEREAS, the City's Landmark Preservation Advisory Board (LPAB) will participate in the consultation and will review and approve the proposed rehabilitation actions; and

1 complete the IRC process, the City shall initiate consultation
2 with the SHPO pursuant to 36 CFR §§ 800.6(b)(2) and 800.7,
3 as appropriate.
4

- 5 3. Should Stipulation 2 be no longer applicable because the project does
6 not apply for tax credits, the City shall still initiate consultation with the
7 SHPO pursuant to 36 CFR §§ 800.6(b)(2) and 800.7, as appropriate,
8 only if other Federal funding and/or Federal participation involved in
9 this Project.
10
- 11 4. If the City is unable to ensure the development of a design that is
12 compatible with the *Standards*, prior to the alteration of the Harrison
13 Hotel, the City shall consult with the SHPO to determine the level and
14 kind of recordation that is required for the property. Unless otherwise
15 agreed to by the SHPO, the City shall ensure that all documentation is
16 completed and accepted by the SHPO prior to alteration, and that
17 copies are made available to the SHPO, the Oakland Public Library
18 Oakland History Room and the Oakland Cultural Heritage Survey.
19
- 20 5. The City will require that the work described in Stipulation 4, above, will
21 be carried out by or under the direct supervision of a person(s) who
22 meets the appropriate Professional Qualification Standards outlined in
23 the *Archeology and Historic Preservation* (48 Federal Register 44738-
24 39).
25
- 26 6. Each year following the execution of this Programmatic Agreement
27 until it expires or is terminated, the City shall provide all parties to this
28 Programmatic Agreement a summary report detailing work carried out
29 pursuant to its terms. Such report shall include any scheduling
30 changes proposed, any problems encountered, and any disputes and
31 objections received in the City's efforts to carry out the terms of this
32 Programmatic Agreement.
33
- 34 7. Should any signatory object at any time to the terms of which this
35 agreement is implemented, the City shall consult with the objecting
36 party to resolve the objection. If the City determines within fifteen days
37 of receipt that such objection(s) cannot be resolved, the City will
38 forward all documentation relevant to the dispute to the ACHP in
39 accordance with 36 CFR § 800.2(b)(2). The City, in reaching a final
40 decision regarding the dispute, shall take any ACHP comment
41 provided into account. The City's responsibility to carry out all other
42 actions under this agreement that are not the subjects of the dispute
43 will remain unchanged.
44
- 45 8. At any time during implementation of the measures stipulated in this
46 agreement, should an objection to any such measure or its manner of

1 implementation be raised in writing by a member of the public, the City
2 shall take the objection into account and consult, as needed, with the
3 objecting party and the SHPO, as needed, for a period of time not to
4 exceed fifteen days. If the City is unable to resolve the conflict, the City
5 will forward all documentation relevant to the dispute to the ACHP,
6 following the terms outlined in Stipulation 7, above.
7

8 9. The City shall notify the SHPO as soon as practicable if it appears that
9 any action covered by this agreement will affect a previously
10 unidentified property that may be eligible for inclusion in the National
11 Register or affect a known historic property in an unanticipated
12 manner. The City shall stop construction in the vicinity of the discovery
13 and take all reasonable measures to avoid or minimize harm to the
14 property and proceed pursuant to 36 CFR § 800.13(b).
15

16 10. If any signatory believes that the terms of this agreement cannot be
17 carried out, or that an amendment to its terms should be made, that
18 signatory shall immediately consult with the other parties to develop
19 amendments pursuant to 36 CFR §§ 800.6(c)(7) and 800.6(c)(8). If
20 this agreement is not amended as provided for in this Stipulation, any
21 signatory may terminate it, whereupon the City shall proceed in
22 accordance with 36 CFR § 800.6(c)(8).
23

24 11. If either the terms of this agreement or the Undertaking have not been
25 carried out within five years following the date of execution of the
26 agreement, the signatories shall reconsider its terms. If the signatories
27 agree to amend the agreement, they shall proceed in accordance with
28 the amendment process referenced in Stipulation 10, above.
29

30 Execution and implementation of this agreement evidences that the City has
31 afforded the SHPO a reasonable opportunity to comment on the Undertaking and
32 its effects on historic properties, that the City has taken into account the effects of
33 the Undertaking on historic properties, and that the City has satisfied its
34 responsibilities under Section 106 of the NHPA and applicable implementing
35 regulations.
36
37
38

39 **Signatories:**

40
41 **CITY**
42
43

44 By: _____ Date: _____
45 **Darin Ranelletti, Interim Director of City of Oakland Planning and**
46 **Building / NEPA Certifying Officer**

Harrison Hotel
City of Oakland & SHPO Agreement

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Approved as to Form and Legality

By: _____ Date: _____
Heather Lee, Deputy City Attorney, Office of the Oakland City Attorney

CALIFORNIA STATE HISTORIC PRESERVATION OFFICER

By: _____ Date: _____
Julianne Polanco, State Historic Preservation Officer

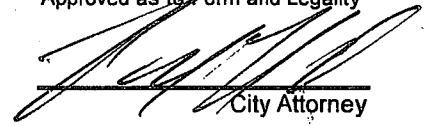
Concurring Parties:

RESOURCES FOR COMMUNITY DEVELOPMENT

By: _____ Date: _____
Dan Sawislak, Executive Director

OAKLAND HOUSING AUTHORITY

By: _____ Date: _____
Eric Johnson, Executive Director



City Attorney

2010 JAN 31 AM 10:18 RESOLUTION No. _____ C.M.S.

Introduced by Councilmember _____

A RESOLUTION AUTHORIZING THE CITY ADMINISTRATOR, OR DESIGNEE, TO NEGOTIATE AND EXECUTE A PROGRAMMATIC AGREEMENT, PURSUANT TO SECTION 106 OF THE NATIONAL HISTORIC PRESERVATION ACT, WITH THE CALIFORNIA STATE HISTORIC PRESERVATION OFFICER REGARDING THE REHABILITATION OF THE HARRISON HOTEL LOCATED AT 1415 HARRISON STREET, OAKLAND, CALIFORNIA, WITHOUT RETURNING TO THE CITY COUNCIL

WHEREAS, the Harrison Hotel located at 1415 Harrison Street, Oakland, California has recently been the subject of code compliance investigations; and

WHEREAS, Resources for Community Development (RCD) a California non-profit corporation, proposes to rehabilitate, manage and operate the Harrison Hotel as affordable housing for 52 dwelling units and 29 rooming units for a total of 81 units with three ground floor commercial spaces, ground floor lobby, property management offices, and community room; and **WHEREAS**, the provision of affordable housing, especially Downtown and near transit, is an important goal of the City's Housing Action Plan; and

WHEREAS, the Oakland Housing Authority (OHA) has conditionally awarded U.S. Department of Housing and Urban Development (HUD) Moving To Work Vouchers to RCD; and

WHEREAS, the Oakland Housing Authority (OHA) has conditionally awarded U.S. Department of Housing and Urban Development (HUD) Moving To Work Vouchers to RCD; and

WHEREAS, the Affordable Housing Sustainable Communities (AMSC) Program awarded the project 15.6 million dollars in additional funds; and

WHEREAS, the federal Affordable Housing Program awarded the project 1.4 million dollars in funds; and

WHEREAS, the use of HUD and/or other federal funding to rehabilitate the Harrison Hotel will require completion of environmental analysis pursuant to the National Environmental Protection Act (NEPA); and

WHEREAS, the City, designated to fulfill the requirements of Section 106 of National Historic Preservation Act (NHPA), has determined that rehabilitation of the Harrison Hotel, will have an effect on a property determined eligible for listing on the National Register of Historic Places pursuant to NEPA; and

WHEREAS, without completion of the NEPA process, RCD cannot rehabilitate the building as affordable housing; and

WHEREAS, the Bureau of Planning has found the proposed rehabilitation project to be exempt from the California Environmental Quality Act (CEQA) per State CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures; Section 15332 In-fill Development; and Section 15183; Projects Consistent with a Community Plan, General Plan or Zoning.

WHEREAS, the City has consulted with the Federal Advisory Council on Historic Preservation regarding entering into a Programmatic Agreement with the City of Oakland; and

WHEREAS, SHPO has determined that a Programmatic Agreement is the appropriate method to ensure that the project will not have an adverse historic impact pursuant to Section 106 of the NHPA; now, therefore, be it

RESOLVED, that the City Council authorizes the City Administrator, or designee, to negotiate and execute a Programmatic Agreement, pursuant to Section 106 of the NHPA, with the SHPO regarding the rehabilitation of the Harrison Hotel, and to take any and all other actions necessary to effectuate this Resolution, including possibly adding the Advisory Council on Historic Preservation as a signatory/concurring party, without Returning To The City Council.

IN COUNCIL, OAKLAND, CALIFORNIA, _____

PASSED BY THE FOLLOWING VOTE:

AYES - BROOKS, CAMPBELL WASHINGTON, GALLO, GIBSON MCELHANEY, GUILLEN, KALB, KAPLAN, AND PRESIDENT REID

NOES -

ABSENT -

ABSTENTION -

ATTEST: _____
LaTonda Simmons
City Clerk and Clerk of the Council
of the City of Oakland, California